

**S-11472. Store, 18283 DuPont Boulevard
(PIN: 135-6.00-6.00)
(Detail Map #6)**

Description: This commercial property is located on the northeast side of U.S. 113 between Ellendale and Georgetown. It contains a historic-period building and a modern trailer with asphalt and gravel parking area between the building and road.

The c. 1950 building is a one-story, front-gabled vernacular commercial building. It is rectangular in plan with the gables on the long sides. It is wood framed, and the exterior walls are covered with vinyl siding. Wood shingles and asbestos shingles cover the gable ends, which appear to be the enclosed ends of the roof's scissor trusses, revealed on the exterior. The eaves are boxed with a deep fascia and do not project far beyond the side walls of the building. At the front (southwest) side, there is a small front-gabled vestibule centered on the main portion. The front door, at the vestibule, is wood and glass, flanked by two large single-light windows. The roof of the vestibule is covered with asphalt shingles while the main roof is metal. Another addition on the rear (northeast) wall is also gabled. This portion is partially sided with the remainder being exposed plywood sheathing. A wooden deck area fills the space between the addition and the building on the northern side. The deck provides access to the back door of the building. There are two small openings in the wall on the southeast side of the building that are positioned high in the wall. One has a jalousie window and the other is fitted with a window air-conditioning unit. Neither opening has any defining window trim.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-urbanization 1940-1960+/-; Retailing/Wholesaling theme; vernacular commercial property type.

Evaluation: This property has been evaluated under the Retailing/Wholesaling theme as an example of a vernacular commercial building. The historic trend with which the property is most clearly associated is the commercial development of the U.S. 113 corridor. According to the research design, a commercial building must have a substantiated tie to an event significant in the history of the local area or region to be eligible under Criterion A. This building stands largely on its own, is not part of a potential historic district, and does not represent early commercial development of the corridor. As a later, isolated example of commercial development, this property is recommended not eligible under Criterion A.

Limited research has not revealed any association of the property with individuals significant in the history of the local community. Therefore, it is recommended not eligible under National Register Criterion B.

The building was evaluated under Criterion C as a vernacular roadside commercial building. Of relatively recent construction, this simple rectangular building does not possess architectural significance. Further, it has been resided, and additions have been attached to the front and rear walls, diminishing its integrity. Lacking both significance and integrity, the property is recommended not eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-11472



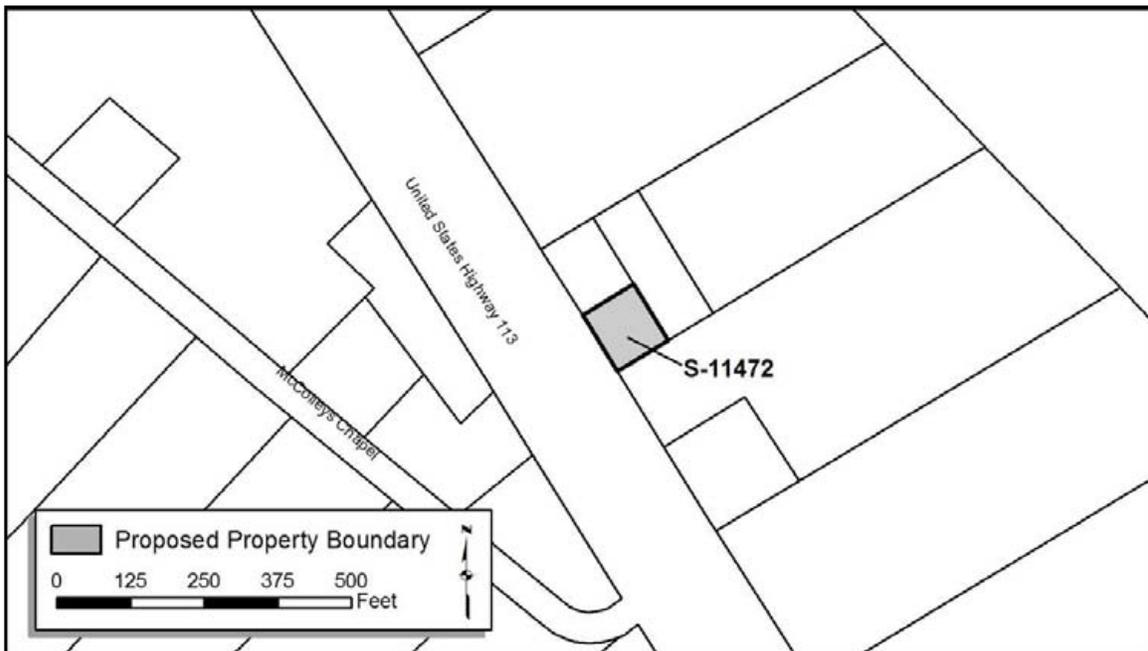
main building (.001), façade, view to NE



