

**S-10440. Dwelling, 10817 DuPont Highway  
(PIN: 230-19.00-91.00)  
(Detail Map #1)**

**Description:** The property is located on the east side of U.S. 113. The site is planted in lawn and is partially shaded by several large mature trees. Garden statuary and shrubs are placed along the foundation. A gravel driveway extends in a loop around the house. The back yard is filled with junk. The rear of the property is wooded and overgrown with a modern shed placed in the back yard.

The property is improved with a single-story, hipped roof, stucco-clad, c. 1940s, World War II-era cottage. The west façade is three bays wide with the front door centered on the wall. The wood-and-glass door has a half-wheel light and four panels below. This raised door adjoins a poured concrete stoop with iron pipe railings. Fenestration of the façade consists of one-over-one, double-hung aluminum sash windows and a single-light picture window. The south and north end walls are fenestrated with one-over-one, double-hung aluminum frame windows. The rear (east) wall is also fenestrated with one-over-one, double-hung aluminum frame windows. The rear entry is placed at the center of the rear wall. It contains a half-wheel and four-panel fiberglass door that adjoins a concrete stoop with pipe railings.

A c. 1940s-1950 garage (.002) is placed northeast of the house. This hipped roof, concrete-block building with a shed-roofed is set on a concrete slab. Its south façade is pierced by a garage door opening, now missing the door. The original west wall is obscured by the shed-roofed addition. The remaining walls are blank.

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-urbanization 1940-1960+/-; Architecture, Engineering, and Decorative Arts theme; World War II-era cottage property type.

**Evaluation:** This property has been evaluated for historical significance under the context of the World War II-era development of DuPont Highway. This highway, as many other principal roads in central and southern Delaware, was the site of substantial roadside development in the post-World War II-era as the demand for housing increased. Although this development represented an important land-use trend, individual examples of it do not generally possess historical significance. Such is the case with this property. As a typical example of such development, it lacks the significance to be eligible under Criterion A.

Limited research has not identified any connection between this property and any individual significant in the history of the local area. Therefore, it is recommended not eligible under Criterion B. The house itself, a hipped roof, World War II-era cottage lacks architectural distinction and is thus recommended not eligible under Criterion C.

The buildings on this property reflect common twentieth-century construction techniques and are not likely to provide new information regarding building technology that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-10440



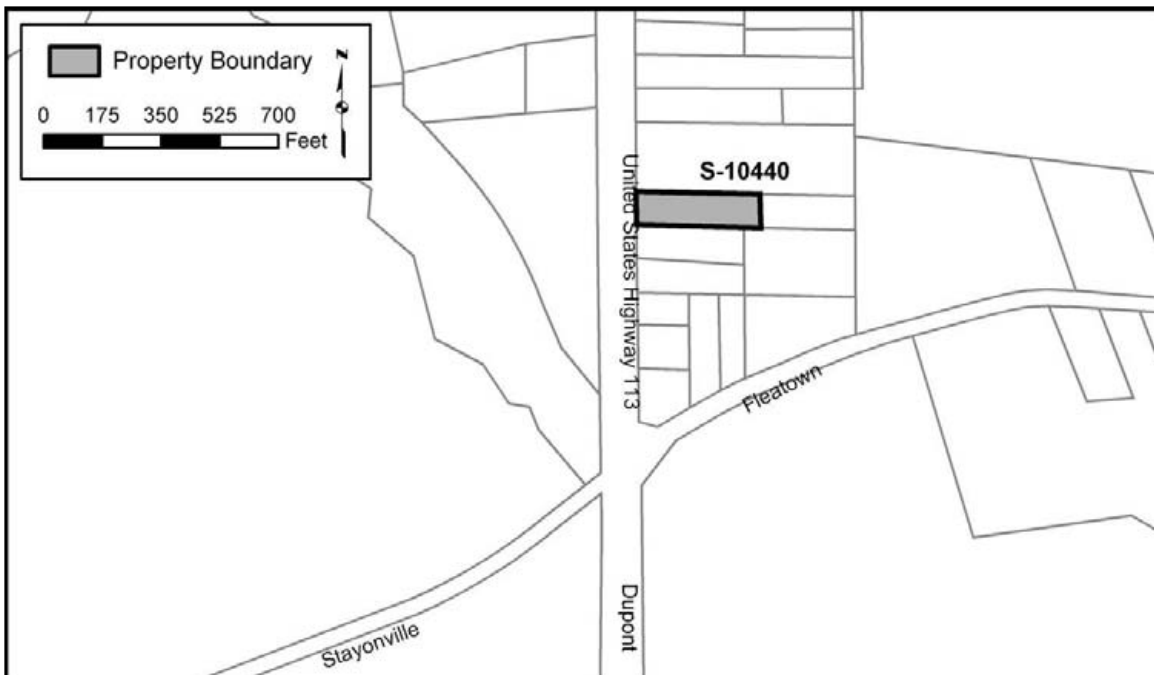
main building (.001) façade and south side, view to NE



