

S-08577. Olden Dickerson House, 12279 U.S. 113
(PIN: 230-26.00-33.00)
(Detail Map #1)

Description: The property, located on the east side of U.S. Route 113 contains a house and four older outbuildings. The property consists of a large open grassy lot with a grass driveway extending along the south side of the house. A large boxwood and a small weeping cherry tree flank the driveway. An overgrown hedge sits in front of the house, and small shrubs are planted around the foundation. The remains of a concrete sidewalk are present along the driveway. A garden is planted in the rear yard, and a concrete sidewalk extends to a row of outbuildings.

This one-and-one-half story, wood-framed, side-gabled, c. 1920s dwelling features a projecting front gable and an enclosed, shed-roofed front porch. The principal entry is placed in the front wall of the enclosed porch. Secondary entrances are placed in the center and at the rear of the south side wall. The central entrance is placed in a front gabled vestibule, while the rear entry is sheltered by a gabled hood. Fenestration consists of a combination of one-over-one and six-over-one, double-hung sash windows. Many of these windows are vinyl-clad replacements. The house sits on a panel-faced concrete-block foundation, and its walls are sheathed in vinyl siding. A concrete-block chimney adjoins one side wall, while a brick chimney rises from the center of the roof ridge.

Four outbuildings extend in a line east of the house. Closest to the house is a c. 1940s gable front, wood-framed garage (.002). Its south wall contains a pair of side-hinged batten doors. The remaining walls are blank. The garage sits on a concrete-block foundation, is sheathed in vertical boards, and has a roof sheathed in asphalt shingles. This garage has exposed rafter tails.

Immediately east of the garage is a c. 1940s wood-framed privy (.003). This structure, which sits on a poured concrete slab, is sheathed in wood shingles and has a roof sheathed in asphalt. A vertical wood batten door is placed in its south gable. A screened opening is placed in its west wall. The remaining two walls are blank. Its eaves are marked by exposed rafter tails.

Immediately east of the privy is a side-gabled, c. 1940s tool shed (.004). This shed sits on a concrete slab. Its front wall is sheathed in vertical wood siding, while its side walls are sheathed in bricktex. The south façade is pierced with two, four-over-one, double-hung, sash windows and tripartite sliding vertical batten doors with four-light fixed windows. The east gable end wall has a group of windows that have been boarded over, while the west wall is covered with a tarp. The rear wall is blank. A brick chimney adjoins its south gable end.

The final outbuilding is a c. 1940s oblong, wood-framed, side-gabled equipment shed (.005). All of its windows are boarded over. The shed sits on a concrete-block foundation, is sheathed in vertical boards, and has a roof sheathed in asphalt. Its south wall is pierced by a wood Dutch door and a pair of vertical board, wood, sliding doors. The east gable end has a boarded up window, while the remaining two walls are blank.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; domestic complex and bungalow property types

Evaluation: This property was evaluated in LeeDecker et al. 1992, where it was referred to as the Theodore Walnius House. According to Walnius's son, who currently occupies a modern house next door to this one, the Theodore Walnius House (S-08578) is located to the south and east, behind Teddy's Tavern. Mr. Walnius said that the original owner of this property was Olden Dickerson. The property was recommended as not eligible for the National Register in the 1992 evaluation report on the grounds that the house lacked "demonstrable qualities of architectural importance" (LeeDecker et al. 1992:75).

JMA evaluated the property for its house, a c. 1920s bungalow, and as a domestic complex. As a domestic complex, the property should contain a dwelling or dwellings, outbuildings related to storage, transportation, food preparation or storage, and/or a secondary residence. Historic pathways should be present, as should be historic land uses such as garden. To be eligible for the National Register as a domestic complex, a property should contain a full complement of original or older outbuildings representing the range of domestic activities that took place on the property. These outbuildings must be exceptional in design, exceptional in number or type, or exceptional in their state of preservation to possess National Register significance. The outbuildings must illustrate the historic land-use pattern of the property and their original or historic functions must be discernable.

Although this property retains a few domestic outbuildings, they are undistinguished types that are far from uncommon. They cannot be characterized as exceptional in design, number, or state of preservation. A garage, a workshop, a privy, and an equipment shed do not illustrate any particular land-use pattern, and the collection is therefore not historically significant. The property is therefore recommended not eligible for the National Register as a domestic complex under Criteria A or C.

