

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Property Identification Form

CRS # S-9765
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage 2.47 acres

1. Name of Property: Charles Cole, Jr. Property (Tax Parcel 1-34-12-43.00)

2. Street Location: Northeast corner of Route 26 and White's Neck Road intersection

3. Owner's Name: Charles Cole, Jr. Tel. #: _____

Address: P.O. Box 930, Ocean View, DE 19970

4. Type of Resource(s): building: structure: site:
object: district:

5. Surroundings: (check more than one, if necessary)

fallow field: cultivated field: woodland:
scattered buildings: structure: site:

6. Function: original Residence present Residence

7. List Additional Forms Used:

Main Building Form (CRS-2)

Related Outbuilding Form (3) (CRS-3)

8. Surveyor: Elizabeth C. Harvey/Katie M. Post Tel. #: 215.592.4200

Organization: McCormick, Taylor & Associates, Inc. Date: March 2002

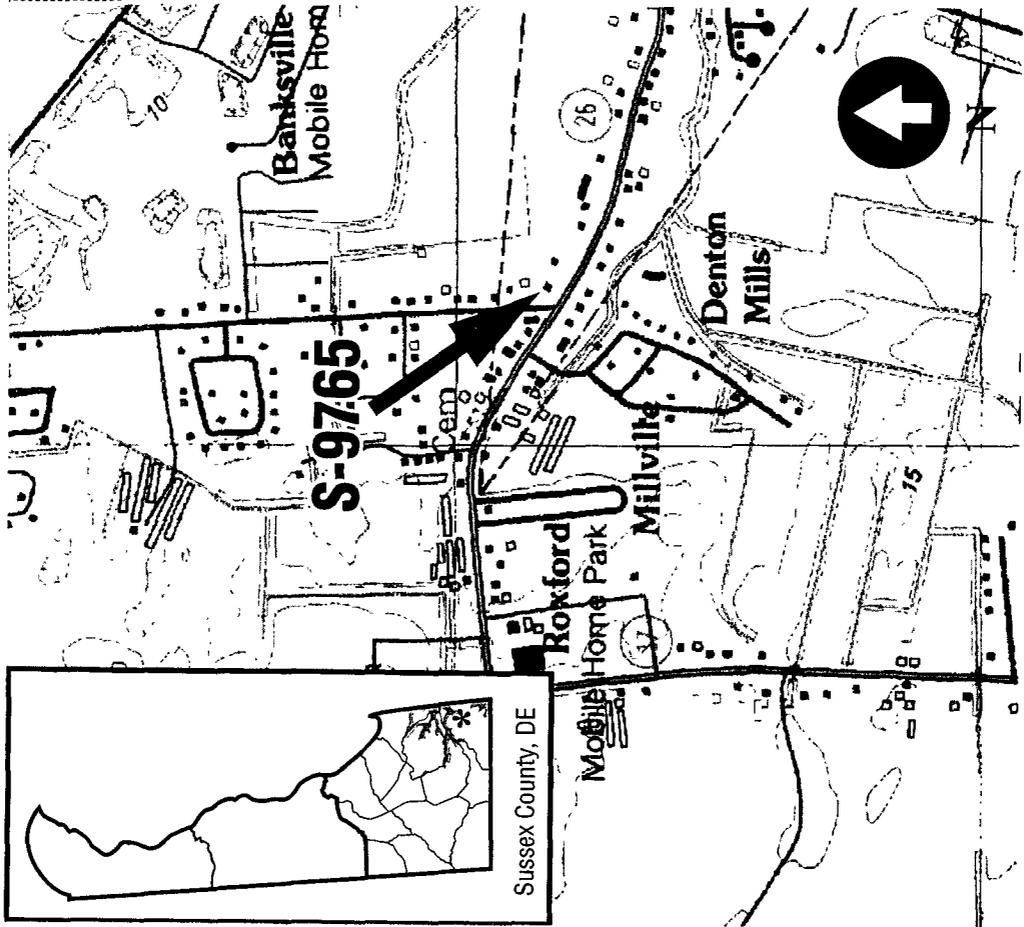
Address: Two Commerce Square, 2001 Market Street, 10th Floor, Philadelphia, PA 19103

Use Black Ink Only

9. Location Map:

CRS #: S-9765

Please indicate position of resource in relation to geographical landmarks, such as streams and roads.



