

APPENDIX D
DETERMINATION OF ELIGIBILITY (DOE) FORMS

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

This form is for use in nominating or requesting determinations for individual properties or districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

Historic name: BRIDGE 3-806 (over Diamond Mill Pond)
Other names/site number: (Delaware CRS #S-9849)

2. Location

Street & Number: Sand Hill Road (Route 319) at Diamond Mill Pond Not for Publication
City or town: Milton Vicinity
State: Delaware Code: DE County: Sussex Code: 005 Zip Code: 19968

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

Signature of certifying official/Title Date

State or Federal agency and bureau
In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title Date

State or Federal agency and bureau

4. National Park Service Certification

I, hereby, certify that this property is:
 entered in the National Register. Signature of the Keeper Date of Action
 see continuation sheet
 determined eligible for the National Register
 see continuation sheet
 determined not eligible for the National Register
 removed from the National Register
 other, (explain:)

Name of Property

County and State

5. Classification

Ownership of Property	Category of Property	No. Resources within Property	
		Contributing	Noncontributing
<input type="checkbox"/> Private	<input type="checkbox"/> Building(s)	_____	_____ Buildings
<input type="checkbox"/> Public-Local	<input type="checkbox"/> District	_____	_____ Sites
<input checked="" type="checkbox"/> Public-State	<input type="checkbox"/> Site	<u>1</u>	_____ Structure
<input type="checkbox"/> Public-Federal	<input checked="" type="checkbox"/> Structure	_____	_____ Objects
	<input type="checkbox"/> Object	<u>1</u>	<u>0</u> Total

Name of related multiple property listing
N/A

Number of contributing Resources previously listed in the National Register 0

6. Function or Use

Historic Functions (enter categories from instructions)

Current Functions (enter categories from instructions)

TRANSPORTATION/Road-Related
INDUSTRY/Waterworks

TRANSPORTATION/Road-Related

[X] See continuation sheet

7. Description

Architectural Classification
(enter categories from instructions)

NO STYLE

Materials (enter categories from instructions)

Foundation: CONCRETE

Walls: CONCRETE

Roof: N/A

Narrative Description

Describe the historic and current condition of the property on one or more continuation sheets

[X] See continuation sheet

Name of Property

County and State

8. Statement of Significance

Applicable National Register Criteria

(Mark x in one or more boxes for the criteria qualifying the property for National Register listing.)

[] A Property is associated with events that have made a significant contribution to the broad patterns of our history.

[] B Property is associated with the lives of persons significant in our past.

[X] C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.

[] D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark x in all the boxes that apply.)

[] A owned by a religious institution or used for religious purposes.

[] B removed from its original location.

[] C a birthplace or grave.

[] D a cemetery.

[] E a reconstructed building, object, or structure.

[] F a commemorative property.

[] G less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

[X] See continuation sheet

Areas of Significance

(Enter categories from instructions)

ARCHITECTURE

Period of Significance

Ca. 1917-1991

Significant Dates

Ca. 1917

1948

Significant Person

(Complete if Criterion B is marked above.)

Cultural Affiliation

N/A

Architect/Builder

Unknown

Name of Property

County and State

9. Major Bibliographic References

See continuation sheet

Previous documentation on file (NPS):

preliminary determination of individual listing (36 CFR 67)

previously listed in the NR

previously determined eligible by the National Register

designated a National Historic Landmark

recorded by Historic American Buildings Survey # _____

recorded by Historic American Engineering Record # _____

Primary location of additional data:

State SHPO office

Other State agency

Federal agency

Local government

University

Other

Specify repository: _____

10. Geographical Data

Acreeage of property Less Than 1 Acre

UTM References Milton USGS Map

1) 11/8/ 14/7/2/3/4/4/ 14/2/9/1/1/6/7/

Zone Easting Northing

See continuation sheet

Verbal Boundary Description

Bridge #3-806 is located at Sand Hill Road (Route 319) over Diamond Mill Pond in Milton, Sussex County, Delaware. The boundary of the property encompasses the 14' long bridge and its associated wing walls. The entire property incorporates less than 1 acre.

See continuation sheet

Boundary Justification

The boundary includes the original bridge as constructed in ca. 1917.

See continuation sheet

I. Form Prepared By

Name/title Simone Monteleone Moffett, Sr. Architectural Historian and Laurie J. Paonessa, Archaeologist/Historian

Organization Parsons Date December 2002

Street & Number 10521 Rosehaven Street Telephone (703) 591-7575

City or Town Fairfax State VA Zip code 22030

BRIDGE 3-806
Name of Property

MILTON, SUSSEX COUNTY, DE
County and State

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 or 15 minute series) indicating the property's location.

A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of the SHPO or FPO.)

name Delaware Department of Transportation
street & number 800 Bay Road, P.O. Box 778 telephone 302-760-2080
city or town Dover state DE zip code 19903

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et seq.*)

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of the Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

GENERAL DESCRIPTION

Bridge 3-806 over Diamond Pond is located on Route 319 in Sussex County, Delaware. Route 319 at Bridge 3-806 is a two-lane road in the town of Milton, Sussex County, Delaware.