No evidence has emerged to indicate that Olden Dickerson, the house's first owner, was significant in the history of the local area. Therefore, the property is recommended not eligible under Criterion B.

The house and its outbuildings express details of the bungalow/craftsman style. None of the buildings, however, represents an architecturally notable example of this style. The house lacks the stylistic elaboration found on significant examples and, further, it has been altered with replacement windows and siding. Therefore, JMA concurs with LeeDecker et al.'s recommendation of not eligible under Criterion C.

The buildings on this property represent common examples of wood framing and are not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-08577



main building (.001) façade and south side,
view to NE



main building (.001) rear and south side,
view to NW



main building (.001) rear and north side,
view to SW



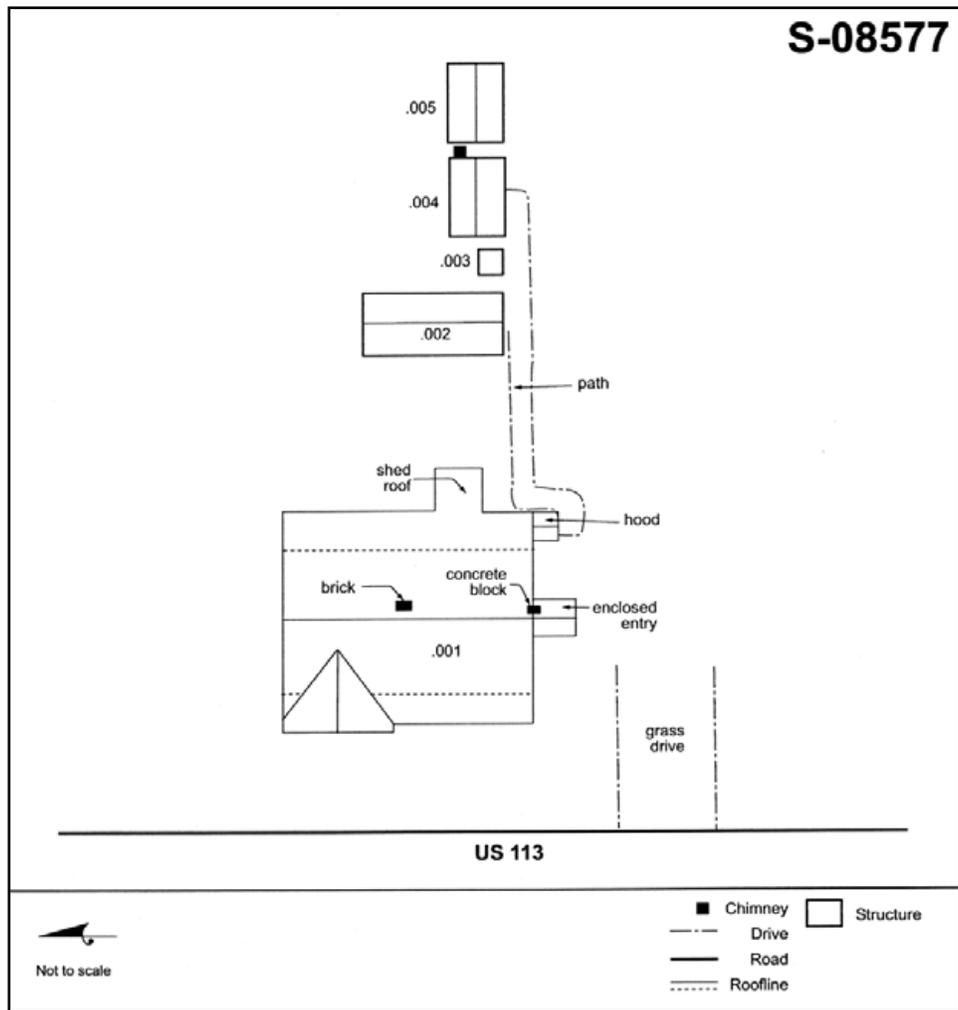
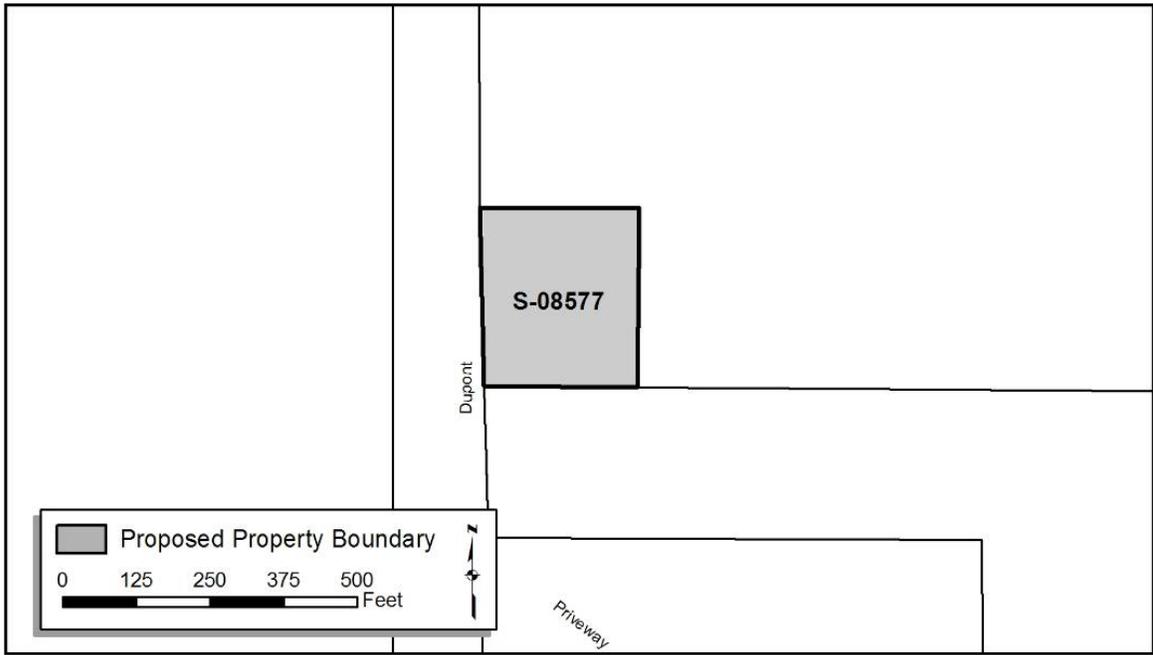
garage (.002), view to NE



