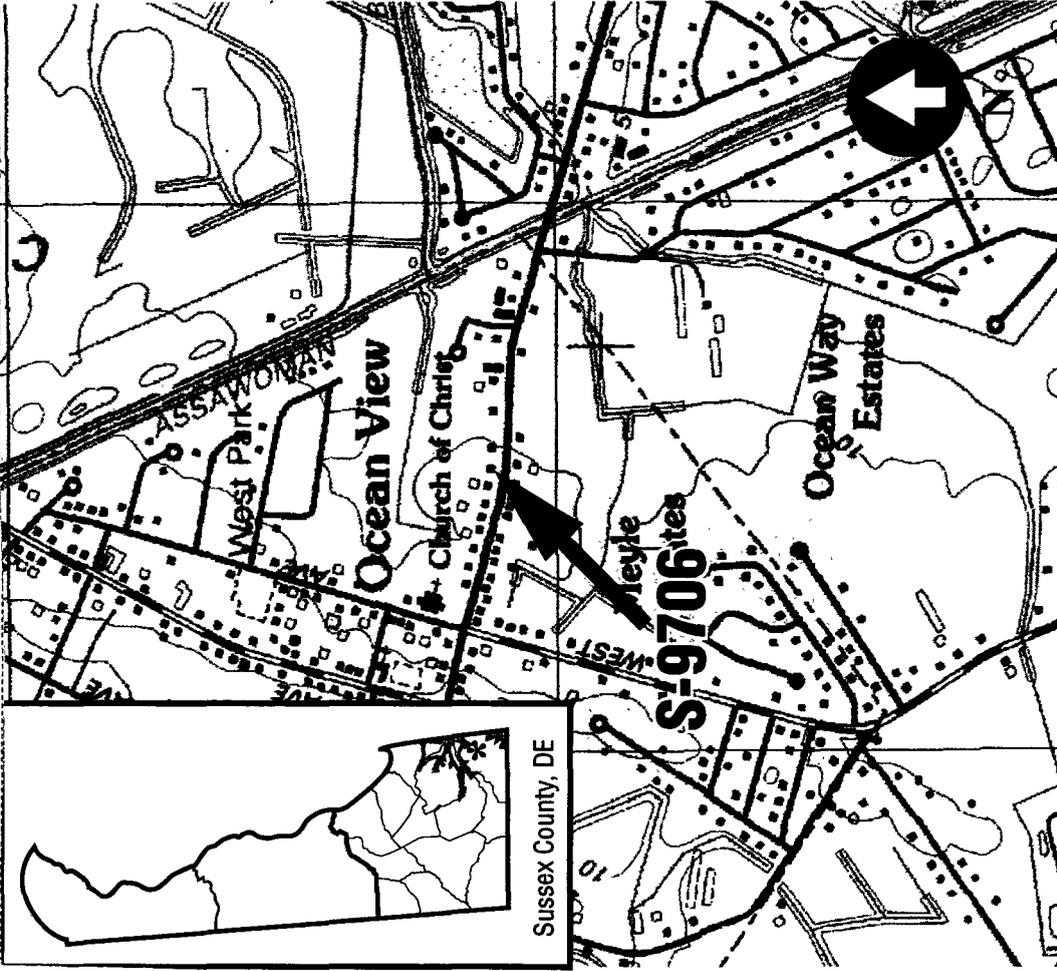




CRS #: S-9706

9. Location Map:

Please indicate position of resource in relation to geographical landmarks, such as streams and roads.



Indicate North on Sketch

Use Black Ink Only

10. Other Information: Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

This resource was evaluated in association with the federally funded Route 26 Road Improvement Project, initiated in Fall 1998 under Contract #99-112-01 (SR 26, US 113 to the Assawoman Canal).

11. Comprehensive Planning:

a) Time Period(s)

Industrialization and Early Urbanization, 1830-1880 +/-; Circa 1870

b) Historic Theme(s)

Architecture, Agriculture

12. Evaluation: eligible: Yes  No  Potential  Unknown

a) Area(s) of Significance

b) NR Criteria

13. Certification:

Surveyor: Charles A. Richmond

Date: March 2002

PI: Francine Arnold

Date: April 2002

CRS-1

Cultural Resource Survey  
Main Building Form

CRS # S-9706  
SPO Map 20-21-07  
Hundred Baltimore  
Quad Bethany Beach  
Zone Coastal  
Acreage 0.63 Acres

1. Address of Property: 25 Atlantic Avenue (north side), Ocean View, DE (Tax Parcel 1-34-13-25.00)  
2. Date of Initial Construction: Circa 1870  
3. Floor Plan/Style: I-House; Vernacular I-House  
4. Architect/Builder: Unknown

5. Integrity: Original Site? Yes Moved? No  
If moved, when and from where? \_\_\_\_\_

List major alterations and dates (if known) Vinyl siding added to front (south) and side facades, additions seen to the side (east) and rear (north) facades.

6. Current Condition: excellent:  good   
fair  poor

7. Describe the resource as completely as possible:

a) Overall Shape L-Shaped with additions

Stories Two and one-half

Bays Two

Wings Kitchen ell on rear of dwelling

b) Structural System Wood Frame

c) Foundation

Materials Partial concrete

Basement Unknown

d) Exterior Walls (modern over original)

Materials Vinyl siding and asbestos

Color(s) Light brown

e) Roof

Shape; materials Side-gable; asphalt shingles

Cornice Boxed with partial returns

Dormers None

Chimney location(s) Brick interior ridge chimney on western-most side of front facade; brick interior ridge on ell

Use Black Ink Only

7. Description (cont'd):

f) Windows

Spacing Even

Type Six-over-one double-hung and louvered windows

Trim Wood

Shutters None

g) Door

Spacing Off-center

Type Wood panel

Trim Wood

h) Porches

Location(s) Enclosed side porch on side (east) facade

Materials Vinyl siding with asbestos

Supports Wood posts

Trim None

i) Interior details (if accessible)

