

**S-11477. Abbott-Compton-Lake Cemetery, Old State and Robbins Roads
(PIN: 135-3.00-6.00)
(Detail Map #4)**

Description: This small cemetery, established in about 1899, is enclosed by a low post-and-metal pipe railing. Monuments include a stone obelisk and several stone slabs. The cemetery plot contains some fenced plots with paths between, scattered small deciduous trees, and a flower border on a west side berm with periwinkle, daylilies, and daffodils. The cemetery has the remains of multiple families with burials from 1899 to 2001. One area has vandalized stones and a partially vandalized crypt. A list of identified burials has been compiled and includes members of the Lake, Artis, Seeley, Compton, Abbott, Hastings, and Butler families.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Suburbanization and Early Ex-urbanization 1940-1960+/- Settlement Patterns and Demographic Changes theme; cemetery property type

Evaluation: The property was evaluated under National Register Criterion A for possible significance in the funerary and social history of the area. A typical, small, rural, multi-family cemetery of its period, it is not a particularly early cemetery, nor is it the burial place of a particularly notable segment of the community, nor is it a pioneer example of a style or form of cemetery design. Therefore, it is recommended not eligible under Criterion A.

A review of the names on the readable headstones has not resulted in the identification of any individual significant in the history of the local area. These names have not been checked in biographical sources, so it is possible that one or more of these individuals may have played a significant role in their local community, although contextual research for the area has not yielded information indicating that any of these names are significant. However, since cemeteries are rarely eligible for association with an individual, it is recommended not eligible under Criterion B.

As a typical rural cemetery, the cemetery possesses no distinctive design features and is therefore recommended not eligible under Criterion C. The gravestones are common nineteenth- and early twentieth-century markers and are not likely to provide new information that is not already available through other means. The cemetery is not known to contain graves of people that represent a demographic with osteological research potential or who died of diseases or conditions that warrant investigation. The property is therefore not likely to be eligible under Criterion D.