left to right: privy (.003) and tool shed (.004),
view to NE



equipment shed (.005), view to NW



S-08578. Theodore Walnius House, Route 113
(PIN: 23-26.00-35.01)
(Detail Map #1)

Description: This property is located on the east side of U.S. 113 at the rear of the tax parcel on which Teddy's Tavern (S-08384) is located. It includes a historic-period house and garage, as well as a modern shed. The house is set back from the road. Woods and farmland surround the buildings, which are accessed via a dirt/gravel driveway that extends into the property from U.S. 113 and along the south side of the house to the garage to its rear.

The dwelling, a vernacular, c. 1940, bungalow-Craftsman house is one-and-one-half stories in height, wood-framed, and side gabled in orientation. The west façade wall contains a door at the southwest end placed in an enclosed porch recessed beneath the eaves. This wood-and-glass door has three lights over three panels. This door provides access to a modern, wood-framed deck. Fenestration of the wall consists of two, one-over-one, double-hung sash windows. The remaining sides are also fenestrated with one-over-one, double-hung wood sash windows. The house sits on a rusticated concrete-block foundation, is sheathed in cement-asbestos siding, and has a roof sheathed in composition shingles. A brick chimney rises from the center of the roof ridge.

The property also includes a c. 1940 equipment shed (.002). This side-gabled, wood-framed structure is sheathed in vertical wood siding. Its west façade contains two, sliding, vertical board doors, and the south wall has a six-light awning window. The north side is blank, and the rear wall was inaccessible.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; bungalow property type

Evaluation: This property was evaluated by LeeDecker et al. in 1992 and was recommended as not eligible for the National Register because the house lacked architectural integrity (LeeDecker et al. 1992:77). In the current investigation, the property was evaluated for significance under Criterion A for its association with the mid-twentieth century development of U.S. 113. As noted in the research design, this trend was an important one in the evolution of the project corridor, but individual examples of this trend are rarely significant. Such is the case with this property. It is a common example of such development and lacks the individual historical significance to be eligible under Criterion A.