Unknown

8. Sketch Plan of Building:

See attached site plan

Indicate North on Sketch

9. Surveyor: Charles A. Richmond Date of Form: March 2002

Use Black Ink Only

Cultural Resource Survey  
Related Outbuilding Form

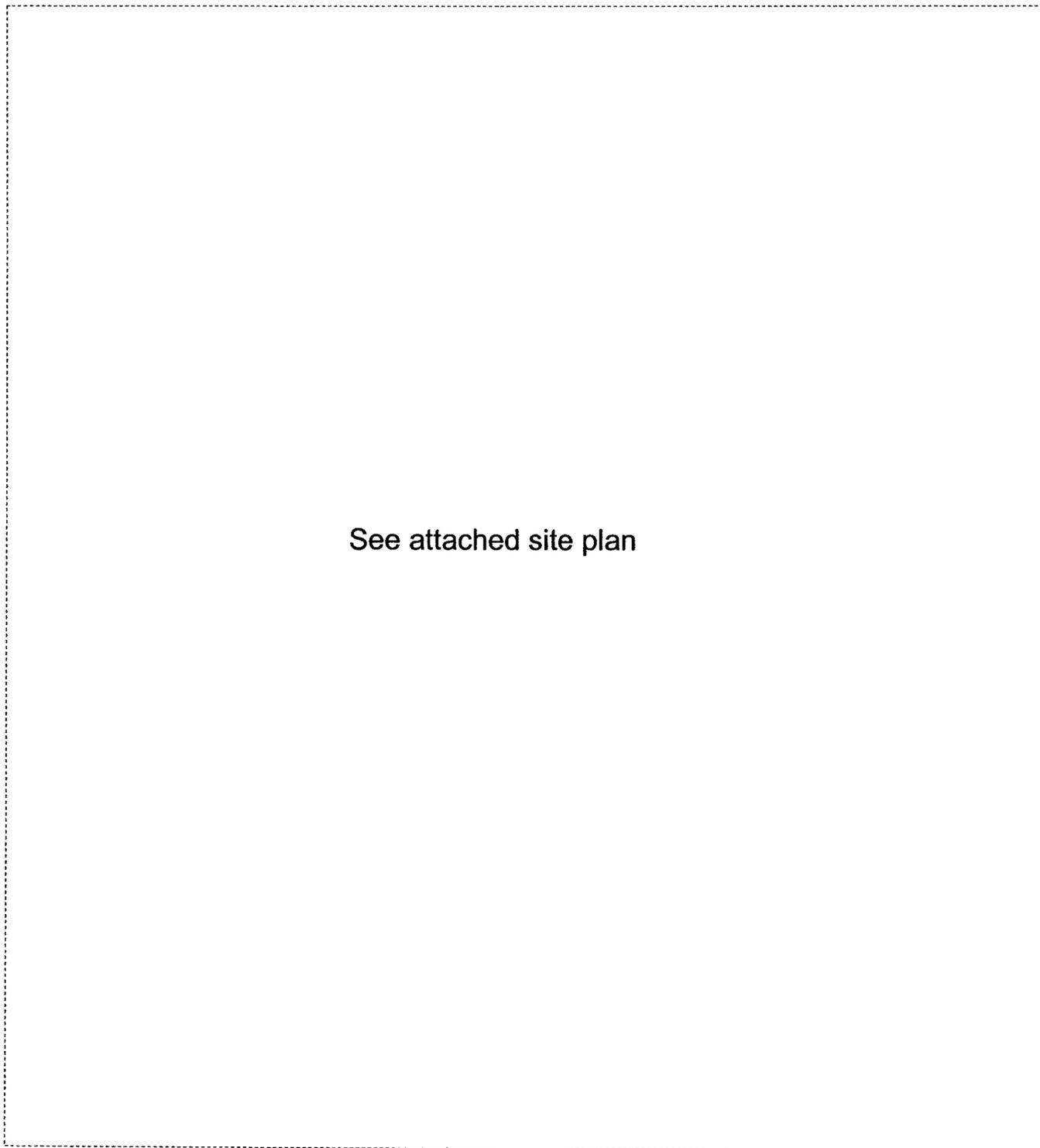
CRS # S-9706  
SPO Map 20-21-07  
Hundred Baltimore  
Quad Bethany Beach  
Zone Coastal  
Acreage 0.63 Acres

1. Address of Property: 25 Atlantic Avenue (north side), Ocean View, DE (Tax Parcel 1-34-13-25.00)
2. Function: Storage
3. Date: Circa 1900
4. Stylistic Features: Exposed rafters, gable roof
5. Architect/Builder: Unknown
6. Description:
  - a) Structural System Wood frame
  - b) Wall Coverings Vertical wood weatherboard
  - c) Wall Openings  
Windows None  
Doors One on side facade, vertical wood weatherboard  
Other None
  - d) Foundation None
  - e) Roof  
Structural system Frame  
Coverings Asphalt-shingle on gable roof  
Openings None
  - f) Interiors  
Floor Plan Unknown  
Partition/Walls Unknown  
Interior Finish Unknown  
Furnishings/Machinery Unknown