main building (.001) rear and north side, view to SW



garage (.002), view to NE



**S-10441. Domestic Complex, DuPont Highway**  
**(PIN: 230-19.00-90.00)**  
**(Detail Map #1)**

**Description:** This property is located on the east side of U.S. 113, on a lot planted in grass with overgrown trees and shrubs. It contains a house, a small barn/garage, a small animal pen, and a chicken house. An overgrown grass driveway extends in a loop around the house from pull-offs adjacent to U.S. 113. A modern shed is placed at the rear of the property, and a group of trailers are placed north of the property.

The dwelling, a c. 1940s World War II-era cottage, consists of a side-gabled, wood-framed, gabled roof main block with a gabled, concrete-block south addition. Both the front and rear walls of the main block feature a central shed-roofed bay window. The west façade wall is pierced by a plain, modern wood door near the center of the wall. Fenestration consists of six-over-six, double-hung sash windows and paired jalousie panels in the south addition. A concrete slab stoop adjoins the front door.

The north gable end of the main block is pierced by paired six-over-six, double-hung sash windows, while the south wall contains paired jalousie panels in the gable end of the addition. The rear wall is fenestrated with original, six-over-six, double-hung sash windows in the main block and paired jalousie windows in the addition. An inset porch is placed in the wall of the addition with a nine-light, four-panel door, and a modern fiberglass door is placed near the center of the rear wall. The house sits on a concrete-block foundation. The main block is sheathed in vinyl siding. A brick chimney rises from the center of the roof ridge of the main block, and a stovepipe chimney rises from the roof of the addition.

A single-story, c. 1940, side-gabled barn/garage (.002) is placed east of the main house. Its west façade is fenestrated with a single diamond-light, casement window, probably salvaged from elsewhere. Doors consist of a batten entry door and paired batten garage doors. The north gable end contains a broken out four-light window in the first floor and a three-light window in the second floor, while the south wall contains one-over-one, double-hung sash windows in the first and second stories. The rear wall is blank. The building sits on a concrete slab, while the walls are sheathed in horizontal wood siding and fiberboard.

The second outbuilding is located north of the house and may represent the remnants of a c. 1950 chicken colony house (.003). Its side panels or walls are missing. Its east wall contains a slatted wood door, while the remaining walls are either not present or blank. The walls were originally constructed of wood slats.

The final outbuilding is a c. 1950s, shed-roofed chicken house (.004). This wood-framed building has been patched with a variety of more modern materials. The east end of the building has collapsed. The south façade wall is marked by screened openings, and five wood batten doors. The east end was not accessible due to its collapse, while the west wall contains a salvaged, fixed, leaded-glass sash. The north wall was inaccessible. The chicken house is clad in horizontal wood siding, fiberboard, and metal.

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-urbanization 1940-1960+/-; Architecture, Engineering, and Decorative Arts theme; domestic complex and World War II-era cottage property types.

**Evaluation:** This property was assessed for significance as c. 1940s World War II-era cottage and as a mid-twentieth century domestic complex. As indicated in the research design, a domestic complex is defined as a residence and associated outbuildings, either domestic or agricultural, whose basic purposes are to supply the needs of the property itself rather than for outside sale or distribution. The property includes outbuildings common to this property type, including small chicken houses and a small garage/barn.

