

**S-08572. McLaren House, 10769 DuPont Highway  
(PIN: 230-19.00-85.00)  
(Detail Map #1)**

**Description:** The c. 1945 house is located on the east side of U.S. 113 with an arced dirt driveway connecting it to the roadway. Several large trees are along the front of the yard. The backyard, which also contains trees, is surrounded by a chain link fence. The northern block of the house, one-story with a raised basement, is a 1990s addition that is equal to or larger than the remainder of the house.

The original main block of the house is a minimal ranch house with its façade oriented west. A modern multi-panel and glass door is placed at the center of the façade and is sheltered by a flat roofed modern entry porch with plain dimensioned wood supports. The original portion of the wall is fenestrated with paired, double-hung sash windows. These windows are one-over-one, double-hung vinyl sash replacement. The south gable end is fenestrated by one-over-one, double-hung vinyl sash replacements. The northern end of the house consists entirely of the 1990s addition with its raised off-center door and one-over-one, double-hung vinyl sash windows. The rear wall features a front-gabled vestibule with paired sliding glass doors and a large raised, wood-framed deck. The house is placed on a panel-faced concrete-block foundation and is sheathed in vinyl siding. Interior concrete-block chimneys rise from the southern portion of the east wall and from the south gable end.

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Suburbanization and Early Ex-urbanization, 1940-1960 +/-; Architecture, Engineering, and Decorative Arts theme; ranch house property type.

**Evaluation:** The house was evaluated under the context of residential development of the highway corridor. As mentioned in the research design, although such development was a major historic theme, individual examples of it are rarely significant unless they can possess partial distinction or unusual characteristics. This property does not, and is therefore recommended not eligible under Criterion A.

No information has emerged concerning any connection between the house and any individual significant in the history of the local area, and it is recommended not eligible under Criterion B.

This house has been greatly altered since it was first surveyed in 1992, when it was described as “a small one-story side-gable Craftsman-style house, dating to the late 1920s or 1930s, set on a cast concrete block foundation. The exterior walls are covered with asbestos shingle siding with scalloped lower edges....The floor area of this diminutive dwelling is almost doubled by the flat-roofed modern addition at the rear” (LeeDecker et al. 1992:71). It is unlikely the house was built that early, but regardless of its construction date, it has been altered almost beyond recognition since 1992. The massive northern addition overwhelms the historic, main block of the dwelling, and the building can no longer convey any significance it may have once possessed. The property is therefore recommended not eligible under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-08572



main building (.001) façade and north side, view to SE



main building (.001) façade and south side, view to NE



main building (.001) rear and south side, view to NW



**S-08574. Coleman Farmstead, Route 16**  
**(PIN: 230-26.00-15.00 and 230-26.00-18.00)**  
**(Detail Map #2)**

**Description:** This property, located on the northeast side of Route 16, includes a house and a barn. Historically part of the same farmstead, the barn is not located on a neighboring tax parcel. The abandoned house is surrounded by agricultural fields and is partially hidden behind overgrown vegetation.

The two-story, wood-framed, c. 1920s house has a side-gable orientation with a single-story, gabled ell with enclosed shed-roofed porch and shed-roofed rear vestibule. A doorway is placed at the center of the enclosed porch, but the door is now missing. A vertical board door is placed in the outer wall of the vestibule and adjoins concrete steps. The north gable end has a vertical board door in the side bay that adjoins a concrete stoop and steps. Fenestration of the house includes one-over-one, double-hung sash windows, fixed four-light windows, and fixed twelve-light windows. The house sits on a concrete-block foundation and is sheathed in wood shingles. Its roof is also sheathed in wood shingles. Numerous wood shingles are now missing, some windows are missing their lights, and at least one door is missing. A parged brick chimney rises from the south end of the roof ridge of the main block.

The barn (.002) is located on the tax parcel to the south. This gambrel-roofed, c. 1940 barn, has a concrete-block first story and cement-asbestos-shingled, wood-framed hay loft. The gambrel roof features exposed rafter ends. Wide, double sliding doors in the north elevation have been replaced by four-light, 12-panel, roll-down wood-framed doors. The gambrel ends are fenestrated with six-over-six, double-hung sash windows. The gambrel ends also feature loft doors and boarded over windows, as well as central ground floor doors. Portions of the cement-asbestos siding are missing, as are the sheet metal roof ventilators present when the property was surveyed in 1992 (LeeDecker et al. 1992:123-125).