S-11477



cemetery overview (.001), view to W



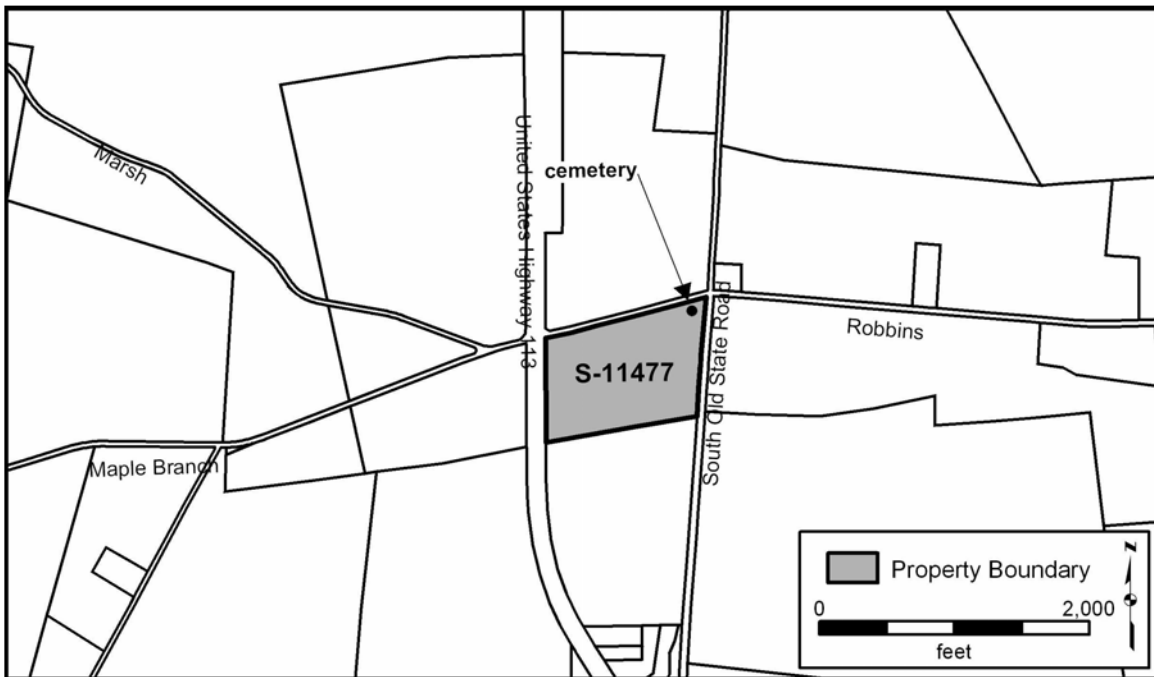
cemetery detail, view to NE



obelisk, view to W



cemetery detail, view to SW



**S-11698. Dwelling, 16917 Beach Road
(PIN: 230-26.00-18.00)
(Detail Map #2)**

Description: This property, located on the north side of Beach Road, is an open lot with evergreen tree lines on each side and a pair of mature deciduous trees flanking the front walk. A gravel driveway extends from the road along the west side of the house. The house itself is set back from the road with farm fields behind it. A modern chicken house and new dwelling are located east of the house. A second new dwelling is placed southwest of the house, and a small barn is located to its northwest.

The single-story, wood-framed, 1930s, vernacular bungalow-Craftsman house is fundamentally rectangular in footprint with a cross gabled west extension and a lean-to rear addition. The west façade has a central six-panel, vinyl-clad replacement door. Fenestration of the front wall consists of eight-over-twelve, wood replacement windows, eight-over-eight, double-hung basement windows, and one-over-one, double-hung vinyl-clad sash windows. The south side is fenestrated with one-over-one, double-hung vinyl sash replacement windows. The north wall is fenestrated with eight-over-twelve and eight-over-eight, wood windows, possibly salvaged from another location. A four-light, two-panel wood-and-glass door is placed at the left end of the wall. The rear wall is fenestrated with one-over-one, double-hung vinyl replacement windows and older six-over-six and eight-over-eight, original, double-hung sash windows. A four-light, two-panel door is placed at the right end of the lower level. The house sits on a panel-faced concrete-block foundation, is sheathed in vinyl siding, and has a roof sheathed in asphalt.

A small garage-barn (.002) is placed northwest of the house. This building, probably erected in the 1920s, is wood-framed in construction and gable front in orientation. It sits on concrete-block footers. Its walls are sheathed in vinyl siding, cement-asbestos siding, and horizontal wood siding, and its roof is sheathed in asphalt shingles. The south façade contains a one-over-one, double-hung wood sash window and a central vinyl-clad, wood door. The east wall contains one six-over-six, double-hung sash window and a second, boarded up window, while the west wall contains boarded-up, six-over-six, double-hung sash windows. The north wall is pierced by a central, original, sliding wood, beadboard door.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; vernacular bungalow-Craftsman property type

Evaluation: Historically, this property was a farm and was associated with the agricultural history of the local area. However, at present, the main agricultural building is a modern broiler house. This modern outbuilding fails to convey associations with the earlier agricultural history of the area, and therefore the property is recommended not eligible under Criterion A.

Limited map research has not revealed an association of the property with any individuals who have played a significant role in the history of the community. Therefore, the property is recommended not eligible under Criterion B.

The house has undergone significant alterations including new siding, doors, some window replacement, and the construction of a large addition. Due to these changes and the lack of

individual architectural character, the house is recommended not eligible for the National Register under Criterion C.

The buildings on this property represent common examples of wood framing and are not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-11698