Bridge 3-806 is a reinforced concrete box culvert which carries a two-lane road over the waterway of Diamond Pond. The dual function of the bridge includes carrying traffic over the waterway and water flow control. The ca. 1917 bridge is a single span, triple-cell, 14'-long, 22'-wide structure with two parapet walls each pierced by three arches. The parapet walls are not architecturally embellished and are modest in design. The concrete parapet walls are approximately 3' from ground level and are approximately 8" thick. U-shaped concrete wingwalls extend from the parapet walls. The spillway of the multi-cell box culvert allows the water from the pond to spill into a stream. At the time of its construction, Bridge 3-806 water control functions included providing upstream water storage for the mills on Wagamon Pond less than a mile away (demolished ca. 1991). The functional wood gates that controlled the amount of water moving through the spillway are no longer extant. These gates were in existence as recently as 1992 (DelDot 1992).

Bridge 3-806 has undergone a degree of deterioration to the parapet walls, wingwalls, and apron corner. The design of Bridge 3-806 has been attributed to the same designer of Bridge 3-808 and its associated penstock bridge off of Wagamon Pond on Route 197 in Milton (demolished ca. 1991). Bridge 3-806 and the penstock bridge were both multiple-cells, single span reinforced concrete box culverts with three arches in the parapet walls. The penstock bridge had a single parapet wall with functioning wood gates. Bridge 3-808 was a larger, multiple-cell, two-span, bridge and water flow control structure measuring 23' in length with six arches in each parapet wall. The multi-arch design in the otherwise modest parapet wall at Bridge 3-806 is considered an "unusual design" and has been found on only two other inventoried bridges in the state, Bridge 3-808 and the penstock bridge at Wagamon Pond (P.A.C. Spero and Company 1991:136; Heite 1991:34). The demolition of the bridges at Wagamon Pond leaves Bridge 3-806 as the only extant example of this parapet wall design in Delaware.

STATEMENT OF SIGNIFICANCE

Bridge 3-806, constructed ca. 1917, is an example of a reinforced concrete box culvert with an unusual parapet wall design. Textual documentation and physical evidence suggests that the bridge was constructed around the same time as Bridge 3-808 and its associated penstock bridge at Wagamon's Pond in Milton, Delaware (Heite 1991:2). Reinforced concrete box culverts were an economical and practical construction type for spans less than 15' since the 1910s and Bridge 3-806 is an early and isolated example of this type. Bridge 3-806 is not associated with events that have made a significant contribution to the broad patterns of history (Criterion A) and the resource is not known to be associated with the lives of significant persons (Criterion B). The original design of the bridge combined the needs for vehicular traffic and water control requirements for the area. The mills historically located along Sand Hill Road off of Diamond Pond were no longer extant at the time of Bridge 3-806's construction. Diamond Pond was historically part of the same power system as Wagamon Pond to the north. Although the resource does not represent the work of a master, its use of multiple arches in the parapet walls is a unique design feature for reinforced concrete box culverts in Delaware (Criterion C). Historic bridge inventories conducted for the Delaware Department of Transportation identified three examples of this design feature throughout the entire state. The two other examples, Bridge #3-808 and its associated penstock bridge are no longer extant. Bridge 3-806 is recommended as eligible for listing on the National Register of Historic Places under Criterion C.

Determination of Eligibility for Listing on the National Register of Historic Places

Analysis of Bridge 3-806 indicates that the resource is not associated with events that have made a significant contribution to the broad patterns of history (Criterion A) and the resource is not known to be associated with the lives of significant persons (Criterion B). Although the resource does not represent the work of a master, its use of multiple arches in the parapet walls is a unique design feature for reinforced concrete box culverts in Delaware (Criterion C).

Bridge 3-806 retains sufficient aspects of integrity to convey its individual significance. This recommendation was based on evaluating the resource against the seven aspects of integrity defined by the National Register of Historic Places (Table 1). In order for the resource to retain its historic integrity, it must possess at least four, and usually most of the aspects.

Table 1. Integrity for Bridge 3-806

Aspect of Integrity	Finding
Location	Yes
Setting	Yes
Design	Yes
Materials	Yes
Workmanship	Yes
Feeling	Yes
Association	No
Overall Assessment	Retention of Integrity

Bridge 3-806 is associated with the development of the infrastructure system and the milling industry in Delaware during the first quarter of the 20th century. The resource's physical location has been retained. The rural setting of the resource has been retained, but an increase of development pressure and traffic has begun to compromise its isolation. It has undergone alterations and a degree of deterioration, but the materials used for repairs were in-kind (concrete). The design, materials and workmanship of the bridge have been retained. In particular, although reinforced concrete box culverts are a typical solution for this type of situation, Bridge 3-806 exhibits a unique architectural detailing of its parapet walls. Comparative analysis documents that this multi-arch, parapet wall design of a bridge is the only extant example of this type in the state of Delaware. The bridge was constructed after the demolition of the Paynter mills on Diamond Pond, but its water control features provided upstream storage for the Wagamon mills within the town limits of Milton (Heite 1991:2). The removal of the original wood gates and the demolition of the Wagamon mills in ca.1991 has altered its historic association. Overall, Bridge 3-806 possesses sufficient historic fabric and character that would allow it to accurately convey its contribution to those aspects of history. Based on the on-site study of the resource and extensive research to develop a historic context for the bridge, it has been determined that the resource has retained a sufficient level of integrity and is recommended as eligible for listing on the National Register of Historic Places because it is locally significant under the areas of architecture (Criterion C).