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Agriculture theme and Architecture, Engineering, and Decorative Arts theme; agricultural complex and double cell plan house with ell property types

**Historic Overview:** The earliest identified transactions involving this property occurred in 1919 and 1920. Harry W. Jester had acquired the nearly 200-acre farm in three separate transactions (Sussex County Deed Book 218:221, 232:61, 232:70). In 1935 Harry W. Jester, Jr., administrator of the estate of Harry W. Jester, Sr., sold the property and numerous other large tracts to Marian G. Parker for \$13,000 (Sussex County Deed Book 301:137, June 1, 1935). This transaction apparently occurred to change the character of Jester's ownership because the same day Parker transferred ownership back to Jester for the same sum (Sussex County Deed Book 301:143, June 1, 1935).

In 1938 ownership passed from the Jester family when Harry W. Jester, Jr., and Marie T. Jester of Ellendale sold the 199.25-acre farm to Henry C. and Lena R. Coleman for \$2,000 (Sussex County Deed Book 313:290, May 3, 1938). In 1956 the Colemans sold the farm, then measured at 189 acres, to John B. and Anna L. Green for one dollar and other valuable considerations (Sussex County Deed Book 455:573, January 27, 1956). John B. Green died in March 1987, and ownership of the property passed to his wife.

In 1996 Anna L. Green, then residing in Greenwood, Delaware, sold the 189-acre farm to John L. Green, Sr., and Marian E. Green, Donald J. and Martha H. Green, and Richard A. and Priscilla J. Green for \$10.00 (Sussex County Deed Book 2141:288, August 8, 1996). The farm remains in the Green family, although the percentages of ownership have changed in subsequent transactions.

**Evaluation:** In the 1992 LeeDecker et al. report, the farmstead was recommended eligible for the National Register under Criterion C:

The Coleman farmstead, although developed rather late in the period of this historic context [the agriculture context], is, architecturally, illustrative of the agrarian environment of the 1920-1940 period, and the barn in particular is a good example of the use of then-“modern” forms and materials, such as the dimension-lumber-framed gambrel roof, concrete block walls and even the asbestos shingles on the upper level. ... The house and barn retain integrity of location, and although the property is not in agricultural use, the general setting remains clearly agrarian. Both buildings possess integrity of design, materials and workmanship, and thus also integrity of association and feeling (LeeDecker et al. 1992:124).

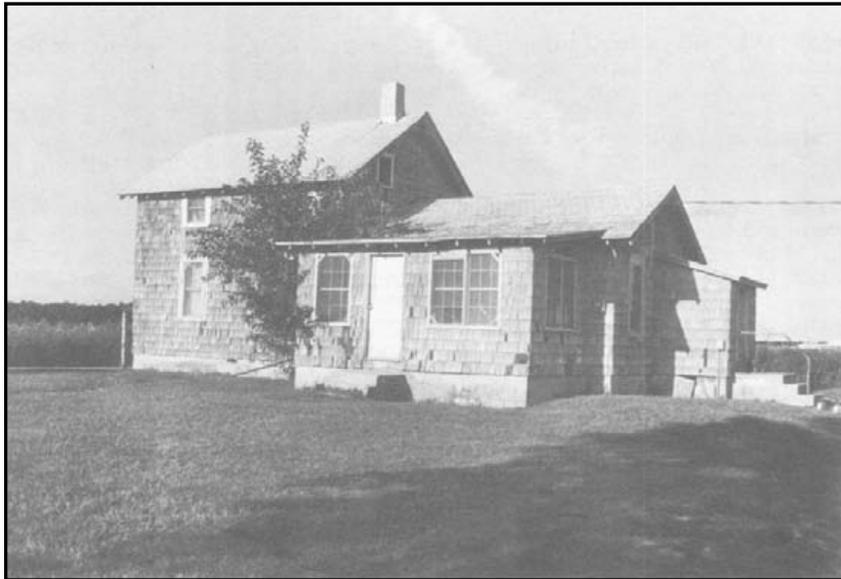
Since the time of the LeeDecker et al. survey, the property has been abandoned. The house clearly shows the effects of this abandonment with portions of the roof and wall shingles missing. The barn, on an adjacent tax parcel, has also suffered. The most notable evidence of deterioration is the lack of roof ventilators seen in a photo accompanying the 1992 report (see below), as well as the replacement of the original sliding barn doors. Deterioration has lessened the integrity of both buildings.