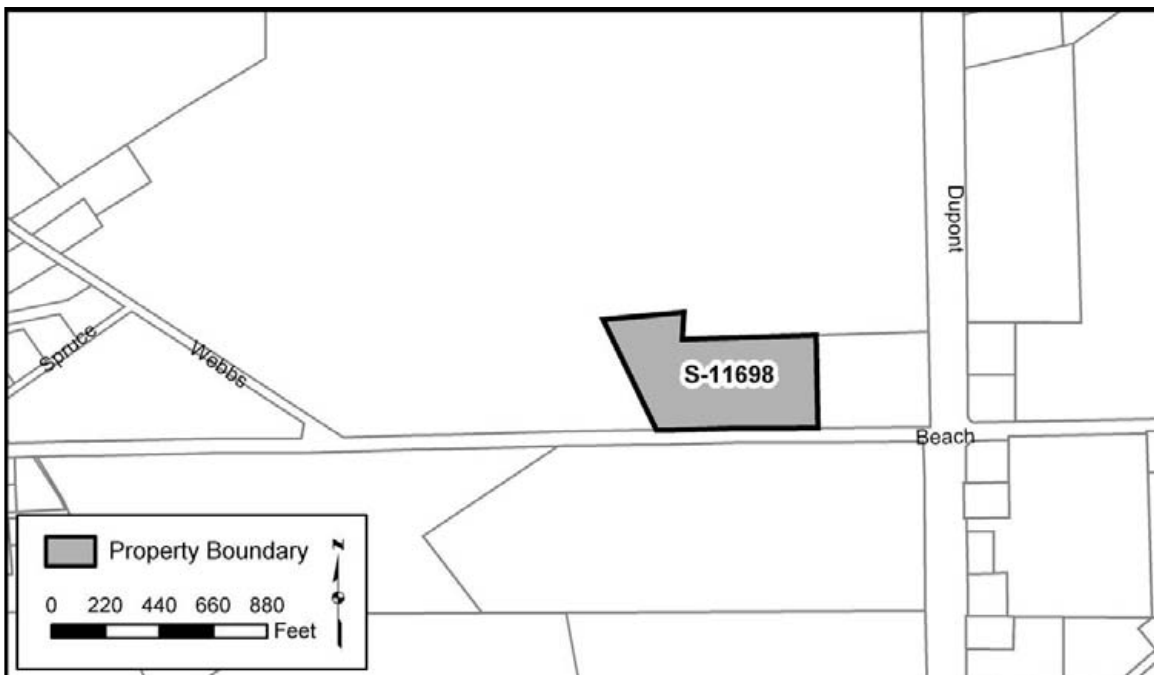
main building (.001) façade, view to E



main building (.001) south side, view to N



barn-garage (.002), view to NE



**S-11896. Dwelling, 10749 DuPont Highway
(PIN: 230-19.00-84.00)
(Detail Map #7)**

Description: This rectangular-shaped parcel is located along the east side of U.S. 113 and contains a c. 1960 ranch-style dwelling. All sides of the property are primarily open, with little landscaping. Boxwoods are planted across the front façade of the house, and tall trees grow in a north-south direction across part of the rear lawn. An H-shaped, gravel driveway curves through the front/west lawn.

The small, rectangular-shaped, one-story dwelling faces west and sits parallel to the roadway. Attached to its north end is a small, gabled-front, one-car garage. The house rests on a concrete-block foundation and has exterior walls clad in a combination of board-and-batten and asbestos siding. The side-gabled roof is sheathed in composition and features a brick chimney rising from its center, interior roof ridge. A partial entry porch stands across the north end of the façade, sheltering a plain, wood main entrance. A newly constructed wooden handicap-ramp adjoins the porch. Fenestration of the façade, sidewalls, and rear consists primarily of two-over-two, double-hung sash windows. A wood-and-glass secondary entry is located at the center of the rear wall, fronted by a small concrete stoop and sheltered by a shed-roof hood.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-Urbanization, 1940-1960+/-; Architecture, Engineering, and Decorative Arts theme; ranch house property type.

Evaluation: This property is associated with the historic context of subdivision of former agricultural land. A common land-use trend in areas of growing population, few, if any, isolated examples are individually eligible, though they may be in aggregate. This property is among a grouping of small lots fronting U.S. 113, likely subdivided from the same larger agricultural property. Though the subdivision may have started in the late 1950s, as evidenced by historic-period aerial photographs, the majority of the small lots carved out of the larger property were not developed until after 1962. The sparse grouping of properties does not constitute a historically significant example of farmland subdivision, nor does this individual dwelling. The property is therefore recommended not eligible for the National Register under Criterion A.

Limited map research has not identified an association between the property and any individual significant in the history of the local area. Therefore, it is recommended not eligible under Criterion B.