Domestic complexes are common property types of semi-rural properties in many areas of the country, as owners of larger tracts of land attempt to produce significant amounts of their own food. In fact, these complexes are becoming more common as the trend toward “local food” increases. Early or exceptionally well-preserved examples of such complexes may possess historical significance. This c. 1940s-1950s complex is not early, and most of its outbuildings are in ruinous condition. Most of the chicken house has collapsed, and the colony house is missing most of its walls. Lacking both significance and integrity as a domestic complex, this property is recommended not eligible under Criterion A.

Limited research has not identified any association with an individual significant in the history of the local area. Therefore, it is recommended not eligible for the National Register under Criterion B.

The house itself is an altered example of a World War II-era cottage. As indicated in the research design, this represents a common property type and few examples possess architectural significance. The outbuildings are common designs in various states of disrepair. The house individually and the complex as a whole lacks both the architectural significance and the integrity to be eligible under Criterion C.

The buildings on this property represent common examples of wood framing and are not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

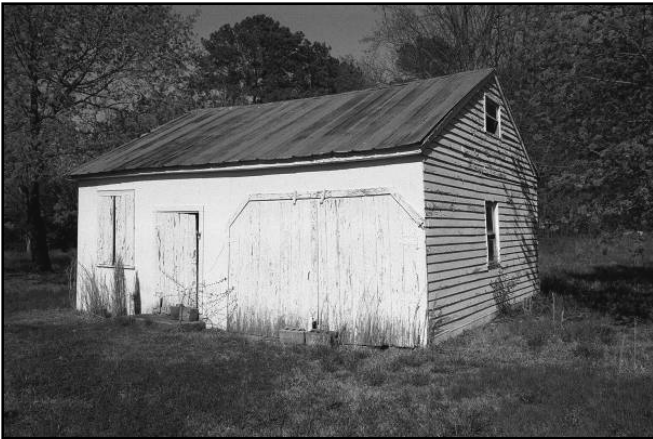
S-10441



main building (.001) façade and south side,  
view to NE



main building (.001) rear and north side,  
view to SW



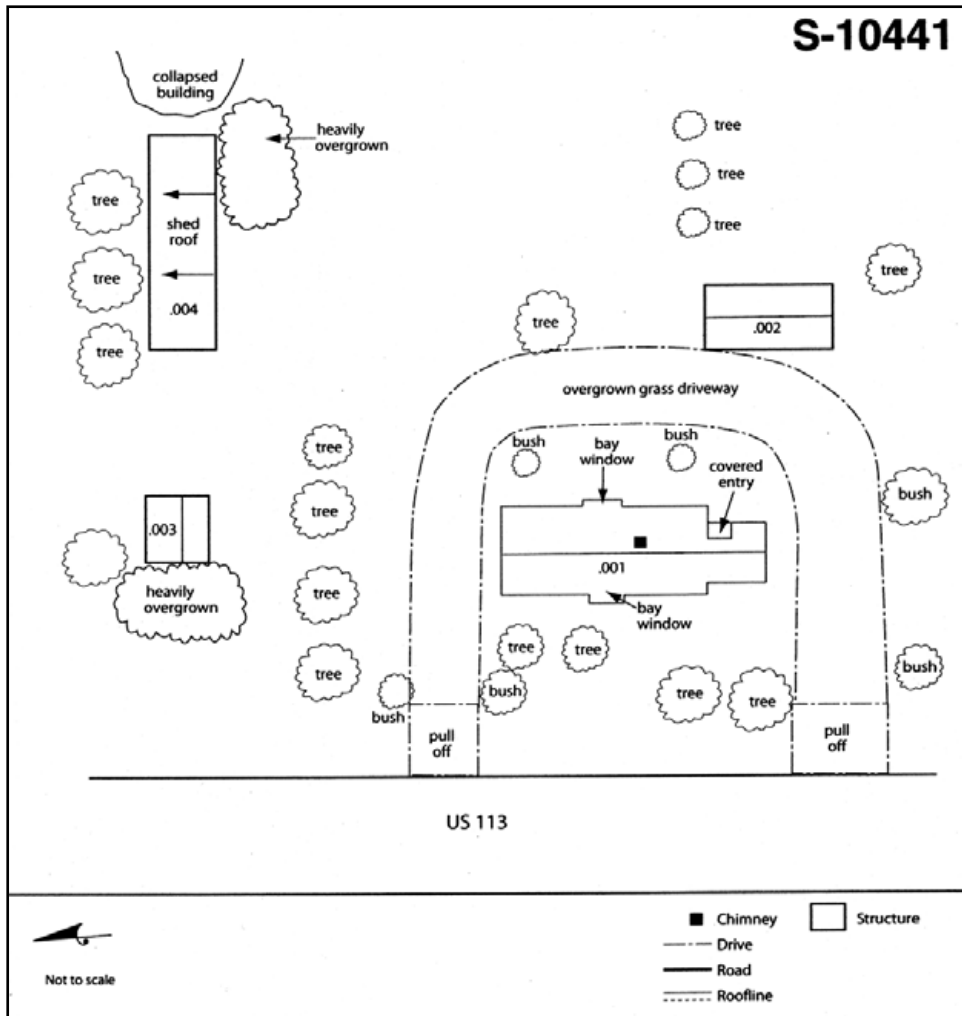
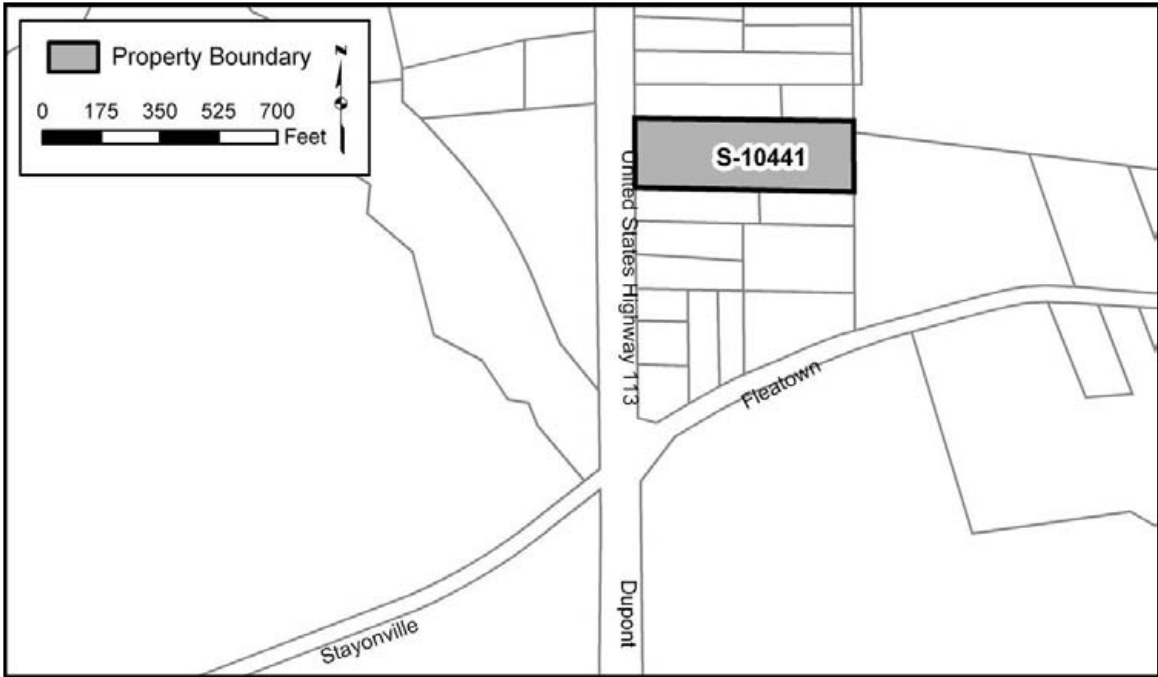
garage (.002), view to NE



chicken colony house (.003), view to NW



chicken house (.004), view to NE



**S-10442. Dwelling, 10489 South DuPont Boulevard  
(PIN: 330-12.00-15.00)  
(Detail Map #7)**

**Description:** This property, located on the east side of U.S. 113 immediately north of Hudson Pond, contains a house and a garage. The house is set back from the highway with a grove of trees between it and the highway. A gravel driveway extends from the road along the south side of the house and provides access to the garage northeast of the house.