Evaluating the significance of the property under Criterion A as representative of the history of agriculture in the area, the property suffers in comparison to others by the lack of the range of agricultural buildings. Although the gambrel-roofed barn is indeed characteristic of a particular period of barn design, better preserved examples of this barn type exist within the U.S. 113 study area between Milford and Selbyville, and other examples with associated agricultural outbuildings also exist. A good example of an eligible farm complex from this period is the Gray Farm (S-04692) near Dagsboro, with its full complement of agricultural support buildings from the 1920-1940 period, including a gambrel-roof barn. In comparison, the Ellendale property lacks the integrity necessary to convey its significance, and it is therefore recommended not eligible for the National Register under Criterion A.

Chain-of-title research has not revealed a connection between the property and any individual significant in the history of the local area. Therefore, the property is recommended not eligible under Criterion B.

As noted, the house has suffered significant deterioration in recent years. The barn has also been altered by replacement of the ground-level openings with garage doors and the removal of roof ventilators, among other changes. Due to alterations and deterioration, both buildings lack the integrity to be able to convey their historic character, and are thus recommended not eligible under Criterion C.

The dating of the house is somewhat uncertain. Deconstruction and demolition may reveal the property contains information important to the understanding of vernacular architecture traditions, should the building be older than first anticipated. If the building is to be demolished as part of the project, it should first be evaluated by a qualified architectural historian; selective demolition should be used to fully determine whether the property is eligible under Criterion D and has important information to yield. If it is determined that the building was constructed using standard building technology of the time, including balloon or platform framing, this property would not be eligible for listing under Criterion D and the demolition could proceed. Should the property be recommended significant by the qualified architectural historian, it should be fully documented prior to demolition.



Coleman house in 1992 (LeeDecker et al. 1992:124)



Coleman barn in 1992 (LeeDecker et al. 1992:125)

S-08574



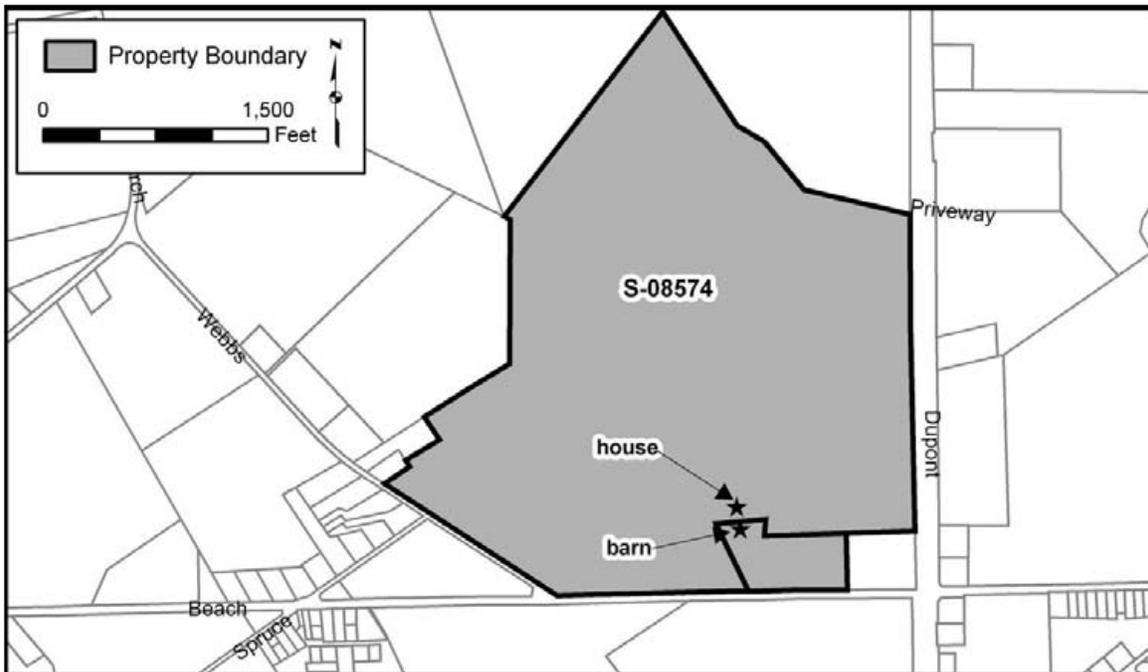
main building (.001) façade and south side, view to NE