History

History of the Mills along Sand Hill Road and Diamond Pond

A sawmill stood in the area of Sand Hill Road (Route 319) in 1868, just beyond the town limits. The mill was on the west side of the stream that flowed northward into the Mill Pond, and on the north side of Route 319. The sawmill and a residence on the west of the stream and north of Route 319, were both owned by J. Paynter. The residence was probably the miller's house, since the mill operator usually lived in close proximity to his workplace. Caleb R. Paynter inherited the sawmill and residence in 1853 from Samuel R. Paynter, according to a plat filed in the Orphans Court Records (Sussex County Orphans Court Records 1853). The one-acre tract containing the residence also included a bark mill, on the northwest side of the historic bridge crossing the mill pond. This bridge appears to correspond to the present-day location of Route 319 in the project area, but is not Bridge 3-806. In 1878, Paynter's sawmill was still in operation but the bark mill was a ruin (Hancock and McCabe 1982). The property stayed in the Paynter family's hands for the remainder of the nineteenth century. The grist and saw mill belonging to Sallie Paynter's heirs were valued at only \$1,000.00 in 1901, before they were sold to Henry K. Wagamon (Broadkiln Hundred Assessment 1901-1904).

By 1914, neither mill building is shown on a map of the area, and a single large pond (Mill Pond) still extends from west of the town of Milton southward. However, the residence building appears to still be standing in 1914 on the north side of Route 319. Physical and textual documentation suggests that Bridge 3-806 was constructed during the same time period as Bridge 3-808 and its associated penstock bridge in ca.1917. Bridge 3-808 was constructed by Sussex County (Levy Court of Sussex County 1917:264).

In 1933, the State of Delaware purchased the right of way from Henry and Emma Wagamon to construct a state highway for one dollar. As part of the agreement between the Wagamon's and

the state, it was understood that “this conveyance shall not include the water rights...and that if in the future it shall be found necessary to widen the bridge across the runway of the pond the State Highway Department of the State of Delaware shall extend and rebuild the water gates of the flume” (DeIDOT 1933). DeIDOT records indicate the current bridge existed in 1933 and repairs were made throughout the remainder of the 20th century.

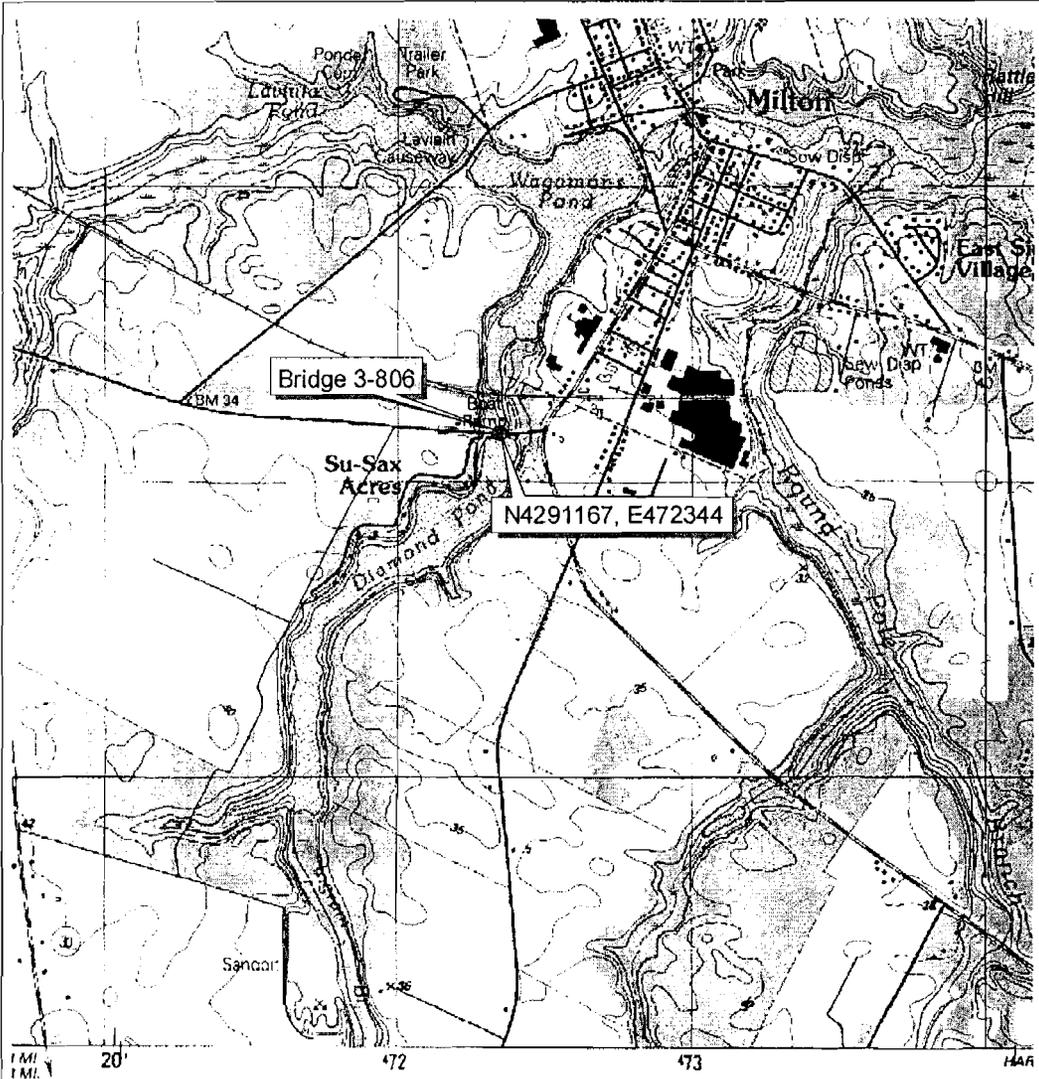
History of Reinforced Concrete Box Culverts in Delaware