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



See attached site plan

Indicate North on Sketch

8. Surveyor: Charles A. Richmond

Date of Form: March 2002

Use Black Ink Only

CRS-3

Cultural Resource Survey  
Related Outbuilding Form

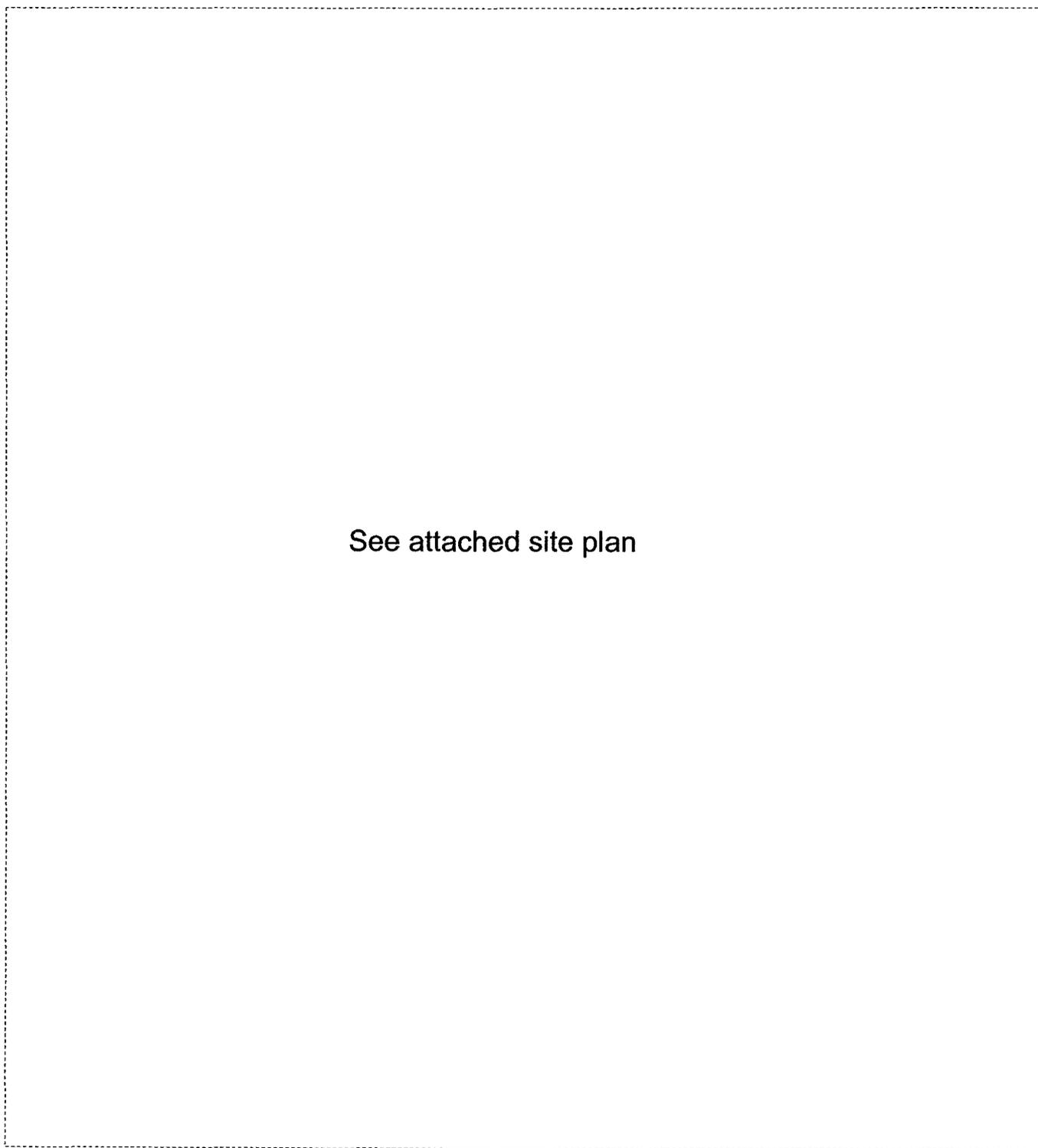
CRS # S-9706  
SPO Map 20-21-07  
Hundred Baltimore  
Quad Bethany Beach  
Zone Coastal  
Acreage 0.63 Acres

1. Address of Property: 25 Atlantic Avenue (north side), Ocean View, DE (Tax Parcel 1-34-13-25.00)
2. Function: Storage
3. Date: Circa 1980
4. Stylistic Features: Shed roof
5. Architect/Builder: Unknown- prefabricated
6. Description:
  - a) Structural System Frame
  - b) Wall Coverings Vinyl siding
  - c) Wall Openings
    - Windows None
    - Doors Vinyl door
    - Other None
  - d) Foundation None
  - e) Roof
    - Structural system Frame
    - Coverings Asphalt-shingle shed roof
    - Openings None
  - f) Interiors
    - Floor Plan Open
    - Partition/Walls None
    - Interior Finish Unfinished
    - Furnishings/Machinery Unknown

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



See attached site plan

Indicate North on Sketch

8. Surveyor: Charles A. Richmond

Date of Form: March 2002

Use Black Ink Only

CRS-3

Architectural Description

The Gulfstream Development Corporation Property (Tax Parcel 1-34-13-25.00) consists of a *circa* 1870 two-and-a-half story, two-bay, frame main residence and two outbuildings. The I-House residence consists of the main block, kitchen ell, and several modern additions. The main block has a side gable roof with asphalt shingles and a boxed cornice. Cornice returns are found on the west gable end, but have been removed from the east gable end. Brick chimneys are found along the ridgeline at the west end of the main block and north end of the kitchen ell. A single-story entry porch with shed roof, wood posts, and wood shingle covering is located along the façade. The fenestration throughout the building is generally six-over-one windows with one light windows in the attic level. The kitchen ell is a single-story, frame section with asphalt shingles, vinyl siding, and concrete foundation. Single-story additions have been made to the east and west elevations of the kitchen ell. The additions have concrete foundations, modern windows and vinyl siding that is not in keeping with the original core of the dwelling.

A *circa* 1900 single-story, frame shed is located to the northwest of the residence. The shed has vertical board siding, an asphalt shingle covered gable roof, and concrete foundation. While this shed is currently being used for storage, it may have once have been used as an agricultural building.

A single-story frame shed with vinyl siding is located to the northeast of the residence. The *circa* 1980 prefabricated shed has an asphalt shingle covered flat roof.

Determination of Eligibility

The Gulfstream Development Corp. Property (S-9706) is recommended not eligible for the National Register of Historic Places. As per the criteria set forth in the Regional Historic Context for Baltimore Hundred in the *Route 26 Eligibility Report*, defining characteristics of I-houses built after the railroad arrived in Sussex County include dwellings that are two and one-half stories in height, one to two rooms deep, three to five bays in width, and have a side-gable roof. Eligible I-house resources may exhibit original fenestration, wood shake or wood clapboard exterior siding (likely produced locally in Baltimore Hundred from cypress from the nearby Cypress Swamp, which may be covered by modern materials), brick interior or exterior chimneys, and side gable frame roofs. Eligible I-houses may or may not have exterior side or front porches or rear or side ell additions, depending upon their original form and function and evolving use over time. Screened-in porches are acceptable on I-houses; however, infilled porches that date after the Period of Significance may potentially render a resource ineligible. Vinyl or aluminum exterior siding is acceptable, provided that the original exterior materials remain beneath. Replacement windows are acceptable too if the building retains its original fenestration. Integrity of location, setting, design, feeling, association, materials and workmanship should also ideally be exhibited by an I-house in order to be considered eligible for the *National Register of Historic Places*. Unsympathetic additions, exterior alterations, changes in fenestration or historical acreage, and visual intrusions caused by traffic patterns or new development could potentially render an I-house of this time period an ineligible resource. Resources meeting the above criteria would be eligible for nomination to the *National Register of Historic Places* under Criterion A: broad patterns of history/railroad development, and Criterion C: architectural types/vernacular I-house form.