main building (.001) rear and north side, view to SW



barn (.002), view to SE



**S-08575. Cornelius Sutton House, DuPont Highway  
(PIN: 230-26.00-23.00)  
(Detail Map #1)**

**Description:** The house precinct is completely overgrown with weeds and uncontrolled shrubs; it is almost invisible from the road and is impossible to photograph. A concrete pad and an unpaved drive extend to the south of the house. The lot is wooded at the rear.

The c. 1955 house is in near ruinous condition. Its interior is filled with trash, and its exterior is completely overgrown. Some indication of its former appearance may be gotten from the 1992 LeeDecker et al. survey. The small, one-story, wood-framed building comprised an L-shape with the stem of the ell projecting toward the road.

Alterations to the original house include newer siding, windows, and shutters, but the house has undergone severe deterioration. Its roof and ceiling are collapsing. The north side has a shed-roofed addition that is almost entirely collapsed. A front door has been added on the west side of the addition.

The west façade of the house is two bays wide and features a curved bay window with fixed and casement lights and an asphalt roof. The wall is also pierced by a six-panel door at the left side. The north side of the house consists, in part, of the collapsed side addition. Fenestration of the remaining wall consists of a one-over-one, double-hung sash window. The five-bay south wall is fenestrated with a combination of paired one-light sashes and one-over-one, double-hung sash windows. A door, placed near the front of the wall, is wood and glass with nine lights and two panels. The rear wall is dominated by a full-width addition fenestrated with one-over-one, double-hung sash windows.

The house sits on concrete piers, is sheathed in vinyl siding, and has a roof sheathed in asphalt. A brick chimney rises from the center of the roof.

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Suburban and Early Ex-urbanization 1940-1960+/-; Architecture, Engineering, and Decorative Arts theme; World War II-era cottage property type

**Evaluation:** This house is representative of the development of the U.S. 113 corridor in the period following World War II as former farms were subdivided and converted to residential lots. As indicated in the research design, although this represented a locally significant land development trend, individual examples of this process lack historical significance. Therefore, this property is recommended not eligible under Criterion A.

Limited map research has not resulted in the identification of any association with an individual significant in the history of the local area. Therefore, the property is recommended not eligible under Criterion B.

As noted, the house is in near ruinous condition. Previous survey photographs revealed it to be an L-plan cottage of little architectural distinction. Due to both lack of architectural significance and lack of architectural integrity, the house is recommended not eligible for the National Register under Criterion C.

The building on this property represents a common example of wood framing and is not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.



Cornelius Sutton house in 1992 (LeeDecker et al. 1992:72)