The use of reinforced concrete box culverts in Delaware and in the United States were first introduced on roadways during the early decades of the 20th century. Concrete slab bridges and reinforced concrete box culverts are similar in design and have a similar early history as a result of the increasing popularity of concrete as a building material in the early 20th century. Concrete became the predominant type for highway bridges and short railroad spans in the early twentieth century as a result of improvements in concrete technology (P.A.C. Spero and Company 1991:122). Concrete was relatively economical to use and the simplicity of using the material made it a widely accepted choice for bridge construction in the United States and Delaware. A box culvert is similar in design to a slab bridge. A slab bridge concentrates reinforcing steel in the lower section of the slab and at the ends. The amount of steel and the depth of the slab is determined by its length and live-load capacity (Lichtenstein Consulting Engineers, Inc. 2000:189). A box culvert differs with the exception of the slab being integral with the side walls and floor, or invert slab, constructed as part of the culvert. The box culverts can be single or multiple cell construction. They are excellent for areas where there are minor streams and they have been primarily used for spans between 8’ and 15’ in length. This construction type presented the state with an economical and efficient engineering solution. The technology of the reinforced concrete box culvert has remained relatively unchanged since the early half of the 20th century with the exception of an increasing use of pre-cast box sections instead of cast-in place sections during the last quarter of the 20th century (Lichtenstein Consulting Engineers, Inc. 2000:224).

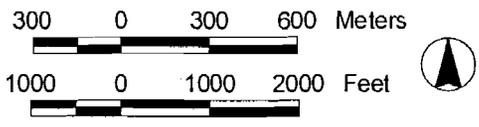
The extensive use of reinforced concrete for box culvert construction in Delaware throughout the 20th century has led to various examples of this type extant throughout the state. As of 2002, twenty-three (23) reinforced concrete box culverts have been inventoried in Delaware ranging from a construction date of ca. 1910 to 1956. Of these inventoried resources, six (6) are considered eligible for the National Register, NC-430 (1928), NC-504 (1939), K-42A (1933), S-200-H-1 (1912), S-329 (ca.1910), and S-709 (1938). These resources were found to be good examples of the reinforced box culvert type. Only S-200H-1 retains its historically association with an existing mill complex, Hearn’s Mill, in Sussex County. Three (3) of the six (6) are located within Sussex County, two (2) in New Castle County and one (1) Kent County. The only two known examples of reinforced concrete box culverts in Delaware that had been designed with multi-arch parapet walls were Bridge 3-808 and its associated penstock bridge at Wagamon Pond in Milton, Sussex County (demolished ca.1991). These bridges, constructed in 1917, appear to have been constructed in conjunction with Bridge 3-806 to provide water control flow for the Wagamon mills in Milton. Bridge 3-806, located at Diamond Pond, provided upstream water storage for the Wagamon mills (Heite 1991:2). Bridge 3-808 and its penstock bridge were determined to be eligible for listing by the Delaware State Historic Preservation Officer in 1991. Mitigation required HAER documentation, including black & white photographs and written documentation of the bridges prior to their demolition.