Limited research has not identified any connection between the property and any individual significant in the history of the local area. Therefore, it is recommended not eligible under National Register Criterion B.

This bungalow, which has been altered by enclosure of the front porch, addition of a front deck, and probable replacement of windows, possesses neither the significance nor the integrity necessary for eligibility under Criterion C. JMA concurs with LeeDecker et al.'s recommendation of not eligible under Criterion C.

The buildings on this property represent common examples of wood framing and are not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-08578



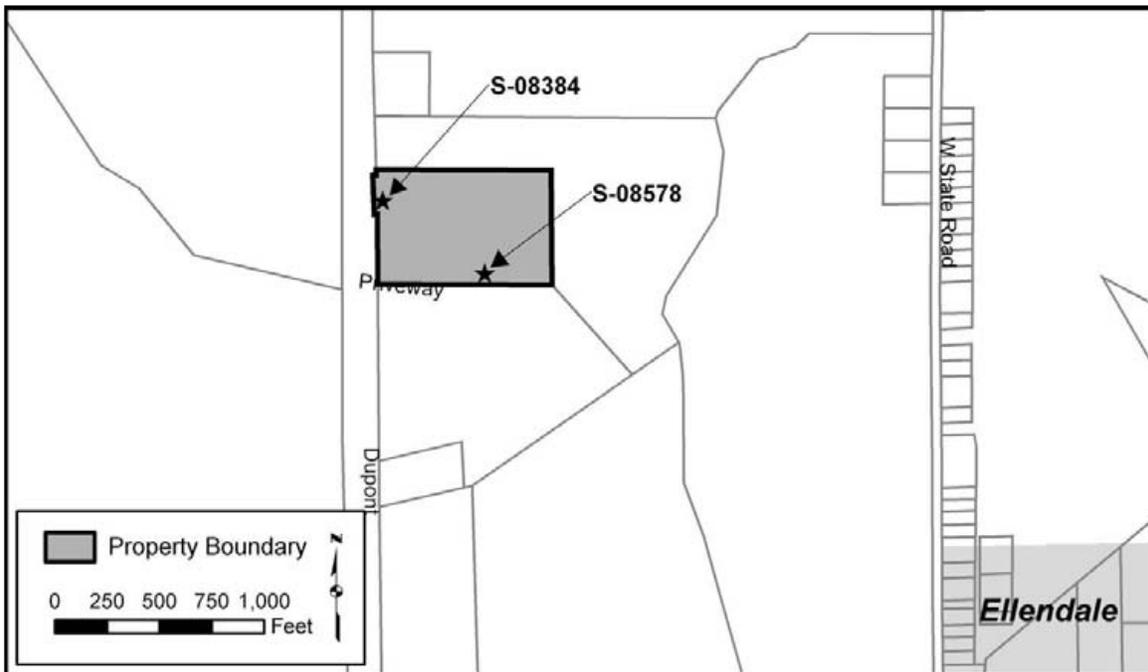
main building (.001) façade and south side, view to NE



main building (.001) rear and north side, view to SW



equipment shed (.002), view to SE



**S-08579. Gwendolyn Layton House, 12767 U.S. 113
(PIN: 230-26.00-107.00)
(Detail Map #2)**

Description: This property is located on the east side of U.S. 113. A paved driveway extends along the south side of the house and wraps around along the east wall. This driveway also provides access to a modern garage southeast of the house. The property is planted in lawn with a drainage ditch along the north side. Evergreen trees and shrubs extend along the north and east perimeters.

This c. 1930s, one-and-one-half story, jerkinhead gable front, wood-framed bungalow has an enclosed, hipped porch projecting from its front gable wall. This porch has a central entry with rusticated concrete-block foundation, brick steps, and is fenestrated with groups of two and three, three-over-one, double-hung sash windows. Remaining fenestration consists of single and paired one-over-one, three-over-one, and six-over-six, double-hung sash windows. The latter are vinyl-clad replacements. The rear wall is marked by a central nine-light, two-panel fiberglass door, original three-over-one, double-hung sash upstairs windows, and first-story, six-over-six, vinyl-clad replacements. The house is set on a rusticated concrete-block foundation and is sheathed in vinyl siding. A brick chimney rises from near the front of the roof ridge.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; bungalow property type

Evaluation: This property was recommended as not eligible for the National Register in the 1992 evaluation report because it “lacks qualities of clear architectural distinction, as well as integrity of exterior materials” (LeeDecker et al. 1992:78).