Considering the property under Criterion C, the house appears to have been built as a c. 1960 ranch house, and was evaluated as such. As indicated in the research design, ranch houses were simple, rapidly built, inexpensive architectural types that generally do not possess the architectural distinction necessary to be eligible for listing on the National Register. As a typical example of a vernacular type, this house lacks the individual architectural distinction to be National Register eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-11896



main building (.001) facade, view to E



main building (.001) rear, view to W



main building (.001) south side, view to N



main building (.001) north side and façade, view to SE



**S-11897. Roadside Stand and Garage, 18078 Beach Highway
(PIN: 230-26.16-1.00)
(Detail Map #2)**

Description: The property includes a modern house and two older outbuildings. The first, gabled roof, outbuilding, is placed east of the house and adjoins a gravel driveway, while the second is located south of the modern house and adjoins a fenced garden.

The first outbuilding (.001), believed to be a roadside stand constructed c. 1955, is of wood-framed construction and is rectangular in footprint with its front gable facing the road. Its bays are largely boarded over. The north gable has a partially boarded-over screened door with an open vending bay, now boarded over, to its right. Openings in the east side wall are boarded over, while the west side has a boarded-over vending window and a boarded-over door. The rear wall has a central wood door. The building sits directly on the ground with no visible foundation, has walls sheathed in plywood, and has a composition shingle roof.

The second building (.002), a gabled-roof concrete-block storage building with a north wood-framed vestibule, also appears to have been erected c. 1955. It appears to be currently used as an apartment. The north wall is fenestrated with two, one-over-one, double-hung sash windows. A wood door is placed in the outer wall of the vestibule. The side walls of the vestibule are pierced by single-light windows. The east and west gable ends are fenestrated with one-over-one, double-hung sash windows, while the south wall is fenestrated with two, one-over-one, double-hung sash windows. The gable peaks of the building are sheathed in painted wood shingles, while the roof eaves are marked by wood rafter tails. The roof is shingled in composition shingles.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Exurbanization, 1940-1960+/-; Retailing/Wholesaling theme and Architecture, Engineering, and Decorative Arts theme; roadside stand and residential garage property types.

Evaluation: The property was evaluated under the contexts of roadside commercial and roadside residential development. As noted, the first outbuilding appears to have been constructed to vend goods, possibly soft drinks or ice cream. The second outbuilding was constructed either as a garage or a storage building for a now-demolished residence. As noted in the research design, roadside residential development, though a significant land development trend, is not significant in individual cases. Examples of roadside commerce, such as farmstands, on the other hand, can be significant properties both due to their rarity and because of the emphasis of the relationship between the road and the agricultural history of central and southern Delaware. According to the research design, however, in order for a roadside stand to be considered individually eligible under Criterion A, it would need to possess significance in local history as one of the earliest stands in a particular area or as a well-known stopping place. This stand does not meet these requirements. It was not built until the 1950s, several decades after the DuPont Highway had been completed, and its small size and modest appearance argue against it having been a well-known pit stop. The property is therefore recommended not eligible under Criterion A.

No association has been determined between the property and any individual significant in the local area. The property is therefore recommended not eligible under Criterion B.

Neither building possesses architectural distinction, and both buildings have been subject to alteration and deterioration. Lacking both architectural significance and integrity, the property is recommended not eligible under Criterion C.

As simple wood-framed and concrete block buildings, it is very unlikely that either would yield important information about building construction practices that is not available through other means. Therefore, the property is recommended not eligible under Criterion D.

This property was also evaluated as part of a proposed historic district, Beach Highway. The district is recommended not eligible for the National Register because it lacks both significance and integrity as a cohesive grouping.

S-11897



property overview with modern dwelling in center, roadside stand (.001) to left, and garage/storage shed (.002) behind, view to SE