Indicate North on Sketch

Use Black Ink Only

10. Other Information: Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

This resource was evaluated in association the federally funded Route 26 Road Improvement Project initiated under Contract 99-112-01 in Fall 1998. The residence is located on the northeast corner of Route 26 and White's Neck Road intersection. This Bungalow was constructed c. 1945.

11. Comprehensive Planning:

- a) Time Period(s) 1940-1960 +/-
Suburbanization and Early Ex-Urbanization
- b) Historic Theme(s) Architecture, Engineering, and Decorative Arts

12. Evaluation: eligible: Yes No Potential Unknown

- a) Area(s) of Significance
- b) NR Criteria

13. Certification:

Surveyor: Elizabeth C. Harvey/Katie M. Post
PI: Francine Arnold

Date: March 2002
Date: March 2002

CRS-1

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Main Building Form

CRS # S-9765
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage 2.47 acres

1. Address of Property: Northeast corner of Route 26 and White's Neck Road intersection (Tax Parcel 1-34-12-43.00)

2. Date of Initial Construction: c. 1945

3. Floor Plan/Style: Compound Plan/Bungalow

4. Architect/Builder: Unknown

5. Integrity: Original Site? Yes Moved? No

If moved, when and from where? _____

List major alterations and dates (if known) _____

6. Current Condition: excellent: good
fair poor

7. Describe the resource as completely as possible:

a) Overall Shape Rectangular with additions at rear (north)

Stories 1 1/2

Bays 5

Wings Enclosed porch to east and west of main block

b) Structural System Wood frame

c) Foundation

Materials Concrete block

Basement Yes

d) Exterior Walls (modern over original)

Materials Asbestos shingle

Color(s) Red

e) Roof

Shape; materials Cross gable and jerkinhead; asphalt shingle

Cornice Wood eave with raking

Dormers N/A

Chimney location(s) Off-center interior chimney

Use Black Ink Only

7. Description (cont'd):

f) Windows

Spacing Symmetrical

Type Wood 6/1 sash with wood frames

Trim

Shutters Wood shutters on main (south) facade

g) Door

Spacing Central entrance

Type Single-leaf entrance with aluminum and glazed door

Trim Single-light sidelights flank entrance

h) Porches

Location(s) Enclosed porch to east and west of main house

Materials Asbestos shingle and wood

Supports

Trim

i) Interior details (if accessible)

Access not available at time of survey on March 21, 2002.

8. Sketch Plan of Building:



Indicate North on Sketch

9. Surveyor: Elizabeth C. Harvey/Katie M. Post Date of Form: March 2002

Use Black Ink Only

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Related Outbuilding Form

CRS # S-9765
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage 2.47 acres

1. Address of Property: Northeast corner of Route 26 and White's Neck Road intersection (Tax Parcel 1-34-12-43.00)
2. Function: Contemporary metal storage shed
3. Date: c. 1980
4. Stylistic Features: Corrugated metal shed with front gable roof
5. Architect/Builder: Unknown
6. Description:
 - a) Structural System Metal frame

 - b) Wall Coverings Corrugated metal

 - c) Wall Openings
Windows
Doors Single-leaf vehicular entrance with metal rolling door on south facade
Other

 - d) Foundation Concrete slab

 - e) Roof
Structural system Metal frame
Coverings Corrugated metal
Openings

 - f) Interiors
Floor Plan Open
Partition/Walls
Interior Finish
Furnishings/Machinery

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.