## Section 12

Continuation Sheet: 2 of 2 (CRS-1)

CRS#: S-9706

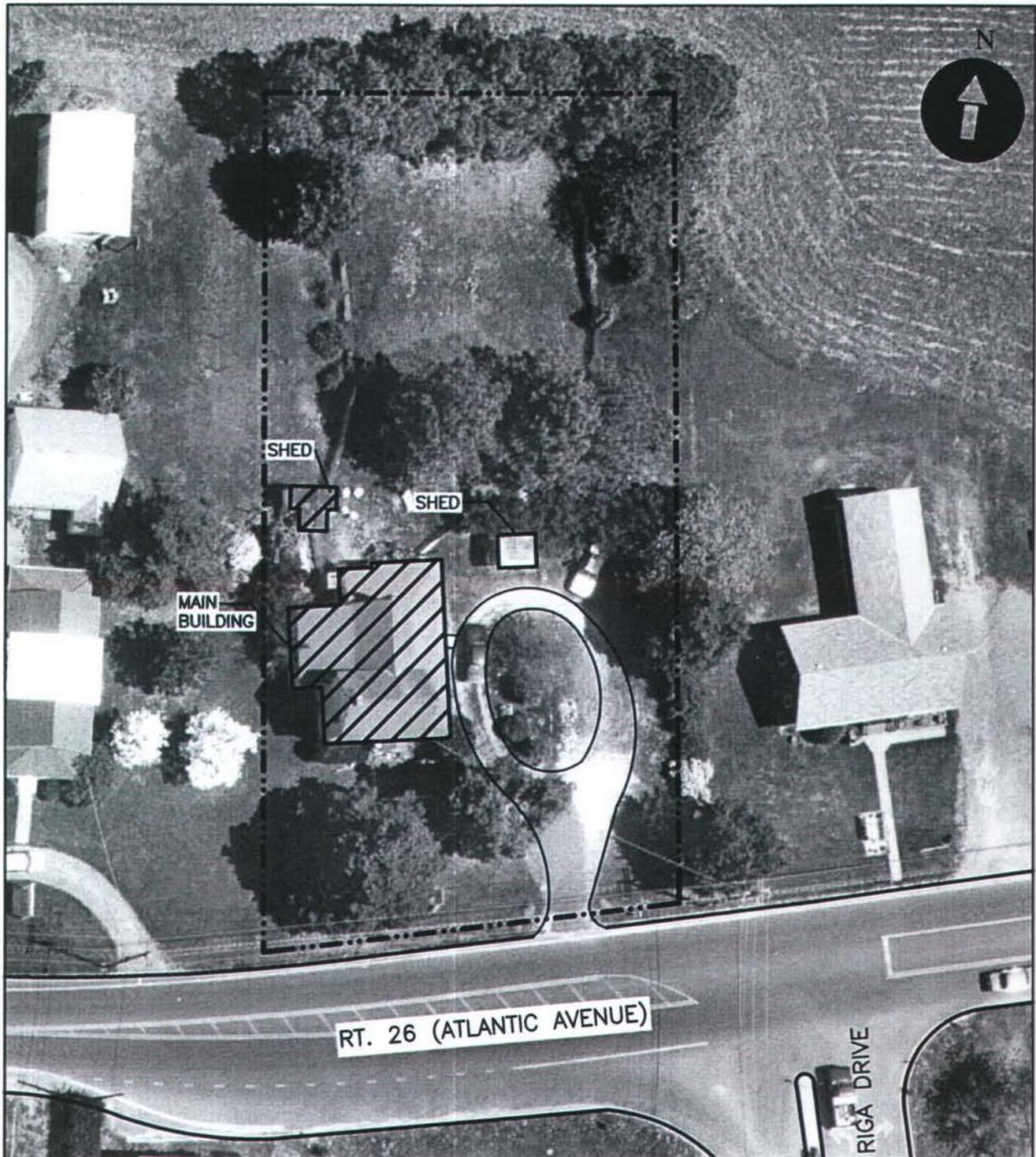
This dwelling does not retain the integrity of setting, feeling, design or materials requisite for eligible I-Houses. The Gulfstream Development Corp. Property is clad in vinyl siding and has modern unsympathetic additions off the side and rear facades; it is also located within view of commercial development associated with Route 26, thereby compromising integrity of feeling and setting. Porch enclosures along the side (east and west) facades are also unsympathetic additions, which do not match the style, materials, scale or design of the original core I-house dwelling. This dwelling is not associated with an event of importance, nor is it representative of a pattern of events or historic trends (Criterion A). The Gulfstream Development Corp. Property is not affiliated with any persons important to local, state or national history (Criterion B). While this dwelling still possesses some characteristics of an I-House, it is not distinctive to a given time period or method of construction, nor is it known to represent the work of a master or architect (Criterion C). Owing to prior ground disturbance, there is little probability that new information will result from any archaeological testing performed in the vicinity of the property (Criterion D).

Section 8

CRS # S-9706

Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



Indicate North on Sketch

Surveyor: McCormick, Taylor & Associates, Inc.