roadside stand (.001), view to SW



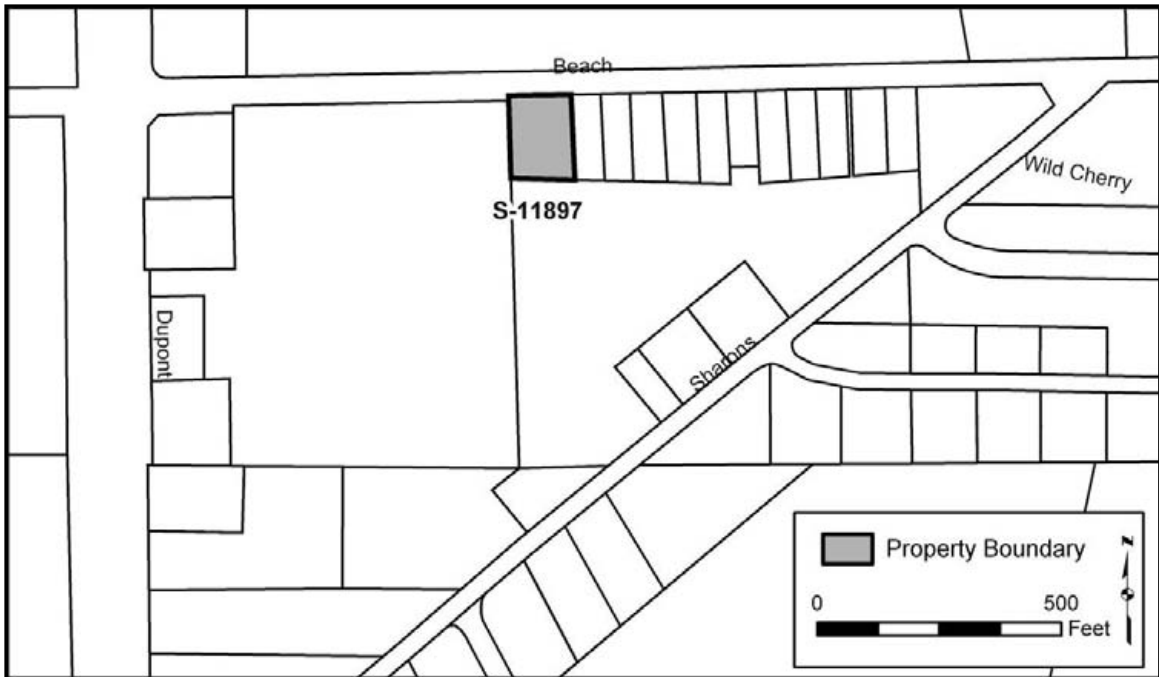
roadside stand (.001), view to NE



garage/storage shed (.002), view to SW



garage/storage shed (.002), view to NE



**S-11898. Dwelling, 18098 Beach Highway
(PIN: 230-26.16-4.00)
(Detail Map #2)**

Description: The asymmetrically-gabled, front, c. 1940 house faces north toward the road. A paved driveway forms an “H” in front of the house. Large bushes are placed in the front lawn, while a fire pit and a gazebo-like picnic shelter are placed in the rear lawn. The north façade has a fiberglass door placed within a lean-to, while the front wall is fenestrated with three irregularly spaced six-over-six, double-hung vinyl-clad windows. The side walls are also fenestrated with six-over-six, double-hung sash windows, while the rear wall features a shed-roofed enclosed, partial-width porch. This porch is fenestrated with a six-over-six and a four-over-four, double-hung, sash window. A four-panel fiberglass door is placed in the end bay. The house sits on a concrete-block foundation, is sheathed in vinyl siding, and has a roof sheathed in metal. A concrete-block heater chimney adjoins one side wall.

Applicable Historical Context(s): Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-Urbanization, 1940-1960+/-; Architecture, Engineering, Decorative Arts theme; vernacular bungalow property type.

Evaluation: According to the present occupants, the house was moved to its current lot about 35 years ago from an unknown location. The association between the dwelling and any historical trend or event has been severed, and the property cannot convey any historical significance it may have once possessed. This property is therefore recommended not eligible under Criterion A.

No association with any individual significant in the history of the local area has been identified. The property is therefore recommended not eligible under Criterion B.

The current occupants also reported that the house was heavily modified with improvements made by the county c. 2000. All windows, doors, and siding were replaced, and the dwelling lacks most aspects of integrity. It is therefore recommended not eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

This property was also evaluated as part of a proposed historic district, Beach Highway. The district is recommended not eligible for the National Register because it lacks both significance and integrity as a cohesive grouping.