See attached site plan

Indicate North on Sketch

8. Surveyor: Elizabeth C. Harvey/Katie M. Post

Date of Form: March 2002

Use Black Ink Only

CRS-3

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Related Outbuilding Form

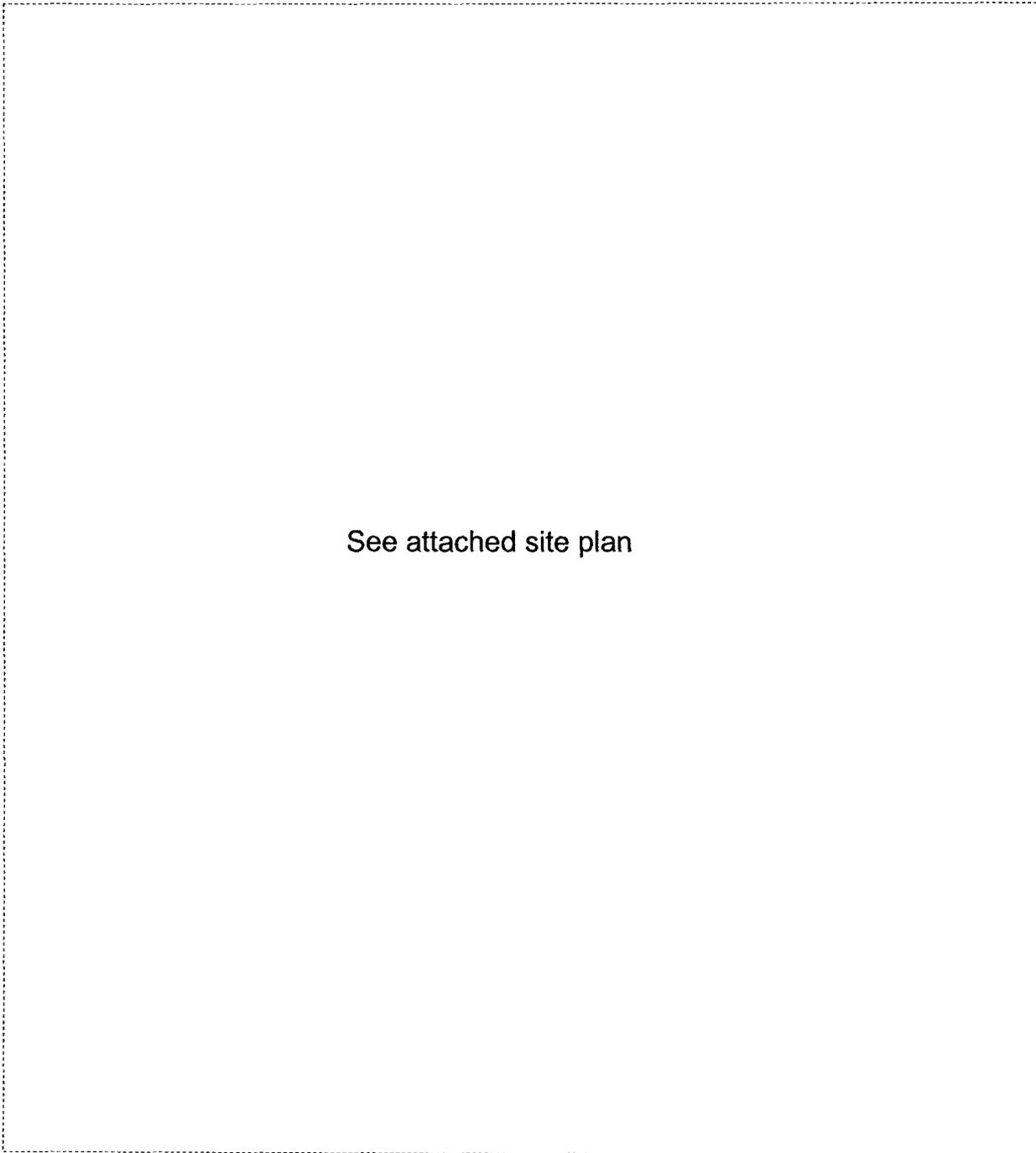
CRS # S-9765
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage 2.47 acres

1. Address of Property: Northeast corner of Route 26 and White's Neck Road intersection (Tax Parcel 1-34-12-43.00)
2. Function: Garage
3. Date: c. 1945
4. Stylistic Features: Two-bay garage with side gable roof
5. Architect/Builder: Unknown
6. Description:
 - a) Structural System Wood frame
 - b) Wall Coverings Asbestos shingle
 - c) Wall Openings
 - Windows Wood 6/6 sash
 - Doors Two vehicular entrances with rolling doors on west facade
 - Other
 - d) Foundation Concrete slab
 - e) Roof
 - Structural system Wood frame
 - Coverings Asbestos shingle
 - Openings
 - f) Interiors
 - Floor Plan Open
 - Partition/Walls
 - Interior Finish
 - Furnishings/Machinery

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



See attached site plan

Indicate North on Sketch

8. Surveyor: Elizabeth C. Harvey/Katie M. Post

Date of Form: March 2002

Use Black Ink Only

CRS-3

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Related Outbuilding Form

CRS # S-9765
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage 2.47 acres

1. Address of Property: Northeast corner of Route 26 and White's Neck Road intersection (Tax Parcel 1-34-12-43.00)
2. Function: Equipment Shed
3. Date: c. 1945
4. Stylistic Features: One-story shed with front gable roof
5. Architect/Builder: Unknown
6. Description:
 - a) Structural System Wood frame
 - b) Wall Coverings Asbestos shingle
 - c) Wall Openings
 - Windows Wood 6/6 sash with wood frame on east facade
 - Doors Single-bay vehicular entrance on south facade; pedestrian entrance on west facade
 - Other
 - d) Foundation Concrete slab
 - e) Roof
 - Structural system Wood frame
 - Coverings Asphalt shingle
 - Openings
 - f) Interiors
 - Floor Plan Open
 - Partition/Walls
 - Interior Finish
 - Furnishings/Machinery

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.