JMA evaluated the property for its house, a c. 1930s bungalow, and as part of a row of dwellings that face the east side of U.S. 113. According to a local informant, these houses may be Montgomery Ward prefabricated homes, and they have therefore been evaluated as part of the proposed U.S. 113 Wardway Historic District. The U.S. 113 Wardway Historic District has been recommended not eligible for the National Register because it lacks demonstrable historical and architectural significance for reasons detailed in Section 6.0 of this report.

Evaluated individually, the property represents the historical trend of farmland subdivision. As stated in the research design, individual examples of this trend rarely possess historical significance, and this property is therefore recommended individually not eligible for the National Register under Criterion A.

Limited research has not identified a connection between the house and any individual significant in the history of the local area. Therefore, it is recommended not eligible under Criterion B.

JMA concurs with LeeDecker et al. that the house lacks individual architectural distinction. Alterations include the enclosure of the front porch, construction of additions, replacement of windows, and application of new siding. Due to both lack of architectural significance and diminution of integrity, this property is recommended not eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

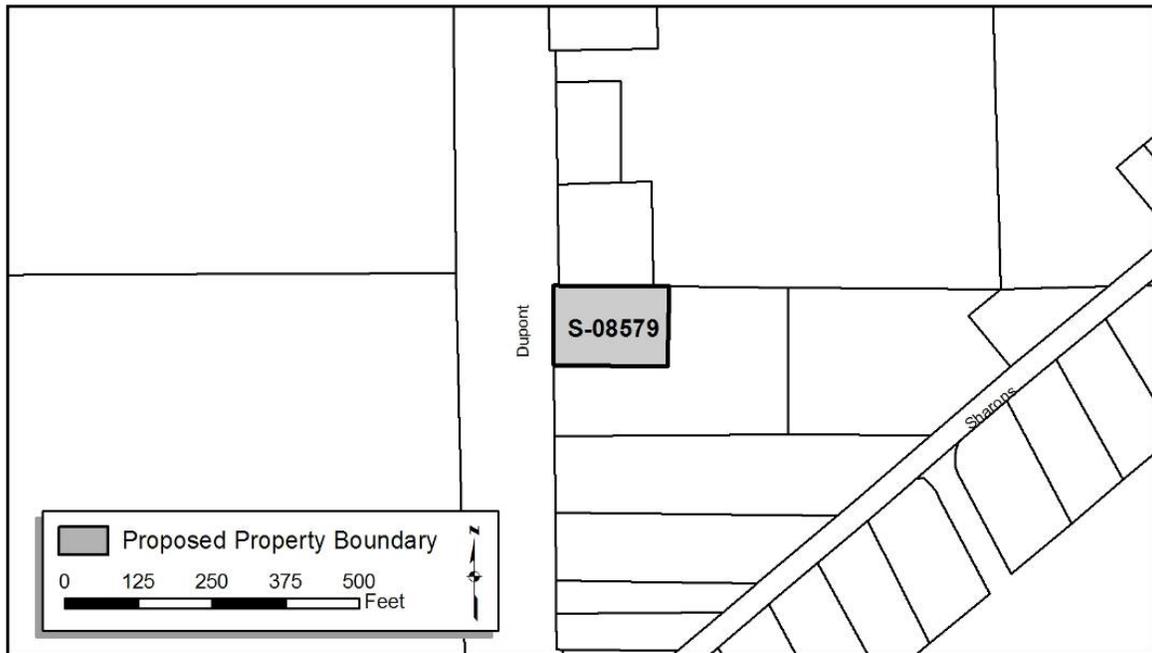
S-08579



main building (.001) facade, view to E



main building (.001) rear and north side, view to SW



S-08580. Loretta Rash House, 12717 U.S. 113
(PIN: 230-26.00-112.00)
(Detail Map #2)

Description: This dwelling is one of row of similar small bungalows located on the east side of U.S. 113. The house is surrounded by grass with several trees on the perimeter of the lot. A paved driveway extends along the south side of the house to a contemporary garage to its southwest. A modern shed is placed south of the driveway. Many lawn ornaments are scattered around the property.