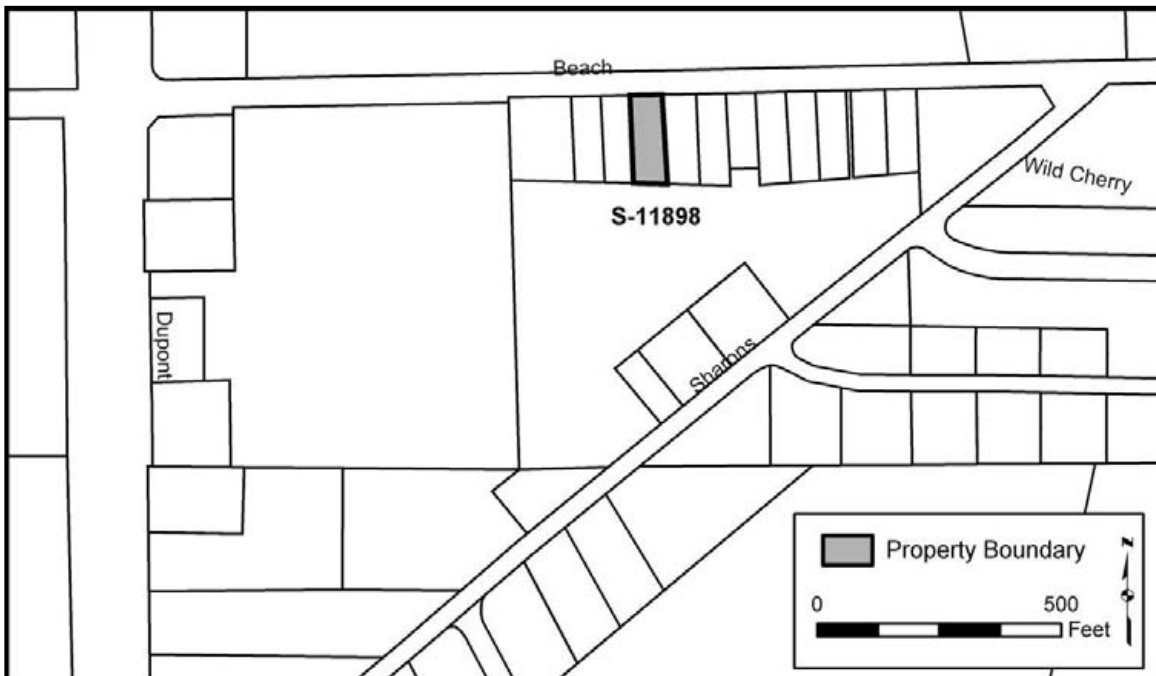
S-11898



main building (.001) façade and west side, view to SE



main building (.001) rear and east side, view to NW



**S-11899. Dwelling, 18104 Beach Highway
(PIN: 230-26.16-5.00)
(Detail Map #2)**

Description: This wood-framed, single-story ranch house is placed on the south side of the highway. A gravel-dirt parking area occupies a significant portion of the front lawn. The front lawn also contains a bush and a tree, while the rear yard is heavily overgrown.

This c. 1955 minimal ranch house has a wood door placed near the center of its north façade wall. Two awning windows are placed in the façade wall. The west gable end wall contains two sliding windows. The rear wall has three awning windows and a central fiberglass door. The foundation is obscured, while the walls are clad with a mixture of plywood and asbestos. The roof is sheathed in asphalt. A brick interior end gabled chimney with corbelled cap rises from the roof ridge.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-Urbanization, 1940-1960+/-; Architecture, Engineering, and Decorative Arts theme; ranch house property type.

Evaluation: This house was evaluated under the context of roadside development of former agricultural land. As indicated in the research design, this trend was and continues to be an important one that shapes the Sussex County landscape, but individual examples rarely possess historical significance. This property is therefore recommended not eligible under Criterion A.

No information has emerged that connects the house to the productive life of anyone significant in the history of the local area. The property is therefore recommended not eligible under Criterion B.

As a simple, altered ranch house with no architectural elaboration, this dwelling does not represent a significant example of a type or period of construction and is recommended not eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

This property was also evaluated as part of a proposed historic district, Beach Highway. The district is recommended not eligible for the National Register because it lacks both significance and integrity as a cohesive grouping.

S-11899



main building (.001) façade and west side, view to SE



main building (.001) rear and west side, view to NE