References Cited

- Broadkiln Hundred Assessments (BKA), Sussex County. Microfilm copies at Delaware Public Archives, Dover.
- 1901-1904 Property of Sallie H. Paynter's heirs; Sallie W. Ponder; William B. Tomlinson; Tomlinson & Atkins; and H. K. Wagamon.
- Delaware Department of Transportation
- 1933 Maintenance Records. Division of Highways and Bridges. Historic Plans and Records File. Environmental Studies Division.
- 1992 Maintenance Records-Structural Data Record and Routine Bridge Inspection Report for Bridge 3-806. Division of Highways and Bridges, Environmental Studies Division, Dover, Delaware.
- Hancock, Harold and Russell McCabe.
- 1982 *Milton's First Century 1807-1907*. Milton Historical Society, Milton, Delaware.
- Heite, Edward
- 1991 Report of Phase I and Phase II Cultural Resource Survey at Wagamons Pond. Prepared for Delaware Department of Transportation.
- Levy Court of Sussex County
- 1917 Record Book 1919:264. Sussex County Courthouse, Georgetown.
- Lichtenstein Consulting Engineers, Inc.
- 2000 *Delaware's Historic Bridges: Survey and Evaluation of historic Bridges with Historic Contexts for Highways and Railroads*. Prepared for Delaware Department of Transportation, Highway Division, Dover, Delaware. Lichtenstein Consulting Engineers, Inc., Paramus, New Jersey.
- P. A. C. Spero & Company
- 1991 *Delaware Historic Bridges: Survey and Evaluation*. Prepared for Delaware Department of Transportation, Highway Division, Dover, Delaware. P.A.C. Spero & Company, Baltimore, Maryland.
- Sanborn Map Company
- 1911 Insurance Map of Milton, Sussex County, Delaware. Sanborn Map and Publishing Company, New York.
- Sussex County Orphans Court Records
- 1853 Plat of the lands of Samuel R. Paynter in 1853. Lots assigned to Caleb R. Paynter. Reproduced in Hancock and McCabe 1982, page 107.



Source:
 USGS 7.5 Min. Quadrangle
 Milton, Sussex County, DE



**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

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1. Name of Property

Historic name: DRAPER/BONK HOUSE
Other names/site number: (Delaware CRS # S-3527)

2. Location

Street & Number: 16046 Federal Street Not for Publication
City or town: Milton Vicinity
State: Delaware Code: DE County: Sussex Code: 005 Zip Code: 19968

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.

Signature of certifying official/Title Date

State or Federal agency and bureau
In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of certifying official/Title Date

State or Federal agency and bureau

4. National Park Service Certification

I, hereby, certify that this property is:
 entered in the National Register Signature of the Keeper Date of Action
 () see continuation sheet
 determined eligible for the National Register
 () see continuation sheet
 determined not eligible for the National Register
 removed from the National Register
 other, (explain): _____

DRAPER/BONK HOUSE

MILTON, SUSSEX COUNTY, DE

Name of Property

County and State

5. Classification

Ownership of Property	Category of Property	No. Resources within Property	
		Contributing	Noncontributing
<input checked="" type="checkbox"/> Private	<input checked="" type="checkbox"/> Building(s)	1	0
<input type="checkbox"/> Public-Local	<input type="checkbox"/> District		
<input type="checkbox"/> Public-State	<input type="checkbox"/> Site		
<input type="checkbox"/> Public-Federal	<input type="checkbox"/> Structure	1	0
	<input type="checkbox"/> Object		
		2	0
Name of related multiple property listing N/A		Number of contributing Resources previously listed in the National Register 0	

6. Function or Use

Historic Functions (enter categories from instructions)	Current Functions (enter categories from instructions)
DOMESTIC/Single Dwelling	DOMESTIC/Single Dwelling

[X] See continuation sheet

7. Description

Architectural Classification
(enter categories from instructions)

20th CENTURY REVIVALS/Colonial Revival

Materials (enter categories from instructions)

Foundation: CONCRETE

Walls: BRICK;

Roof: SLATE

Narrative Description

Describe the historic and current condition of the property on one or more continuation sheets

[X] See continuation sheet

8. Statement of Significance

Applicable National Register Criteria

(Mark x in one or more boxes for the criteria qualifying the property for National Register listing.)

A Property is associated with events that have made a significant contribution to the broad patterns of our history.

B Property is associated with the lives of persons significant in our past.

C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.

D Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark x in all the boxes that apply.)

A owned by a religious institution or used for religious purposes.

B removed from its original location.

C a birthplace or grave.

D a cemetery.

E a reconstructed building, object, or structure.

F a commemorative property.

G less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

Areas of Significance

(Enter categories from instructions)

ARCHITECTURE

INDUSTRY

Period of Significance

1938-1960

Significant Dates

1938

1948

Significant Person

(Complete if Criterion B is marked above.)

Draper, H. Carlton

Bonk, Harry & Patricia (Draper)

Cultural Affiliation

N/A

Architect/Builder

Unknown

See continuation sheet

DRAPER/BONK HOUSE

MILTON, SUSSEX COUNTY, DE

Name of Property

County and State

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 or 15 minute series) indicating the property's location.

A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of the SHPO or FPO.)

name _____

street & number _____ telephone _____

city or town _____ state _____ zip code _____

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Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of the Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

GENERAL DESCRIPTION

The Draper/Bonk House property at 16046 Federal Street is located on approximately 98 acres of land in Milton, Sussex County, Delaware. The Draper/Bonk House is sited on approximately 2 acres of heavily wooded land with the remaining acreage used for agricultural purposes. The Draper/Bonk House is set back from Federal Street and is screened by extensive landscaping. A semi-circular, front driveway provides access to the front of the house.