A wood-framed, one-and-one-half story, hipped-roof, c. 1930 bungalow, the main entry, originally at the center of the west side, is now placed at the front end of the south side wall. This three-light, wood-and-glass door is probably a 1960s replacement. This entry provides access to the former porch, now enclosed with wood paneling, and fenestrated with a ribbon of one-over-one, double-hung vinyl windows. The door adjoins a brick stoop with wrought-iron railings. A corrugated metal hood shelters the door. Fenestration consists primarily of replacement, six-over-six, double-hung sash windows, some of which are shaded by corrugated metal hoods. A 1960s, three-light, three-panel, wood-and-glass door is placed in the center of the rear wall. A hipped-roof dormer fenestrated with paired windows rises from the front roof slope. The house is largely sheathed in aluminum siding, and its roof is sheathed in asphalt shingles. A half engaged brick chimney adjoins one side wall.

The c. 1930s garage (.002) is gabled front in orientation with a jerkinhead gable. The west façade is marked by a modern roller, fiberglass garage door. The north side is pierced by a one-over-one, double-hung vinyl-clad window and central two-panel plywood doors. The south and rear walls are blank. The garage is clad in vinyl siding, and its roof is sheathed in metal siding.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; bungalow property type

Evaluation: This property was recommended as not eligible for the National Register in the 1992 evaluation report because it “lacks qualities of clear architectural distinction, as well as integrity of exterior design and materials” (LeeDecker et al. 1992:79).

JMA evaluated the property for its house, a c. 1930s bungalow, and as part of a row of dwellings that face the east side of U.S. 113. According to a local informant, these houses may be Montgomery Ward prefabricated homes, and they have therefore been evaluated as part of the proposed U.S. 113 Wardway Historic District. The U.S. 113 Wardway Historic District has been recommended not eligible for the National Register because it lacks demonstrable historical and architectural significance for reasons detailed in Section 6.0 of this report.

Evaluated individually, the property represents the historical trend of farmland subdivision. As stated in the research design, individual examples of this trend rarely possess historical significance, and this property is therefore recommended individually not eligible for the National Register under Criterion A.

Limited research has not identified a connection between the house and any individual significant in the history of the local area. Therefore, it is recommended not eligible under Criterion B.

JMA concurs with LeeDecker et al. that the house lacks individual architectural distinction. Alterations include reorientation of the façade, the enclosure of the front porch, replacement of windows, and application of new siding. Due to both lack of architectural significance and diminution of integrity, this property is recommended not eligible under Criterion C.

The buildings on this property represent common examples of wood framing and are not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