Date of Form: March 2002

Use Black Ink Only

	BUILDING 50 YEARS OLD OR OLDER
	BUILDING LESS THAN 50 YEARS OLD
	TAX PARCEL BOUNDARY

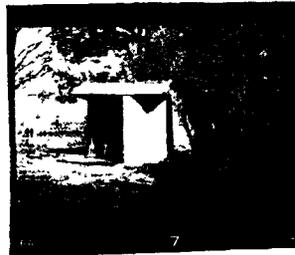
**Delaware State Historic Preservation Office  
Photographic Inventory**

CRS# S-9706 Date March Contact # C-4 Surveyor R. Betterly, J.  
2002 Clouse, C.  
Richmond

Description (5) Lateral view, facing northeast; (6) East elevation, looking west; (7) Shed  
(1970s), looking northwest; (8) Shed (1930s), looking west

Negative Location (if other than SHPO) MTA-PHL

Attach contact print(s):



Cultural Resource Survey  
Property Identification Form

CRS # S-9705  
SPO Map 20-21-07  
Hundred Baltimore  
Quad Bethany Beach  
Zone Coastal  
Acreage 0.95 Acres

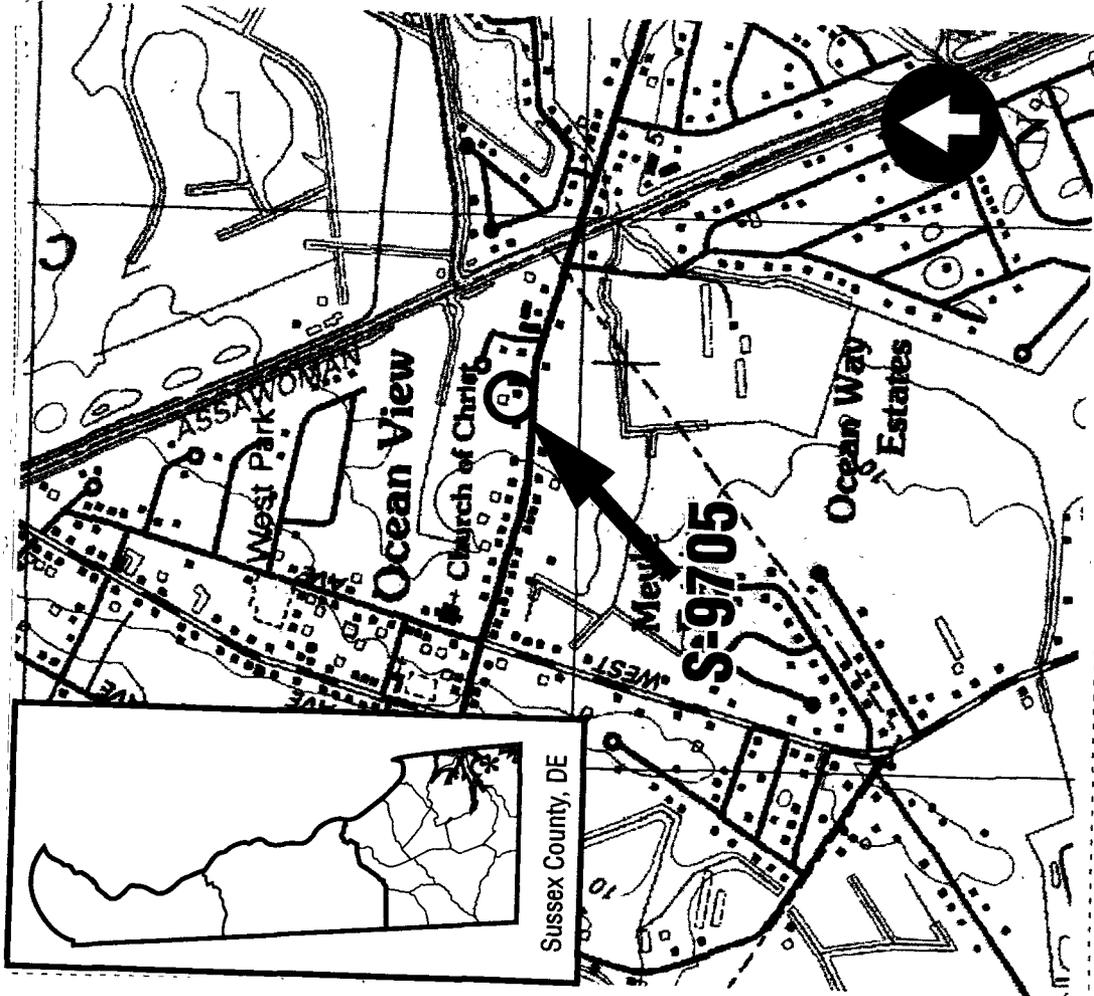
1. Name of Property: John Roberts Property (Tax Parcel 1-34-13-28.00)
2. Street Location: 15 Atlantic Avenue (north side), Ocean View, DE
3. Owner's Name: John Roberts Tel. #: \_\_\_\_\_  
Address: P.O. Box 735, Bethany Beach, DE
4. Type of Resource(s): building:  structure:  site:   
object:  district:
5. Surroundings: (check more than one, if necessary)  
fallow field:  cultivated field:  woodland:   
scattered buildings:  structure:  site:
6. Function: original Residence present Business
7. List Additional Forms Used:  
Main Building Form (CRS-2)  
Related Outbuilding Form (CRS-3)  
Continuation Sheets
8. Surveyor: Charles A. Richmond Tel. #: (215) 592-4200  
Organization: McCormick, Taylor and Associates, Inc. Date: March 2002  
Address: 2001 Market Street, 10th Floor, Philadelphia, PA 19103

Use Black Ink Only

CRS #: S-9705

9. Location Map:

Please indicate position of resource in relation to geographical landmarks, such as streams and roads.



Indicate North on Sketch

Use Black Ink Only

10. Other Information: Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

This resource was evaluated in association with the federally funded Route 26 Road Improvement Project, initiated in Fall 1998 under contract number 99-112-01. The Colonial Revival/Four Square dwelling was constructed c. 1920.

11. Comprehensive Planning:

- a) Time Period(s)  
Urbanization and Early Suburbanization, 1880-1940 +/-
- b) Historic Theme(s) Architecture, Engineering and decorative arts

12. Evaluation: eligible: Yes  No  Potential  Unknown

- a) Area(s) of Significance
- b) NR Criteria

13. Certification:

Surveyor: Charles A. Richmond

Date: March 2002

PI: Francine F. Arnold

Date: March 2002

CRS-1



7. Description (cont'd):

f) Windows

Spacing Even

Type Four-over-one wood sash Craftsman windows, paired and single; ribbon window and modern, double-hung windows

Trim Wood

Shutters Vinyl, fixed

g) Door

Spacing Off center

Type Wood panel with side lights

Trim Wood

h) Porches

Location(s) Partially enclosed windows on front (south) elevation

Materials Wood and asphalt-shingles

Supports Wood piers

Trim Plain

i) Interior details (if accessible)