The Main House. The Draper/Bonk House is a one-and-a-half story, eight bays, house designed in the Colonial Revival style. Constructed in 1938, the house is clad in clinker brick and is apparently constructed with a steel girder frame (Bonk 2002). The house is presented in three sections, the one-and-a-half story center and main block of the house, the one-story garage wing to the north and the one-story wing to the south. The asymmetrical house has a modest wood cornice with the side gable roof clad in slate shingles at the main, center block. An interior brick chimney is located at each gable end of the main block. The garage wing has a half-gable roof with a projecting front gable at the main and rear elevations. The south wing has a side gable roof with a projecting front gable at the main and rear elevations. The roof of the two wings is also clad in slate shingles.

The east (main) elevation is pierced by a 6/6, double-hung, wood sash window with a pair of two-paneled, fixed wood shutters at the first bay and an 8/1 double-hung, wood sash window at the projecting gable (second bay) of the south wing. The main block of the house is pierced by a single, multi-diamond pane casement window at the third bay, a ribbon (4) of multi-diamond pane casement windows with a pair of two-paneled, fixed wood shutters at the fourth bay and a projecting ribbon (3) of multi-diamond pane casement windows at the sixth bay. The two bays of the garage wing have a 6/6 double-hung, wood sash windows with two-paneled, fixed wood shutters at each bay. The main entrance, located at the fifth bay, has a wood paneled door with multi-pane sidelights and a molded, wood surround with an entablature and pilasters. The second story of the main block is pierced by four gabled dormers with 6/6 double-hung, wood sash windows. The second story of the garage wing (north) has a single, flat roof dormer with a multi-diamond pane casement window.

The north elevation of the garage wing is two bays wide and is pierced by two, wood and glass garage doors. The decorative elements at the north elevation include the modest wood surrounds at the garage doors.

The west (rear) elevation is nine bays wide with a projecting gable at the second, fourth, and eighth bays. A wood door with a modest wood surround is located at the first bay. The projecting gable at the second bay has an exterior, clinker brick chimney. A ribbon (4) of 6-light casement windows are located at the third bay and the second projecting gable is pierced by an 8/8 double-hung, wood sash window with flanking 2/2 double-hung, wood sash windows. The windows have modest wood surrounds. The central bays (main block of the house) incorporate a screened-in, wood porch with a paneled base and a central, rear entrance to the house. The projecting gable at the eighth bay is pierced by an 8/8 double-hung, wood sash window with a modest wood surround. The final (ninth) bay has a 6/6 double-hung, wood sash window. Two gabled dormers with 6/6 double-hung wood sash windows pierce the second story of the main block.

The south elevation is pierced by a single, 6/6 double-hung, wood sash window with a pair of wood, paneled shutters.

Domestic Structure. A barbecue, constructed of clinker brick, is located in the backyard west of the main house. The barbecue appears to date from the same construction period as the house. The barbecue has a central chimney with U-shaped wings projecting from the chimney and main cooking area.

STATEMENT OF SIGNIFICANCE

The Draper/Bonk House, constructed in 1939, is an excellent example of a Colonial Revival-style house constructed with clinker brick. The Draper/Bonk House is not associated with events that have made a significant contribution to the broad patterns of history (Criterion A). The Draper/Bonk House is associated with the Draper family, a locally significant family whose relationship to Milton includes the ownership of the Draper Cannery. As stated in the *Historic Context Master Reference and Summary of the Delaware Comprehensive Historic Preservation Plan*, one of the major cultural trends in the Lower Peninsula area are the influences of Major Families, Individuals, and Events. The Draper family and the Draper/Bonk House are representative of this trend and the house is an example of this property type (Criterion B). The Draper/Bonk House is a fine example of the Colonial Revival style and is further enhanced by its clinker brick cladding (Criterion C). The Draper/Bonk House is recommended as eligible for listing on the National Register of Historic Places because it is locally significant for its association with the Draper family (Criterion B) and under the area of architecture (Criterion C).

Determination of Eligibility for Listing on the National Register of Historic Places

Analysis of the Draper/Bonk House indicates that the resource is not associated with events that have made a significant contribution to the broad patterns of history (Criterion A). The Draper/Bonk House is associated with the Draper family, a locally significant family whose relationship to Milton includes the ownership of the Draper Cannery. At its peak between the 1930s and 1950s, the Draper Cannery Company employed approximately 500 employees during the height of the season and roughly 100 employees during the off-peak season (Criterion B). The Draper/Bonk House is a fine example of the Colonial Revival style and is further enhanced by its clinker brick cladding (Criterion C). The Draper/Bonk House retains sufficient aspects of integrity to convey its individual significance (Table 1). This recommendation was based on evaluating the resource against the seven aspects of integrity defined by the National Register of Historic Places. In order for the resource to retain its historic integrity, it must possess at least four, and usually most of the aspects.