The house (.001) is a one-and-one-half-story, wood-framed, expanded Cape Cod dwelling. According to its owner, the house was built in 1948. The central block has a symmetrical three bay façade. Its door, reached by brick steps, is placed in a surround with pilasters and an entablature. Flanking windows are eight-over-eight, double-hung sashes. Two gabled dormers rise from the front roof slope of the main block. A two-bay, recessed wing adjoins the north gable end of the main block. This wing is fenestrated with six-over-six, double-hung sash windows. A gabled-roof porch with a concrete deck, square wooden posts, and screened walls, projects from the south gable end of the main block. Gable end walls are fenestrated with one-over-one and six-over-six, double-hung sash windows. The rear elevation features an enclosed, shed-roofed porch with side entry door and concrete steps. Fenestration of the rear walls consists of six-over-six, one-over-one, and eight-over-eight, double-hung sash windows. The house sits on a concrete-block foundation and is sheathed in aluminum siding.

The c. 1948 garage (.002) is a two-car, wood-framed, side-gabled block. Its west façade contains two wood-and-glass roll-down garage doors and a side entry door. The side walls are fenestrated with two, eight-over-eight, double-hung sash windows, while the rear wall is fenestrated with a single, eight-over-eight window. The garage sits on a concrete-block foundation and is sheathed in aluminum siding.

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-urbanization 1940-1960+/-; Architecture, Engineering and Decorative Arts theme; Cape Cod house property type.

**Evaluation:** This property was evaluated for its dwelling, a 1948 Cape Cod house. The historical context with which it is most clearly associated is the nationwide historical trend of strip development along major transportation corridors, in this case the DuPont Highway. As pointed out in the research design, this is a pervasive historical process throughout the country, but individual examples of it are rarely considered historically significant. This property is therefore recommended not eligible for listing in the National Register under Criterion A.

Limited research has not revealed any association of the property with individuals significant in the history of the local community. Therefore, it is recommended not eligible under National Register Criterion B.

As indicated in the research design, the Cape Cod is a common suburban and rural twentieth-century house type. Because of its commonness, only particularly finely detailed examples of the type possess the significance necessary for National Register eligibility under Criterion C. As a typical example, altered with the construction of additions and sheathing in aluminum siding, this house lacks both significance and integrity and is therefore recommended not eligible under Criterion C.

The buildings on this property represent common examples of wood framing and are not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.



S-10442



main building (.001), façade and south side, view to NE



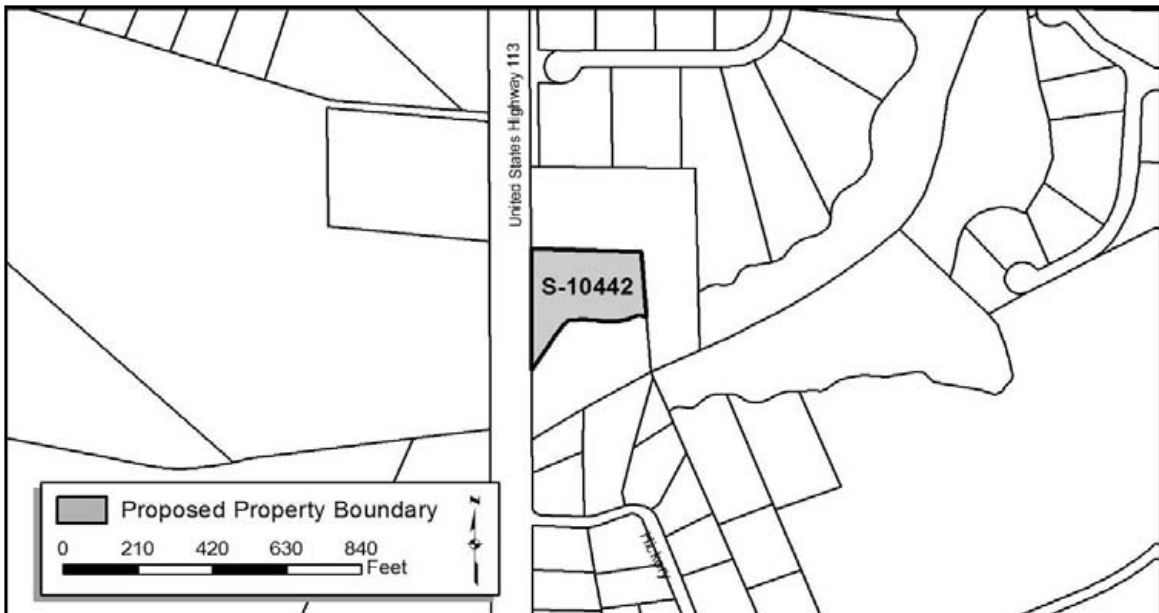
main building (.001), façade and north side, view to SE