Unknown

8. Sketch Plan of Building:



Indicate North on Sketch

9. Surveyor: Charles A. Richmond

Date of Form: March 2002

Use Black Ink Only

Cultural Resource Survey  
Related Outbuilding Form

CRS # S-9705  
SPO Map 20-21-07  
Hundred Baltimore  
Quad Bethany Beach  
Zone Coastal  
Acreage 0.95 Acres

1. Address of Property: 15 Atlantic Avenue (Tax Parcel 1-34-13-28.00)
2. Function: Garage
3. Date: Circa 1975
4. Stylistic Features: Front gable
5. Architect/Builder: Unknown
6. Description:
  - a) Structural System Frame
  - b) Wall Coverings Vinyl siding
  - c) Wall Openings
    - Windows Replacement windows
    - Doors Metal pedestrian door
    - Other Two vehicular garage doors
  - d) Foundation Concrete block
  - e) Roof
    - Structural system Frame
    - Coverings Asphalt shingle gable roof
    - Openings None
  - f) Interiors
    - Floor Plan Open
    - Partition/Walls Unknown
    - Interior Finish Unknown
    - Furnishings/Machinery Unknown

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.

See attached site plan

Indicate North on Sketch

8. Surveyor: Charles A. Richmond

Date of Form: March 2002

Use Black Ink Only

CRS-3

The following context is taken from the *Route 26 Eligibility Study*.

### Colonial Revival/Four-square

Hipped roof, four-square examples of Colonial Revival style residences with full-width front porches were popular forms from *circa* 1895 through 1920, while side-gable types with simple accent details reigned from *circa* 1905 until 1940 (McAlester, p. 325). Most of these vernacular forms of Colonial Revival style houses had either wood shingle siding (produced locally from Cypress Swamp mills), wood clapboard siding, or if the interpretation was executed in a high-style form, masonry. The Ralph H. & Geraldine B. West Property is an example of a Colonial Revival House within the Route 26 Project corridor with a clinker-brick exterior that was constructed c. 1939.

Potentially eligible examples of Colonial Revival architecture to the *National Register of Historic Places* should have integrity of location, setting, design, feeling, association, materials and workmanship, without significant unsympathetic twentieth or twenty-first century additions that obscure their original form and function. Porches may be screened in, but infilled porches or bays are usually unacceptable for eligibility. Earlier examples of Colonial Revival architecture should have a hipped roof, preferably with an intact, full-width front wood porch and four-square massing; later examples of this type should show more restrained features and a side-gable roof. It is anticipated that most Colonial Revival dwellings are either one and one-half stories, or two and one-half stories in height; eligible examples of the Colonial Revival building type should retain their original fenestration and positioning of doors if they do not have their original windows or doors. Properties that individually exhibit the above characteristics would be potentially eligible for consideration for the *National Register of Historic Places* under Criterion C: architectural significance/vernacular Colonial Revival style; or if part of an Agricultural Complex eligible for consideration under Criterion A: Baltimore Hundred agricultural trends/practices.

### Architectural Description

The John Roberts Property (Tax Parcel 1-34-13-28.00) is a two-and-a-half story, two-bay four-square style dwelling with a concrete block foundation and frame structural system. The building has a vinyl siding exterior and hipped roof with asphalt shingles. A hipped roof dormer with paired windows is located along the south elevation. A brick exterior chimney passes through the eave along the east elevation. The façade includes a wood paneled door with sidelights, a large bay window, and a porch. The porch is a single-story, full width porch with wood posts on brick piers. The porch includes a simple wood post balustrade between the brick piers. Several four-over-one windows are found throughout the building, but a number of modern replacement windows have been added. Extensive alterations and additions have been made to the rear of the building. The additions include a two-story frame section with vinyl siding and a standing seam metal roof along the north elevation of the residence. A one-and-a-half story shed roof addition, with metal roof, vinyl siding, and modern windows, was built on to the two-story addition. Wood stairs and decks have been added to the north and west elevations. A single-story, two-bay, c. 1975 garage is located immediately northwest of the main building. The garage has a concrete foundation, frame structural system, vinyl siding, and an asphalt shingle roof.

Determination of Eligibility

The John Roberts Property (S-9705) is recommended not eligible for the National Register of Historic Places. In addition, it is not recommended as a contributing feature to the Ocean View District because the Ocean View District is not being recommended eligible as a historic district due to modern infill, demolition, alterations, and loss of integrity.