main building (.001), façade and south side, view to NE



main building (.001), rear, view to SW



**S-11473. Former Dwelling, 18245 DuPont Boulevard
(PIN: 135-6.00-8.01)
(Detail Map #6)**

Description: This c. 1957 former ranch house is currently part of an overall commercial property and is located on the east side of U.S. 113 between Ellendale and Georgetown. The building faces southwest and is positioned near the road on this mostly paved site. There are three large, modern storage buildings and a small pond at the back of the property.

The wood-framed, side-gabled, one-story house has a linear rectangular plan composed of three smaller parts, all oriented so that the long axis is parallel to the roadway. Subtle variations in the width of the building pieces results in a slight break in the height of the roof's ridgeline. The front door is located near the northern end of the building on the southwest façade and is accessed by a small brick stoop with metal railing. Windows are a combination of one-over-one and eight-over-eight, double-hung sash at regular intervals across the southwest side and wrapping the northwest corner. These windows are all flanked with non-functioning vinyl shutters. Windows on the southern end of the southwestern façade are surrounded by larger panels of different siding, which indicates this end of the building originally contained garage door bays. On the northeast, rear elevation, shed-roofed additions extend outward from the building. One of the windows on the northwest side is a paired group of double-hung sash windows without shutters. Other replacement windows without shutters are visible across the rear additions and the southeastern end and consist of small single-light awning windows. There is a chimney made of concrete block on the exterior of the northwest side elevation of the rear shed-roofed addition. The building has a brick veneer foundation and aluminum-siding; its roof is covered with asphalt shingles and has boxed eaves.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-urbanization 1940-1960+/-; Architecture, Engineering and Decorative Arts theme; ranch house property type.

Evaluation: This property is evaluated for its original function, as a c. 1957 ranch house. The dwelling was constructed as part of the nationwide historical trend of strip development along major transportation corridors, in this case the DuPont Highway. This was a pervasive and important developmental process that helped shape the modern geography of Sussex County, but individual examples of it rarely possess historical significance. The property is therefore recommended not eligible for listing in the National Register under Criterion A.

Limited research has not revealed any association of the property with individuals significant in the history of the local community. Therefore, it is recommended not eligible under National Register Criterion B.

As indicated in the research design, ranch houses were simple, rapidly built, inexpensive architectural types that generally do not possess the architectural distinction necessary to be eligible for listing on the National Register. Moreover, this example has been substantially altered by the construction of a large shed-roof addition on the back, and by major fenestration changes to the façade to accommodate its current commercial function. Overall, this property lacks the integrity necessary to convey any architectural significance it may have once possessed and it is recommended not eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