main building (.001), rear, view to NW



garage (.002), view to SE



**S-11464. Dwelling, Milton-Ellendale Road (Route 16)**  
**(PIN: 230-26.16-7.00)**  
**(Detail Map #2)**

**Description:** This property is located near the southeast corner of U.S. 113 and Milton-Ellendale Road. It is a grassy lot with a few trees in back, somewhat overgrown and containing piles of rubble.

This single-story, late 1930s, jerkinhead gable-front bungalow has its north façade dominated by a full-width enclosed front porch. This porch has a central half-wheel and panel door flanked by six-over-six, double-hung vinyl sash windows. The front door adjoins the remains of a concrete stoop. The side walls are fenestrated with irregularly placed six-over-six, double-hung sash windows. The rear wall is blank.

The house was recently renovated. Alterations to the house include new siding, windows, doors, the enclosure of the front porch, construction of a large rear addition, and probable construction of a new foundation.

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; bungalow/craftsman house property type

**Evaluation:** This property was evaluated for the National Register for its house, a late 1930s bungalow. The historical trend with which the property is most clearly associated is farmland subdivision. Farmland subdivision was a major land-use trend in many agricultural areas of the eastern United States driven in part by family considerations and in part by agricultural economics. Farmland subdivision is normally recognizable on the landscape in a farm featuring its original nineteenth- or twentieth-century farmhouse with adjoining later dwellings on smaller lots. In this case, the strip of road-front properties all appear to postdate 1937, and most were not added until after 1961. The original farmhouse may have been the I-house at the corner of Sharons Road (S-03890). Individual examples of farmland subdivision rarely possess historic significance, and this property is therefore recommended not eligible under Criterion A.

Limited research has not revealed association with any individual significant in the history of the local area. Therefore, it is recommended not eligible under Criterion B.

Evaluating the building for architectural significance, it is a common vernacular bungalow design that has been extensively renovated and modernized. It lacks both the significance and integrity to be eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

This property was also evaluated as part of a proposed historic district, Beach Highway. The district is recommended not eligible for the National Register because it lacks both significance and integrity as a cohesive grouping.