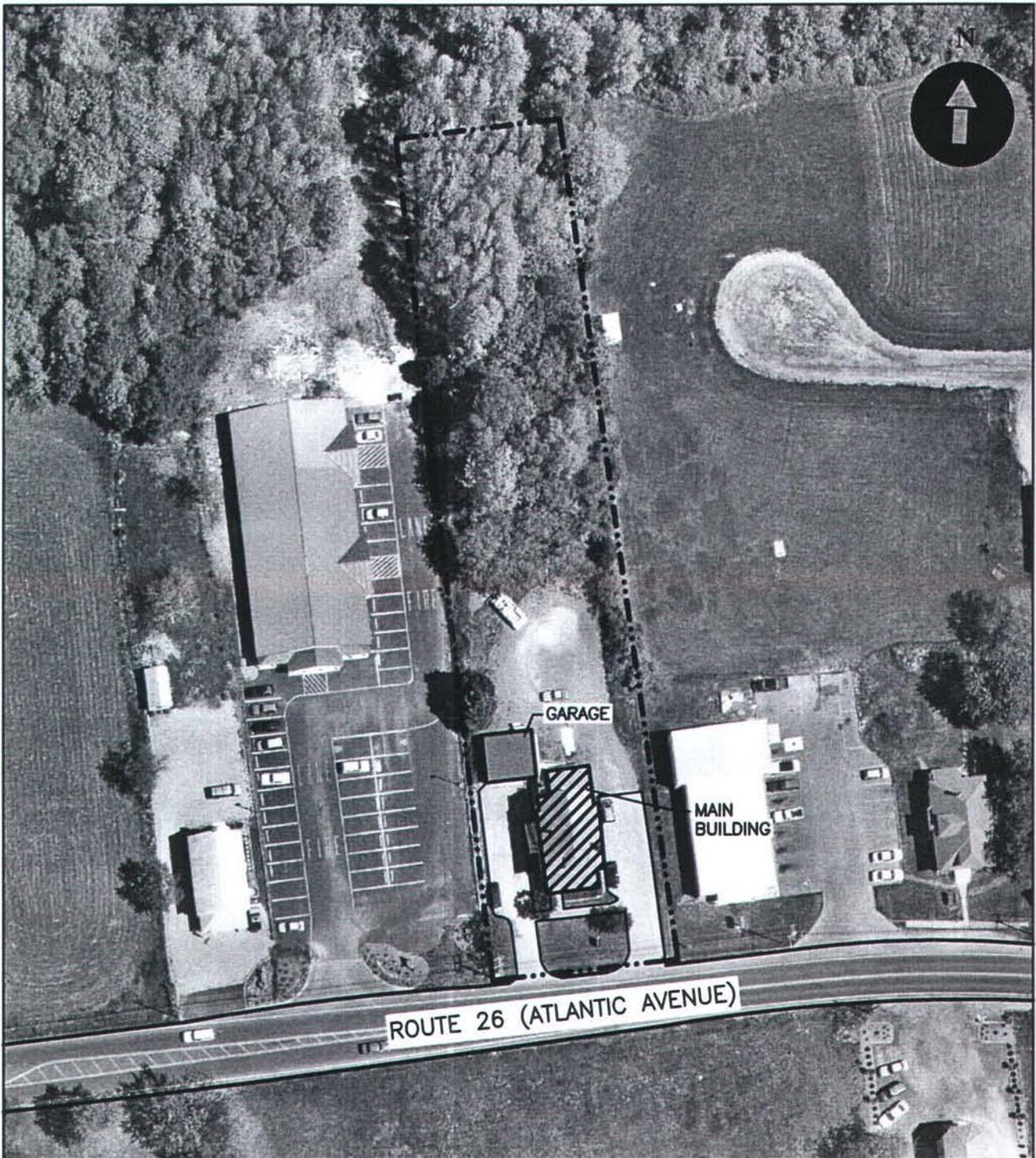
This dwelling does not retain integrity of location, setting or feeling requisite for eligible Colonial Revival Houses. The John Roberts Property is clad in vinyl siding, has many replacement windows, and has are extensive alterations and additions to the rear of the dwelling that are unsympathetic to the original Colonial Revival style. This building is not associated with an event of importance, nor is it representative of a pattern of events or historic trends (Criterion A). The John Roberts Property is not affiliated with any persons important to local, state or national history (Criterion B). While this dwelling still possesses characteristics of its Colonial Revival style, it is not exemplary of a given time period or method of construction, nor is it known to represent the work of a master architect (Criterion C). Owing to prior ground disturbance, there is little probability that new information will result from any archaeological testing performed in the vicinity of the property (Criterion D).

Section 8

CRS # S-9705

Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



Indicate North on Sketch

Surveyor: McCormick, Taylor & Associates, Inc.

Date of Form: March 2002

Use Black Ink Only

	BUILDING 50 YEARS OLD OR OLDER
	BUILDING LESS THAN 50 YEARS OLD
	TAX PARCEL BOUNDARY

**Delaware State Historic Preservation Office  
Photographic Inventory**

CRS# S-9705 Date March Contact # C-4 Surveyor R. Betterly,  
J. Clouse, C.  
Richmond

---

Description (9) Lateral view, facing northwest; (10) Facade and west elevation, looking  
northeast; (11) Garage, looking north

---

Negative Location (if other than SHPO) MTA-PHL

---

Attach contact print(s):

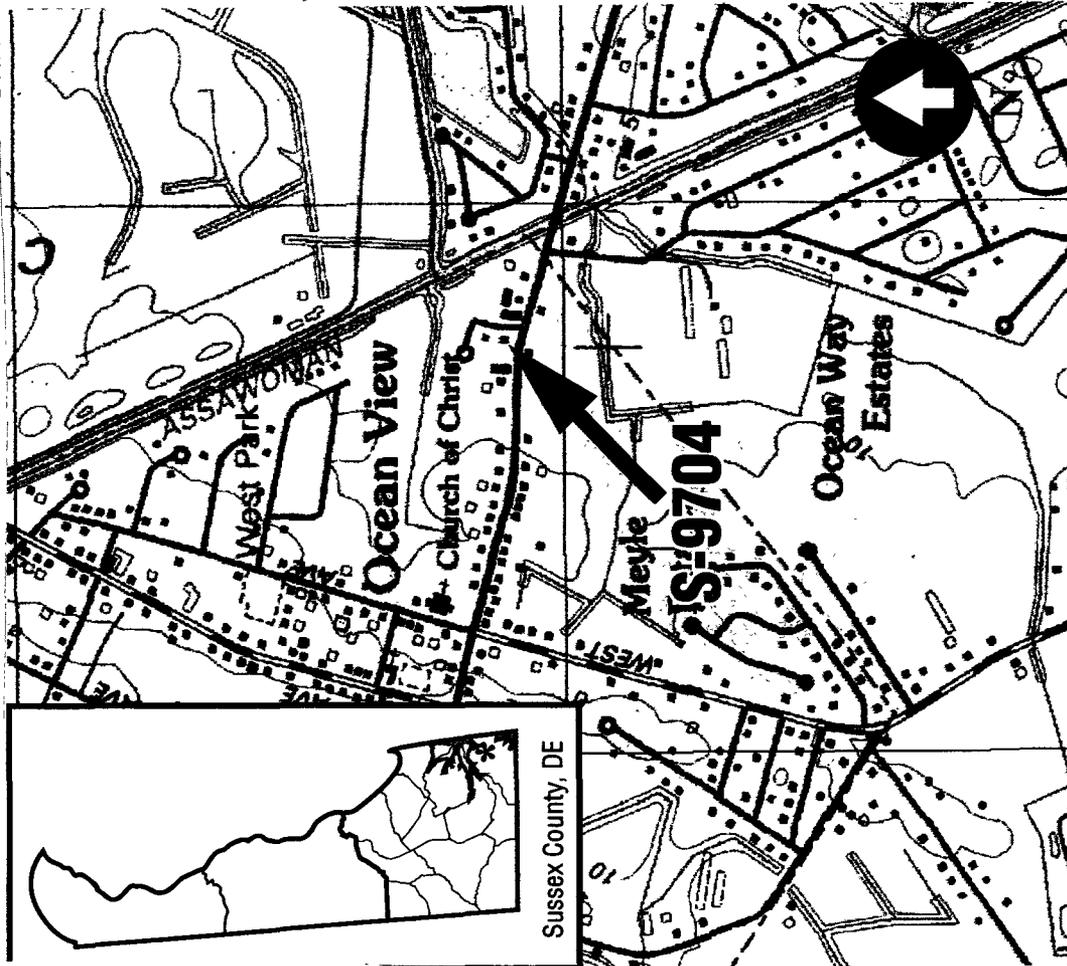




9. Location Map:

CRS #: S-9704

Please indicate position of resource in relation to geographical landmarks, such as streams and roads.