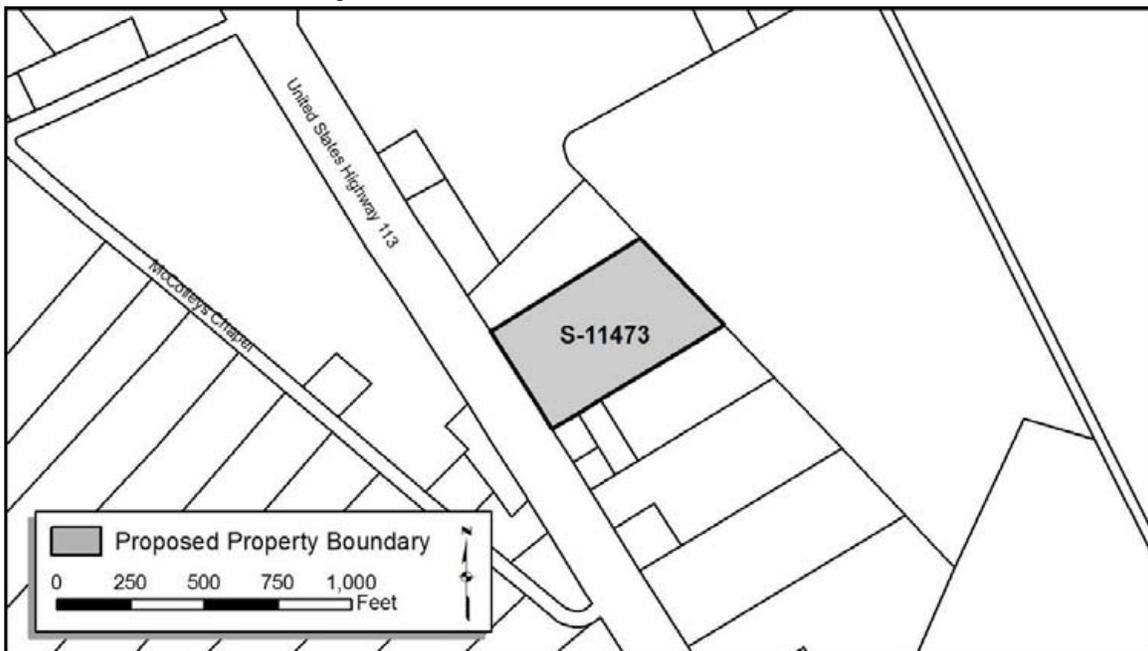
S-11473



main building (.001), façade and southeast side, view to N



main building (.001), rear and northwest side, view to S



**S-11474. Dwelling, 18932 Redden Road
(PIN: 135-6.00-10.03)
(Detail Map #5)**

Description: This residential property is located on the south side of Redden Road and includes a two-story, c. 1910 house accessed by a semicircular gravel drive that surrounds it.

The center-hall house is wood-frame construction with horizontal wood siding and a standing-seam metal roof. A large single-story addition of nearly the same floor area as the original house extends the rectangular plan on the western end. This addition has a salt-box roof with the longer side facing south. There is a porch on the north side of the house, facing the roadway, and another small, shed-roofed addition on the south side, straddling the junction between the two-story and one-story portions. The porch has a low-slope hipped roof and is supported by thin, turned wood posts on a brick base. The posts are topped with decorative scrolled brackets. A railing with turned balusters lines the edges of the porch. The shed-roofed addition on the south side is partially sided and has a metal door facing south and a sliding glass door facing east. The windows on the front of the house are regularly spaced, six-over-six, double-hung replacement windows that do not seem to match the taller proportions of the original openings as there is a modified area between the original and new window sill. On the western end of the north side, there are two smaller one-over-one, double-hung sash windows. Other windows on the back of the house appear to be new but fit the proportions of the openings. There are two skylights on the southern side of the roof, one on the roof of the two-story main part, and one at the lower roof near the shed-roofed addition. There is an exterior brick chimney near the southeastern corner of the house.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; vernacular, center hall property type

Evaluation: This property has been evaluated for the National Register for its house, an early twentieth-century, center hall dwelling. Although the house itself dates to c. 1910, it appears to have been moved to this location after 1937, as evidenced on aerial photographs. This property appears to be an example of farmland subdivision, a major land use trend in many agricultural areas of the eastern United States driven in part by family considerations and in part by agricultural economics. Farmland subdivision is normally recognizable on the landscape in a farm featuring its original nineteenth- or twentieth-century farmhouse with adjoining later dwellings on smaller lots. In this case, the strip of road-front properties all appear to have been developed between 1937 and 1954, and the location of the original farmhouse is not known. Individual examples of farmland subdivision rarely possess historic significance, and this property is therefore recommended not eligible under Criterion A.