Table 1. Integrity for the Draper/Bonk House

Aspect of Integrity	Finding
Location	Yes
Setting	Yes
Design	Yes
Materials	Yes
Workmanship	Yes
Feeling	Yes
Association	Yes
Overall Assessment	Retention of Integrity

The Draper/Bonk House's, constructed by H. Carlton Draper in 1938, is associated with the Draper family, who were locally significant for their contribution to the Milton area and its economy through the Draper Canning Company. The Draper/Bonk House is a fine example of the Colonial Revival style. The Draper/Bonk House retains its historic fabric and character

allowing it to accurately convey its contribution to this aspect of local construction history. The location and physical setting of the house has been retained. The original design has been retained and the materials and workmanship of the house has been preserved with materials replaced in-kind. Comparative analysis documents that clinker brick construction has been identified in the Bethany Beach area (CRS # S-9115, S-9117, S-911) and other examples are extant in the Milton area. Based on the on-site study of the resource and extensive research to develop a historic context for the house, it has been determined that the resource has retained a sufficient level of integrity and is recommended as eligible for listing on the National Register of Historic Places because it is locally significant for its association with the Draper family (Criterion B) and under the area of architecture (Criterion C).

History

The Draper Family and their Influence on the Development of Milton, Delaware

The Draper family and its relationship with the town of Milton begins with the early settlement of Alexander Draper in the area that would become Sussex County, Delaware. Draper immigrated to the Northern Neck area of Virginia in 1658 and had settled in present day Sussex County, Delaware by 1676. An extensive landowner, Alexander Draper was very influential in the early development of Sussex County and was appointed as a surveyor of the roads and bridges in the County in 1681. Three children, Alexander Jr., Rebecca and Henry, had been born to Draper and his second wife Rebecca between 1680 and 1684. Draper died in 1691, but his decedents would continue to have an impact on the development of Sussex County and the Milton area (Donovan 2002).

George Henry Draper, Sr., born in 1846, first became involved with the canning industry in Sussex County in 1880. This enterprise would eventually be operated under George's son, George Jr. under the trade name of Draper Foods, Inc. George Sr. partnered with Daniel Hirsh in ca. 1899 to establish the canning company of Draper and Hirsh in Milford. The Drapers entered the canning industry in Milton in 1907 when Harry R. Draper, son of George H. Draper Sr., purchased a tomato cannery in the town (*The Town Crier* 1955). The death of Harry R. Draper in 1912 saw the company transfer control of its operations to his brother George H. Draper Jr. until Harry's three sons, Richard, Harry Jr. and H. Carlton became intimately involved with the company in the 1920s and 1930s. By the 1940s, Richard, Harry Jr. and H. Carlton were Vice-President, Secretary and Treasurer of the corporation respectively. A subsidiary, Draper's Frozen Products Inc. was established in 1947 by the three brothers with H. Carlton serving as President. In addition to the factories, the Draper empire owned numerous farms in both Sussex and Kent Counties which produced the fruits and vegetables the company was canning.

Located east of Chestnut Street in Milton, the factory was serviced by the railroad which allowed goods to be shipped throughout the nation (Sanborn Map Company 1911). During its existence, the Company further established the Draper family's influence on Milton's economical and social development. At the time of the company's peak production years, between the late 1930s through the 1950s, the company employed approximately 500 employees during the height of the season and roughly 100 employees during the off-peak season. The employees were made up of both local Miltonians and migrant workers who moved into the area during the peak season. The influence of the Draper family and its canning company to the town of Milton was a direct result

of the company's increasing fortunes. In comparison to other canneries in the area, the Draper King Cole Cannery was one of only a few canneries which were successfully owned and operated by a local Delaware family. The volatile nature of the cannery business disillusioned many people who "entered the business with the intent of reaping quick profits and then abandoning the factory or were driven out by one or two years of disappointing returns. More than half of the state's canneries operated for less than ten years (Doerrfeld 1993:50)."

During this time of aggressive marketing and expansion, H. Carlton Draper married and constructed the large Colonial Revival style house at 16046 Federal Street. The Draper family has lived in this house since its construction in 1938 with the house being later occupied by Draper's daughter, Patricia Draper, and her husband Harry Bonk. Harry Bonk had been intimately involved with the canning company since joining the firm in 1948 after completing his Master's Degree from the University of Maryland and marrying Patricia Draper. Bonk and Patricia Draper purchased the canning company in 1960.

The Draper King Cole Cannery Company operated under control of the Draper family until 1999 when it was finally closed due to competition (King Cole Cannery 2002).

The Colonial Revival Style and Clinker Brick Construction in Southern Delaware

The increasing pressure of suburbanization on the landscape of southern Delaware beginning in the first half of the 20th century led to an influx of new residential development. Between 1900 and 1950, an additional 20,000 people moved to the county accounting for approximately 20% of the state's population growth (Munroe 1984:273). The increasing need for residential buildings led to new construction within Sussex County, although the rural roots of the county was reflected in the vernacular designs and domination of the I-House form early in the 20th century. New architectural trends began to infiltrate the county, including the introduction of bungalows, foursquares and the Colonial Revival style (Tabachnick et al. 1992). The early examples of the Colonial Revival style led to designs more closely aligned with details and features based on original Colonial designs. By the 1930s, the style was simplified with more modest detailing and omission of the extensive ornate characteristics associated with the original Colonial style (McAlester and McAlester 1998). The Draper/Bonk House is an excellent example of the Colonial Revival style constructed during the Great Depression with its prototypical wood door surround with sidelights, gabled dormers, and modest cornice. The house is clad in clinker bricks, a common building material which had gained popularity during the first half of the 20th century.