S-08575



main building (.001) façade, view to E



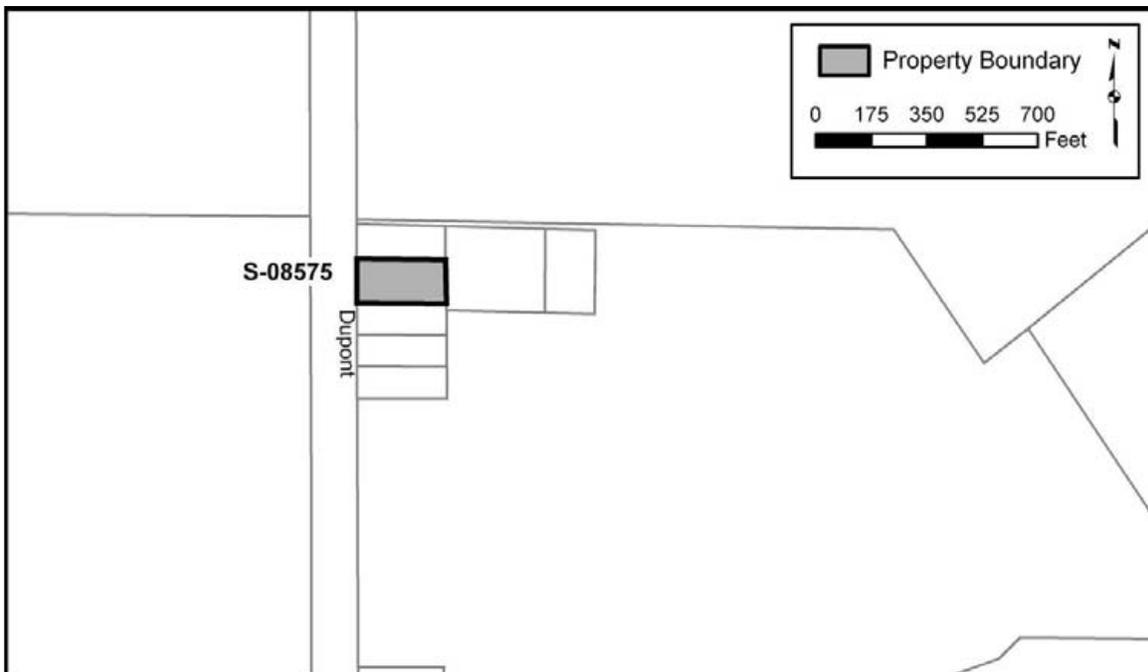
main building (.001) rear, view to W



main building (.001) south side, view to NE



main building (.001) façade and north side, view to SE



**S-08576. Preston Evans House, 12241 U.S. 113**  
**(PIN: 230-26.00-32.00)**  
**(Detail Map #1)**

**Description:** This property, located in the middle of large cultivated fields, contains a historic-period house and three outbuildings. A long, unpaved drive leads to the building complex from U.S. 113 to the west. The house originally faced Old State Road, but was remodeled and reoriented to face west toward U.S. 113 in the mid-twentieth century. The original center door and windows are obscured by a garage addition. The original rear ell is now the front block.

Before it was reoriented, the c. 1900-1910 house consisted of a two-story, single-pile, wood-framed, side-gabled I-house with a one-and-one-half story, gabled, wood-framed rear ell. There are currently two entrances, one on the west wall and one on the south wall, and which side should be identified as the house's façade is debatable. The west wall is marked by a shed-roofed, screened porch with a concrete slab foundation. The porch is enclosed with screen panels and shelters a wood-and-glass door placed in the center of the rear ell wall. Fenestration of the west façade consists of three-over-one, double-hung sash windows. The south wall is marked by an enclosed, flat-roofed porch extending from the side of the ell. This porch has a four-light, two-panel wood door that adjoins a concrete stoop. The door is flanked by paired three-over-three, double-hung sash windows. The remainder of the south wall fenestration consists of two-over-two and three-over-three, double-hung sash windows and rectangular attic windows. The north wall is also fenestrated with two-over-two and three-over-three, double-hung sash windows, while the rear wall is partially obscured by a garage addition. Fenestration includes two-over-two, double-hung sash windows. The main block of the house is set on a brick foundation and is sheathed in wood shingles. The cornice is boxed, and the roof is metal. An interior stuccoed chimney rises from the center of the roof of the original ell.

The property currently includes three outbuildings, two small barns and a shed. The first barn (.002) and the shed (.003) are located next to each other southeast of the house. The first barn, probably constructed in the 1910s, is gabled front in orientation with a south side lean-to addition. Its lower wall is clad in corrugated metal, while its gable peaks are sheathed in board and batten. It sits on a concrete-block foundation. The ground floor of the west façade contains two, sliding, top-hung doors, and one side-hinged batten entry door. A hatch door is placed in the loft. The north and south side walls are blank, as is the rear wall.

The c. 1920s shed (.003) is placed immediately north of the barn. Set on concrete blocks and sheathed in bricktex siding, it has a batten door in the center of its west gabled façade. The remaining sides are blank. The second barn (.004) is placed north of the house. This structure, believed to have been erected about 1900, is eaves-front in orientation with a south facing façade. This wall has a large sliding, wood batten door that adjoins a shallow concrete ramp, a side-hinged batten door, and a boarded up window that presumably had four fixed lights. The west side contains a six-light window and a loft door, while the east wall has window openings in the first floor and the loft, and a wood batten loft door. The rear wall is blank. The barn is sheathed in bricktex and has a roof sheathed in corrugated metal.