Indicate North on Sketch

Use Black Ink Only

10. Other Information: Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

This resource was evaluated in association with the federally funded Route 26 Road Improvement Project, initiated in Fall 1998 under contract number 99-112-01.

11. Comprehensive Planning:

- a) Time Period(s)  
Urbanization and Early Suburbanization: 1880-1940 +/-
- b) Historic Theme(s) Architecture

12. Evaluation: eligible: Yes  No  Potential  Unknown

- a) Area(s) of Significance
- b) NR Criteria

13. Certification:

Surveyor: Charles A. Richmond

Date: March 2002

PI: Francine Arnold

Date: March 2002



7. Description (cont'd):

f) Windows

Spacing Even, single and paired

Type Four-over-one Craftsman-style wood frame windows and fixed four-light wood windows

Trim Wood, simple

Shutters None

g) Door

Spacing Central

Type Wood panel with glazing

Trim Wood, simple

h) Porches

Location(s) Enclosed porch along rear (north) facade

Materials Asbestos

Supports Wood posts

Trim Plain

i) Interior details (if accessible)

Unknown

8. Sketch Plan of Building:

See attached site plan

Indicate North on Sketch

9. Surveyor: Charles A. Richmond Date of Form: March 2002

Use Black Ink Only

Architectural Description

The Sea Dogs Golf Property (Tax Parcel 1-34-13-1094.00) is a c. 1940 Bungalow style, one-and-a-half story, three-bay frame building currently used as a business. The property has a concrete block foundation and frame structural system. The façade includes an enclosed porch on concrete block piers with asbestos siding. Ribbon windows of four-over-one configuration are located along the enclosed porch. The building has a hipped roof with asphalt shingles and three dormers. Hipped roof dormers with paired four light windows are located along the south and west elevations. A continuous shed roof dormer is located along the east elevation and includes two sets of paired windows with four-over-one windows. The majority of windows throughout the building are four-over-one original windows with wood trim. Windows are evenly spaced with paired windows along the east and west elevation of the enclosed porch. Ribbon windows are located along the enclosed porch and bay section on the west elevation. A brick chimney is found on the interior slope of the north elevation.

This dwelling turned business is situated on the north side of Route 26 and is surrounded by modern commercial development including a paved parking lot immediately adjacent to the west, which detracts from the property's integrity of setting.

Determination of Eligibility

The Sea Dogs Golf Property (S-9704) is recommended not eligible for the National Register of Historic Places. This property would have sufficient integrity to contribute to a historic district if one were present; the most likely would be a potential Ocean View District. For the purposes of the Route 26 Road Improvement Project, a potential Ocean View District was considered and determined to be not eligible based on a lack of sufficient integrity within the APE for the project. However, Ocean View does not lack significance (it was the birthplace of the broiler chicken industry) and might contain an eligible district within a more widespread area of investigation; such an investigation was outside the scope of the Route 26 Road Improvement Project. As per the criteria set forth in the Regional Historic Context for Baltimore Hundred in the *Route 26 Eligibility Report*, potentially individually eligible bungalows within the Route 26 APE were evaluated on the basis of the seven aspects of integrity and exterior features only. Potentially eligible bungalows are anticipated to have broad, gently pitched gables, and to be one to one and one-half stories in height (usually without a full basement), with single, paired, and grouped windows. While many of the original bungalows were probably clad in local materials (such as cypress shingles) along Route 26, replacement siding over original covering may be acceptable, given the fact that the building maintains its original design, materials, workmanship and bungalow massing. Open or enclosed front and rear porches are integral components of a bungalow, and as such, potentially eligible bungalows should possess their original porches. These porches may be enclosed; however, infilled porches are usually not acceptable because they detract from the original bungalow form and design. Wide roof overhangs with exposed details such as rafter tails and knee-bracing may be seen in high-style bungalows; vernacular variations may also be seen (such as shallow roof overhangs). Whether a "higher-style" mail-order bungalow or a more vernacular version, potentially eligible bungalows should retain integrity of their original form. Replacement windows may be seen; however, the original fenestration should remain the same for potentially eligible bungalows. By the same token, potentially eligible bungalows should retain the original placement of doors, if not the original doors themselves. Changes in use do not

Section 12

Continuation Sheet: 2 of 2 (CRS-1)

CRS#: S-9704

automatically disqualify a bungalow from eligibility; however, a potentially eligible bungalow must still retain integrity and distinctive exterior stylistic elements that distinguish the bungalow form from other dwelling types in order to be eligible under Criterion C: embodying distinctive characteristics of the bungalow architectural form.

In the case of the Sea Dogs Golf Property, while it does exhibit the form and many characteristics of an eligible bungalow there are alterations that diminish this property's integrity. Alterations include the use of asbestos siding, the conversion of this property from a dwelling to a business, and the overall setting of the building now that it is surrounded by modern commercial development. Directly adjacent to the property to the west and east are paved parking lots serving the nearby businesses. This property is not associated with an event of importance, nor is it representative of a pattern of events or historic trends (Criterion A). The Sea Dogs Golf Property is not affiliated with any persons important to local, state or national history (Criterion B). While this property still possesses characteristics of its Bungalow style (such as wood sash windows), it is not exemplary of a given time period or method of construction, nor is it known to represent the work of a master architect (Criterion C). Owing to prior ground disturbance, there is little probability that new information will result from any archaeological testing performed in the vicinity of the property (Criterion D).

Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



Indicate North on Sketch

Surveyor: McCormick, Taylor & Associates, Inc.

Date of Form: March 2002

Use Black Ink Only

	BUILDING 50 YEARS OLD OR OLDER
	BUILDING LESS THAN 50 YEARS OLD
	TAX PARCEL BOUNDARY