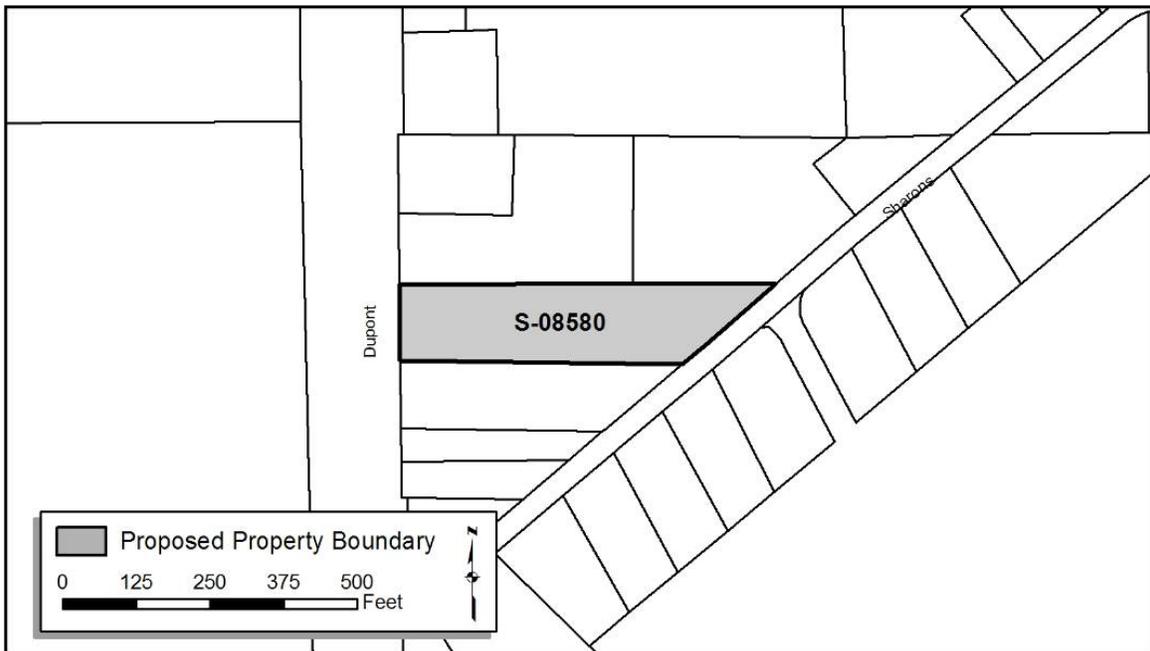
S-08580



main building (.001) original façade (on left) and south side, view to NE



garage (.002), view to E



S-08581. Arthur Williams House, 12727 U.S. 113
(PIN: 230-26.00-108.00)
(Detail Map #2)

Description: The house is located on the east side of U.S. 113. The property, which includes a house, a garage, and a garden shed, is planted in lawn. A paved driveway extends along the north side and leads straight back to the garage. The yard is enclosed with rail and chain link fence and is planted with mature shrubs.

This single-story, c. 1930s bungalow and Colonial Revival-influenced dwelling features a symmetrical façade with central entry and a side, jerkinhead gabled roof. The entry is sheltered by a gabled stoop with wood box columns resting on a brick base. The front door is of the nine-light, two-panel, wood-and-glass type. The main entry is flanked by six-over-six, double-hung vinyl clad sash replacement windows, and paired six-over-six replacement windows are placed at the ends of the façade. Side elevations are fenestrated with a mixture of six-over-six and eight-over-eight, double-hung sash replacement windows and original three-over-one, double-hung sash windows. A hipped-roof porch with square vinyl-clad columns, vinyl balustrade, and rusticated concrete foundation adjoins the north wall. The rear wall has a central four-light, three-panel, wood-and-glass door that adjoins a modern deck. The house sits on a concrete-block foundation and is sheathed in aluminum siding. A brick chimney adjoins one gable end.

The wood-framed, c. 1930s garage (.002) is located northeast of the house at the end of paved driveway. A jerkinhead gabled front garage, its façade contains sliding beadboard doors with vinyl siding. The north side is blank, while the south side has a side vinyl-clad door. The rear wall is also blank. The garage is placed on a rusticated concrete-block foundation and is sheathed in vinyl siding.

The second outbuilding, a c. 1940s, garden shed (.003), is placed east of the fence line surrounding the house. This shed-roofed shed sits on a concrete-block foundation and is sheathed in vinyl siding, bricktex, and plywood. Its west façade has a fixed, two-light window, and a beadboard batten door. The north and east walls are blank, while the south wall has a one-light, two-panel, wood and glass door.

Applicable Historic Context(s): Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Architecture, Engineering, and Decorative Arts theme; bungalow property type.

Evaluation: This property was recommended as not eligible for the National Register in the 1992 evaluation report because it “lacks qualities of clear architectural distinction, as well as integrity of exterior materials” (LeeDecker et al. 1992:80).

JMA evaluated the property for its house, a c. 1930s bungalow, and as part of a row of dwellings that face the east side of U.S. 113. According to a local informant, these houses may be Montgomery Ward prefabricated homes, and they have therefore been evaluated as part of the proposed U.S. 113 Wardway Historic District. The U.S. 113 Wardway Historic District has been recommended not eligible for the National Register because it lacks demonstrable historical and architectural significance for reasons detailed in Section 6.0 of this report.

Evaluated individually, the property represents the historical trend of farmland subdivision. As stated in the research design, individual examples of this trend rarely possess historical significance, and this property is therefore recommended individually not eligible for the National Register under Criterion A.

Limited research has not identified a connection between the house and any individual significant in the history of the local area. Therefore, it is recommended not eligible under Criterion B.

JMA concurs with LeeDecker et al. that the house lacks individual architectural distinction. Alterations include replacement of windows, and application of new siding. Due to both lack of architectural significance and diminution of integrity, this property is recommended not eligible under Criterion C.

The buildings on this property represent common examples of wood framing and are not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-08581



main building (.001) façade, view to E



main building (.001) rear and south side, view to NW



left to right: garage (.002) and main building (.001) north side, view to SE



garden shed (.003), view to NE