**Applicable Historic Context(s):** Lower Peninsula/Cypress Swamp Zone; Urbanization and Early Suburbanization 1880-1940+/-; Agriculture theme and Architecture, Engineering, and Decorative Arts theme; agricultural complex and altered I-house property types

**Evaluation:** This property was recommended as not eligible for the National Register in the 1992 evaluation report based largely on its diminished integrity and the fact that it is an undistinguished example of a common architectural type (LeeDecker et al. 1992:73). Since 1992 the roof has been replaced by standing-seam metal.

JMA evaluated the property as a c. 1900-1910 I-house and as an agricultural property. Although located in a rural setting and surrounded by cropland, the property retains little of its former agricultural character. The house has been altered by its reorientation, and it no longer faces the large field system to its east. At the time of the LeeDecker et al. (1992) survey, there were several vertical plank sheds to the north of the house that have since been demolished. The outbuildings that remain do not allow the identification of past agricultural uses, and while they are an attractive grouping, they do not represent a complete or outstanding example of a turn-of-the-century Sussex County farm. Due to lack of significance and integrity, the property is recommended not eligible for the National Register under Criterion A.

Limited research has not resulted in the identification of any connection with an individual significant in the history of the local area. Therefore, the property is recommended not eligible under Criterion B.

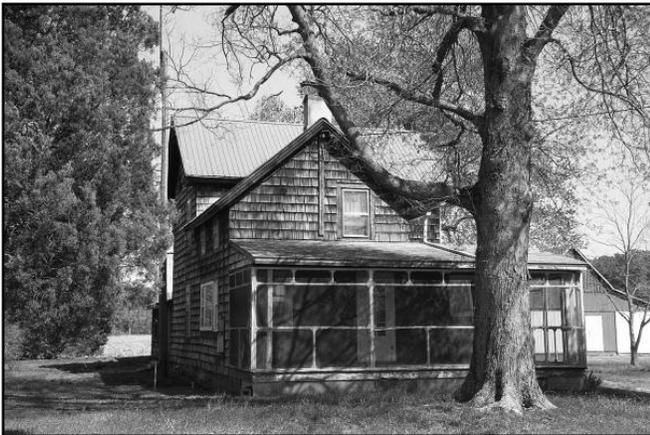
Although the dwelling is an attractive building that retains many of its original materials, including windows and, possibly, siding, the character of the house has been substantially altered as a result of its reorientation to face U.S. 113 and the concealment of the original front entry within the garage addition. Although this alteration occurred more than 50 years ago, it still has resulted in a diminution of integrity; what was originally a straightforward I-house with rear ell is now a complexly massed dwelling without a clearly distinguishable façade wall. In its present configuration, the house fails to convey architectural significance. The outbuildings, altered examples of common types, do not possess architectural significance. Therefore, JMA concurs with LeeDecker et al.'s recommendation of not eligible under Criterion C for the house and the complex.

The buildings on this property represent common examples of wood framing and are not likely to provide new information on this construction type that is not already available through other means; therefore the property is not likely to be eligible under Criterion D.

S-08576



main building (.001) west and south walls,  
view to NE



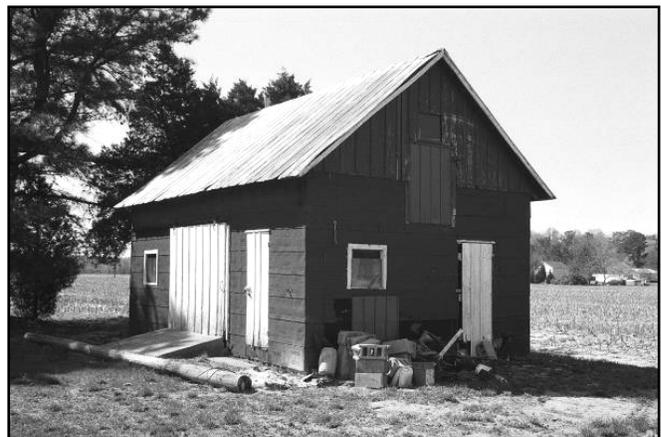
main building (.001) west wall, view to E



main building (.001) east wall (formerly the  
façade) and south side, view to NW



left to right: shed (.003) and barn (.002),  
view to NE



barn (.004), view to NW