Research has not revealed any association of the property with individuals significant in the history of the local community. Therefore, it is recommended not eligible under National Register Criterion B.

To meet eligibility requirements for its architecture, the house must retain the original configuration of the façade openings, which is diagnostic of this house form. Contributing to integrity would be retention of original or historic exterior fabric including siding, fenestration, roof profile and structure, chimney(s), and porches, if any. Because of the commonness of this

house type, however, eligibility would likely require more than retention of integrity. This building is not an outstanding example of its type. Furthermore, alterations include the application of modern siding to the exterior, window replacement, and the construction and attachment of additions to the side and rear façades. This property is recommended not eligible for inclusion in the National Register under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

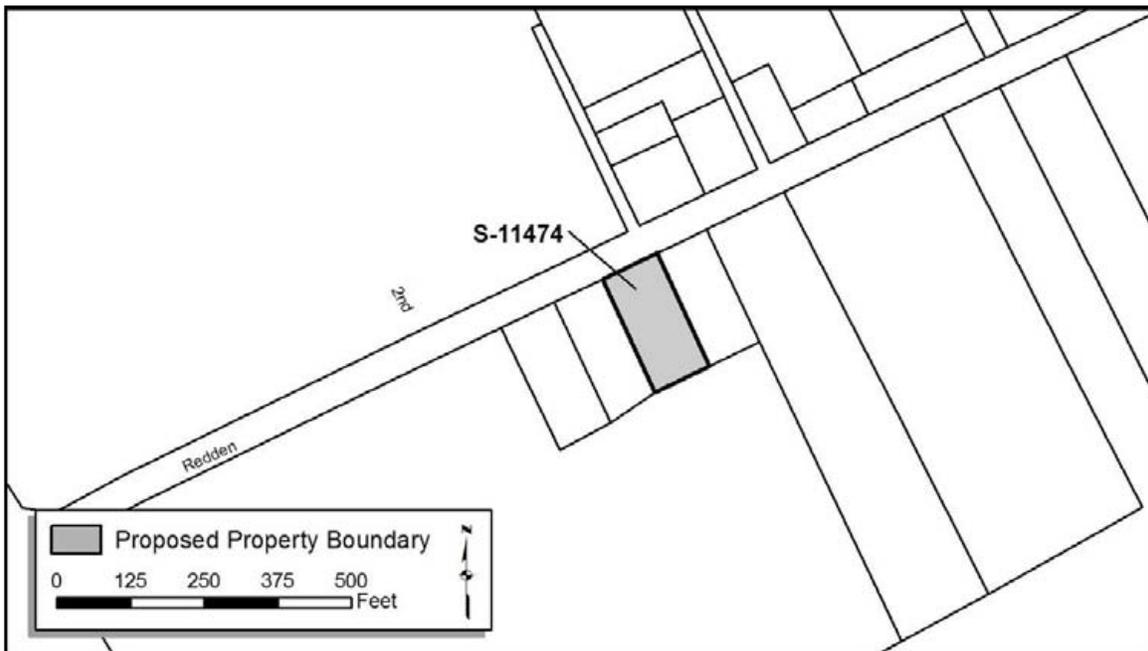
S-11474



main building (.001) façade and southwest side, view to ESE



main building (.001) rear and northeast side, view to NW



S-11475. Dwelling, 18942 Redden Road
(PIN: 135-6.00-11.00)
(Detail Map #5)

Description: This residential property, containing a mid-twentieth-century house, a modern carport, and a modern shed, is located on the south side of Redden Road.