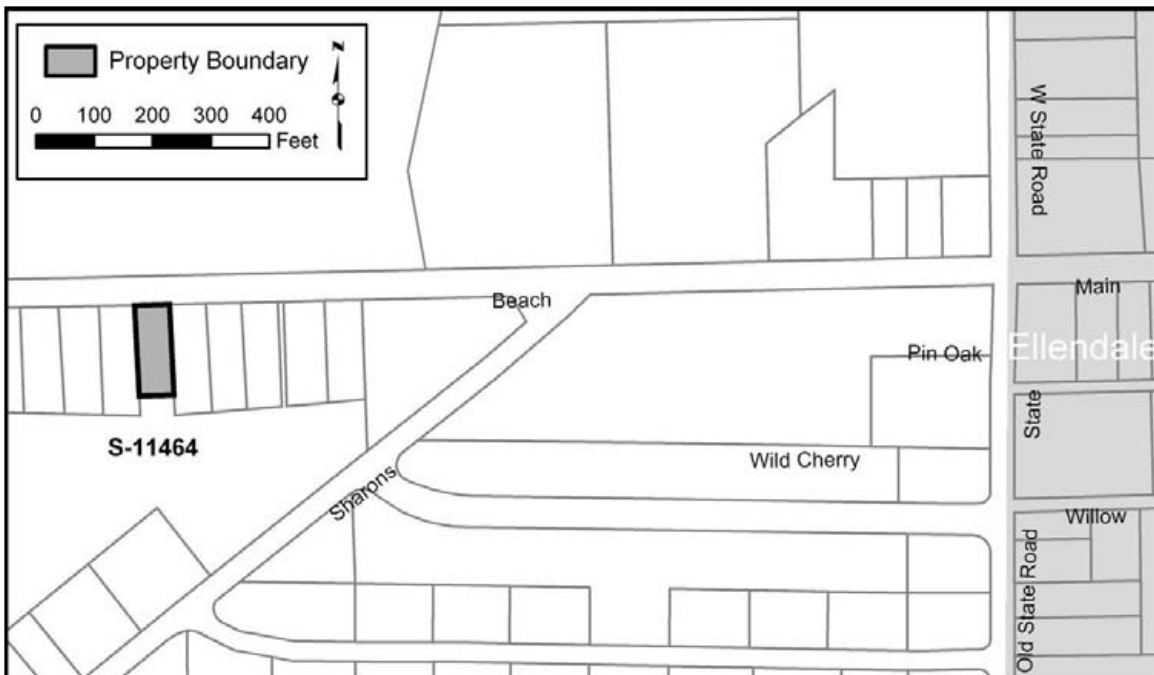
S-11464



main building (.001) façade, view to S



main building (.001) west side, view to E



**S-11465. Dwelling, Sharons Road**  
**(PIN: 230-26.00-105.01)**  
**(Detail Map #2)**

**Description:** This house is located on an overgrown lot on the northwest side of Sharons Road; the dwelling is obscured by vegetation, and a clear photograph was impossible. An evergreen grove is placed at the rear of the lot. Blackberry bushes are planted in the back yard, and the remainder of the rear yard is planted in grass. A cistern and discarded junk are also present in the rear yard.

This single-story, side-gabled, c. 1945, wood-framed house has a three-bay façade that faces southeast. A modern, aluminum-clad door is placed at the center of the southeast façade. Fenestration of the façade consists of original, two-over-two, double-hung sash windows and one-over-one, double-hung aluminum-framed replacements. The southwest side wall is fenestrated with replacement, one-over-one, double-hung wood replacement windows, while the northeast side wall is fenestrated with original two-over-two, double-hung wood sash windows. The rear wall contains a modern, four-panel, two-light, aluminum clad window at the right side of the rear wall. The house sits on a concrete-block foundation covered with tin cladding. The walls are sheathed in cement-asbestos siding. The roof junction is marked by exposed rafter ends, and the roof is sheathed in asphalt shingles.

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-urbanization 1940-1960+/-; Architecture, Engineering, and Decorative Arts theme; World War II-era cottage property type

**Evaluation:** This property was evaluated for its house, a deteriorated World War II-era cottage. The house sits on a large parcel, and it is likely that it once served as a support building—possibly a secondary dwelling or worker cottage—for an agricultural operation. Aerial photographs show that the parcel was vacant in 1937; the nearest house was on an adjacent lot to the northeast, the triangular lot at the corner of Milton-Ellendale and Sharons Roads occupied by a c. 1880 farmhouse (S-03890). With the exception of this small cottage, the large lot was still vacant in 1954, but by 1961 another, larger building (no longer extant) was present toward the northeast end of the lot. The original farm has been subdivided, and this resource is now an isolated, deteriorated support building that has been divorced from its original agricultural context. Lacking an association with an important trend in Sussex County agriculture, this property is recommended not eligible for listing on the National Register under Criterion A.

Limited research has not identified any association with a person significant in the history of the local area. Therefore, it is recommended not eligible under Criterion B.

The house is a simple, deteriorated example of a World War II-era cottage. As indicated in the research design, this represents a common property type and few examples possess architectural significance. Therefore, it is recommended not eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-11465



main building (.001) façade, view to NW



main building (.001) rear, view to SE