Clinker bricks were a popular building material for Craftsman style houses (1900-1930) in the western sections of the United States (Carley 1994:208, 212). The use of clinker bricks was embraced by Delaware builders during the 1920s through the waning years of the Great Depression (late 1930s). In Delaware, this cladding material was used for various building styles, including Colonial Revival and Mission style designs. The extant examples in Southern Delaware, specifically the Colonial Revival-style buildings in the Milton and the Bethany Beach areas, include both residential and commercial designs with the cladding material used for both high style and modest buildings.

Clinker bricks are created from overfiring, causing the bricks to “melt” together and requiring them to be broken apart. This accounted for their unusual shapes and individuality. The dramatic and projecting angles of the clinker bricks give an additional dimension to the building’s elevations. Clinker brick was a popular building material, although it was not as prevalent after the 1940s as modern techniques were developed which regulated the temperature of the kilns.

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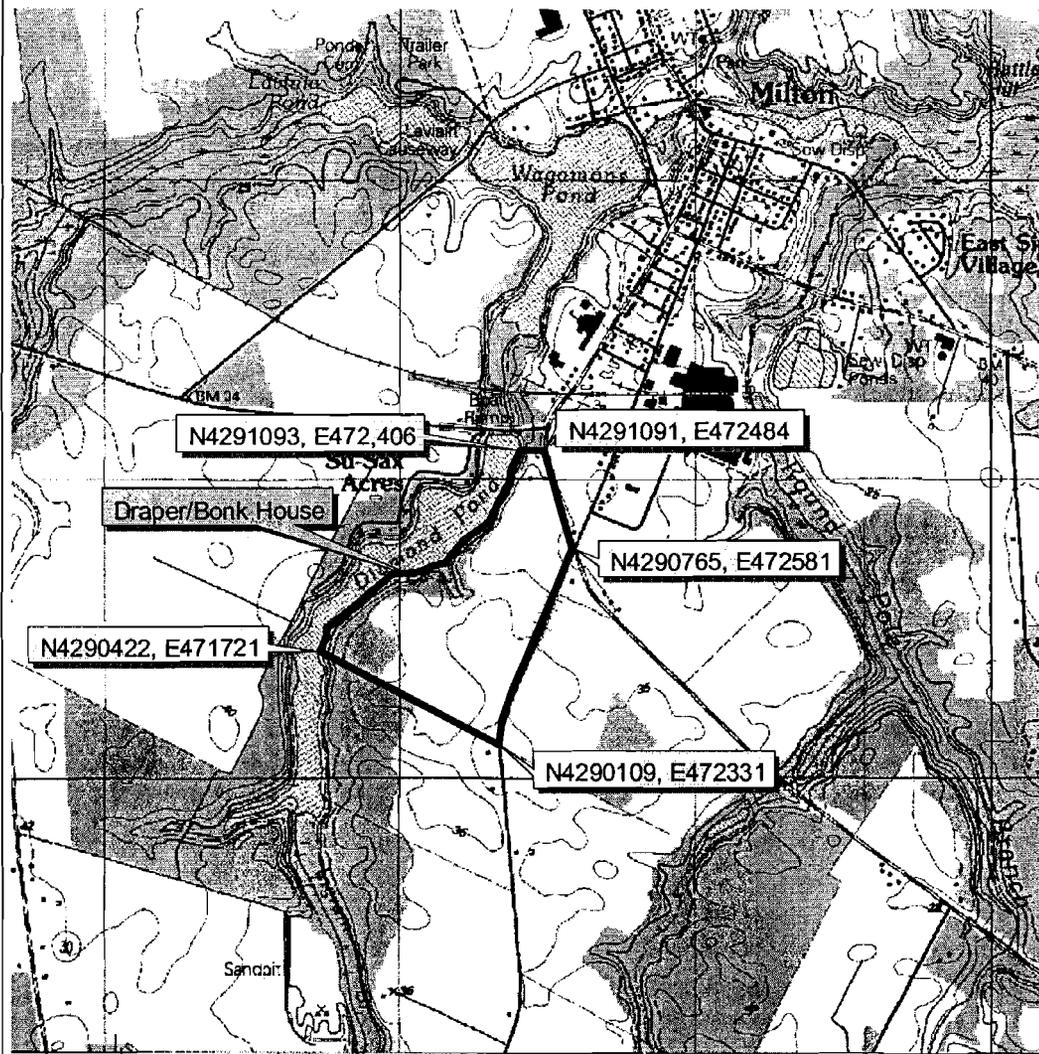
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1 MI. 20' 472 473 474 1 MI. 474

300 0 300 600 Meters

1000 0 1000 2000 Feet



Source:
USGS 7.5 Min. Quadrangle
Milton, Sussex County, DE