The c. 1948 center hall house is a one-and-one-half story, wood-framed, aluminum-sided Cape Cod variant on a concrete-block foundation. It has side gables and a small hip-roofed porch centered on the front (north) façade. A one-story addition that is the same width as the house extends to the south to nearly double the size of the original rectangular plan. The addition has a low-slope gable roof perpendicular to the main roof. All roofs have boxed eaves and are covered with asphalt shingles. The hipped-roof front porch is supported on thin, bracketed ornamental metal posts that rest on a concrete stoop. Windows on the house are regularly spaced one-over-one, double-hung sash with vinyl, non-functional shutters. Metal awnings cover most of the windows on the west side where vinyl shutters are absent. There is a small screened area with wooden columns within the rear addition at the southeast corner. A brick chimney is positioned central to the overall plan, near the intersection of gable roofs. There is also a tall wooden utility pole located immediately adjacent to the eastern gable end of the front of the house. An asphalt driveway to access the modern carport runs close to the house on the eastern side.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-urbanization 1940-1960+/-; Architecture, Engineering, and Decorative Arts theme; Cape Cod property type

Evaluation: This property has been evaluated for the National Register for its house, a c. 1948 Cape Cod. This property appears to be an example of farmland subdivision, a major land use trend in many agricultural areas of the eastern United States driven in part by family considerations and in part by agricultural economics. Farmland subdivision is normally recognizable on the landscape in a farm featuring its original nineteenth- or twentieth-century farmhouse with adjoining later dwellings on smaller lots. In this case, the strip of road-front properties all appear to have been developed between 1937 and 1954, and the location of the original farmhouse is not known. Individual examples of farmland subdivision rarely possess historic significance, and this property is therefore recommended not eligible under Criterion A.

Research has not revealed any association of the property with individuals significant in the history of the local community. Therefore, it is recommended not eligible under National Register Criterion B.

To meet eligibility, examples of the Cape Cod property type should be better preserved than the average Cape Cod in a particular area and exhibit diagnostic elements of the building type. This would include elaborated entrances, symmetrical fenestration with multi-light, double-hung sash windows, ornamental shutters, and symmetrical, often pedimented, front dormers. If the example was designed by an architect or based on a published plan, and if it possessed all of its diagnostic elements, it would likely meet eligibility. This property is not an outstanding example of the Cape Cod style. In addition, several alterations have occurred, including the application of replacement siding and the replacement of all the windows. This property is recommended not eligible for inclusion in the National Register under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

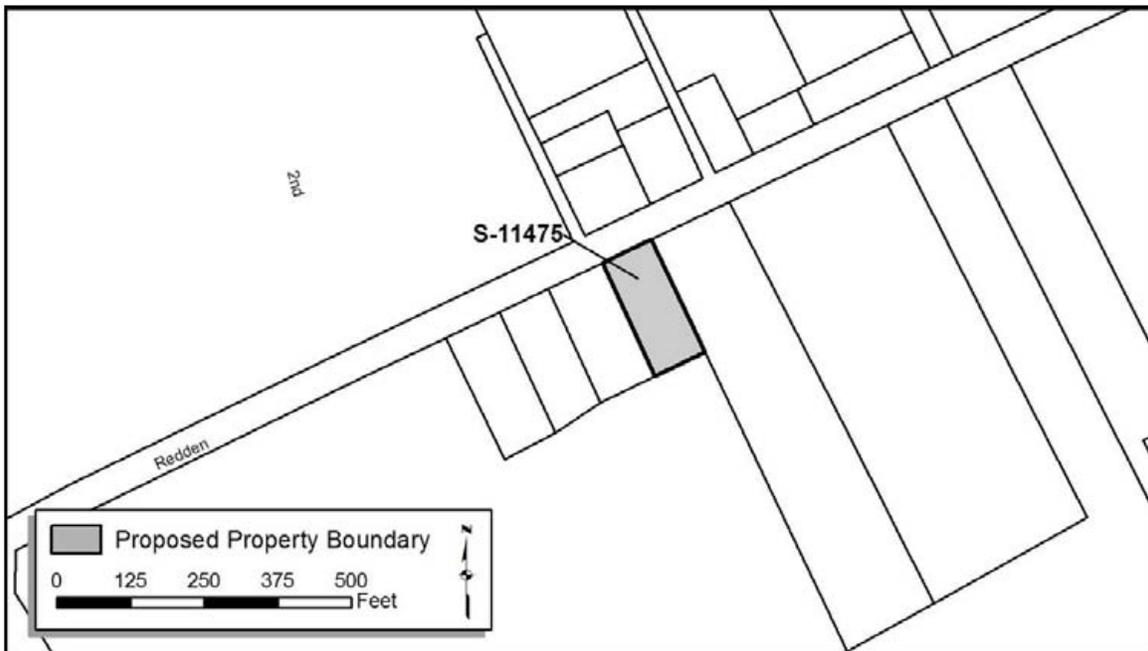
S-11475



main building (.001) façade and northeast side, view to SW



main building (.001) rear and southwest side, view to NE



S-11476. Dwelling, 18945 Redden Road
(PIN: 135-6.00-12.00)
(Detail Map #5)

Description: This residential property, situated on the north side of Redden Road, contains a two-and-one-half story vernacular L-shaped house, modern garage, and modern shed.

The c. 1910 house, with L-shaped plan, is wood-framed and has been resided with vinyl siding. It has a steeply sloped roof with gables on the east, west, and south ends. The eaves and cornice are boxed, and the roof is covered with asphalt shingles. The house has one-over-one, double-hung sash windows with aluminum-covered trim, in a regular pattern. The windows all have vinyl non-functional shutters with the exception of two smaller windows in the back, and the windows at the attic level in the gable ends. The attic-level windows have pointed arch tops, a remaining vestige of its original Victorian detailing. The pointed top still remains, but the curved part of the windows has been covered in the process of residing and now has straight sides. The 15-light wood-and-glass front door is located on the south side of a one-story shed-roofed portion located within the ell of the house. The front door is accessed from a small concrete stoop. Although covered in vinyl siding, this entry vestibule is likely a former open porch. There are also two shed-roofed additions on the back (north) side of the house. They extend to the east and west sides of the house, but there is a narrow space in between them where a concrete-block chimney is located. The western addition contains a back door facing north that accesses a small wood deck, one step above grade. The eastern addition contains a grouping of three, one-over-one, double-hung sash windows facing north and a back door facing east.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; L-shaped house property type

Evaluation: This property has been evaluated for the National Register for its house, an L-shaped dwelling. The historical pattern most clearly associated with this property is the subdivision of farmland. The form, style, location, and architectural details of this resource suggest that it once served as a farmhouse. During the period of significance, this dwelling was likely surrounded by cropland, pastures, orchards, or woodland and, perhaps, a complex of agricultural support buildings. The original farm has, however, been subdivided, and this resource is now surrounded by more recent houses. The stripping away of farmland, loss of setting attendant on the construction of newer houses, and the discontinuation of historical agricultural activities have disassociated the house from its historical use as a farmhouse and it no longer possesses historical significance as an agricultural property. The trend of farmland subdivision itself is a common one that can be witnessed throughout the study area, and, as discussed in the Research Design, individual examples of this pattern rarely possess historical significance. This property is therefore recommended not eligible for listing on the National Register under Criterion A.

Research has not revealed any association of the property with individuals significant in the history of the local community. Therefore, it is recommended not eligible under National Register Criterion B.

This house has undergone numerous alterations including the application of vinyl to the exterior, the replacement of the windows and doors, and the construction and additions of rear and front

additions. Its integrity of design, materials, and workmanship has all been lost. For these reasons, this dwelling is recommended not eligible for inclusion in the National Register under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-11476



main building (.001) façade and northeast side, view to NW



main building (.001) rear and southwest side, view to SE