See attached site plan

Indicate North on Sketch

8. Surveyor: Elizabeth C. Harvey/Katie M. Post

Date of Form: March 2002

Use Black Ink Only

CRS-3

Bungalow Style

The following general description of the Bungalow style is summarized from the Route 26 Eligibility Study (March 2002, Revised July 2003; pp. 23-25).

Bungalow designs were available from mail order catalogues and homeowners could select the latest styles of pre-fabricated homes available from companies such as Sears, Roebuck and Company. Popular from roughly 1890 to 1940, bungalows integrated high-style suburban architecture with traditional rural forms. Some rural bungalows were sited on small lots near the side of the road with sidewalks leading to the front doors whereas others were part of a larger agricultural complex. While the rural bungalow frequently featured a cypress shingle exterior and a low-pitched roof terminating in deep overhung eaves supported by simple brackets on a full-width front porch, the owners stopped short of fully transforming the interior space.

Because bungalows were thought of as being particularly "American" in style, they can be found with Colonial, Classical, Shingle, and Spanish influences, as well as with regional vernacular variations. Prototype bungalows tend to have a roof sweeping over a verandah or porch. It also tends to be one or one and one-half stories; if it does have a second floor, it is usually characterized by a shed or gable-roof dormer. Bungalows along Route 26 may have been sheathed originally in wood shingles given the fact that cypress and other wood shingles were produced locally in the Cypress Swamp. Rafter, ridge beams, and purlins typically extend beyond the wall and roof junction in bungalows, and windows are likely to be sash or casements with many lights or single panes of glass that may be found singularly, paired, or grouped.

Although consciously correct Craftsman-style bungalows flourished in urban areas, distinctive and vernacular versions survive in greater numbers along Route 26. Eligible bungalows should retain their original form and be evaluated on the basis of the seven aspects of integrity and exterior features only. They should be one to one and one-half stories usually without a full basement and have broad, gently pitched gables. Replacement siding may be acceptable. Open or enclosed front and rear porches are integral components; enclosed porches may be screened in but not infilled to retain integrity. Wide roof overhangs with exposed details such as rafter tails and knee-bracing may be seen in high-style bungalows; vernacular variations may also be seen, such as shallow roof overhangs. Replacement windows and doors may be seen but the fenestration pattern should remain original. The original placement of the main entrance should be present. Changes in use do not automatically disqualify a bungalow from eligibility; however, an eligible bungalow must still retain integrity and distinctive exterior stylistic elements that distinguish its form from other dwelling types to be eligible under Criterion C.

Architectural Description

The Charles Cole, Jr. Property (Tax Parcel 1-34-12-43.00) is a one-story, five-bay, asbestos shingle-clad, bungalow with an asphalt-shingle jerkinhead and cross-gable roof. The main (south) façade has a central single-leaf entrance with a peaked roof overhang and an aluminum and glazed door. Wood 6/1 windows with wood shutters flank the entrance. A brick central chimney rises from the roof line. To the east is a one-story addition with a flat roof; it has a 1/1 window and a double-leaf entrance with glazed doors. To the west is an enclosed porch with a flat roof and elongated wood 1/1 windows. The

east façade features four 1/1 windows in the addition and a louvered opening in the gable peak. The west façade features tripartite sets of elongated wood 1/1 windows in the enclosed porch and a louvered opening in the gable peak.

To the east of the house is a one-story, one-bay, contemporary, corrugated metal garage. The main (south) façade has a one-bay vehicular entrance with a metal roll down door. The east and west facades are unadorned.

To the south of the house is a one-story, two-bay, asbestos-clad, garage with an asphalt-shingle side-gable roof. The main (west) façade features a two-bay vehicular entrance with roll down doors. An addition to the garage features 1/1 windows with wood shutters.

To the southwest of the house is a one-story, one-bay, asbestos shingle-clad equipment shed with an asphalt-shingle front-gable roof. The main (south) façade has a one-bay vehicular entrance with a roll-down door. On the east façade there is a wood 6/6 window; on the west façade there is a single-leaf entrance with a wood paneled and glazed door.

Determination of Eligibility

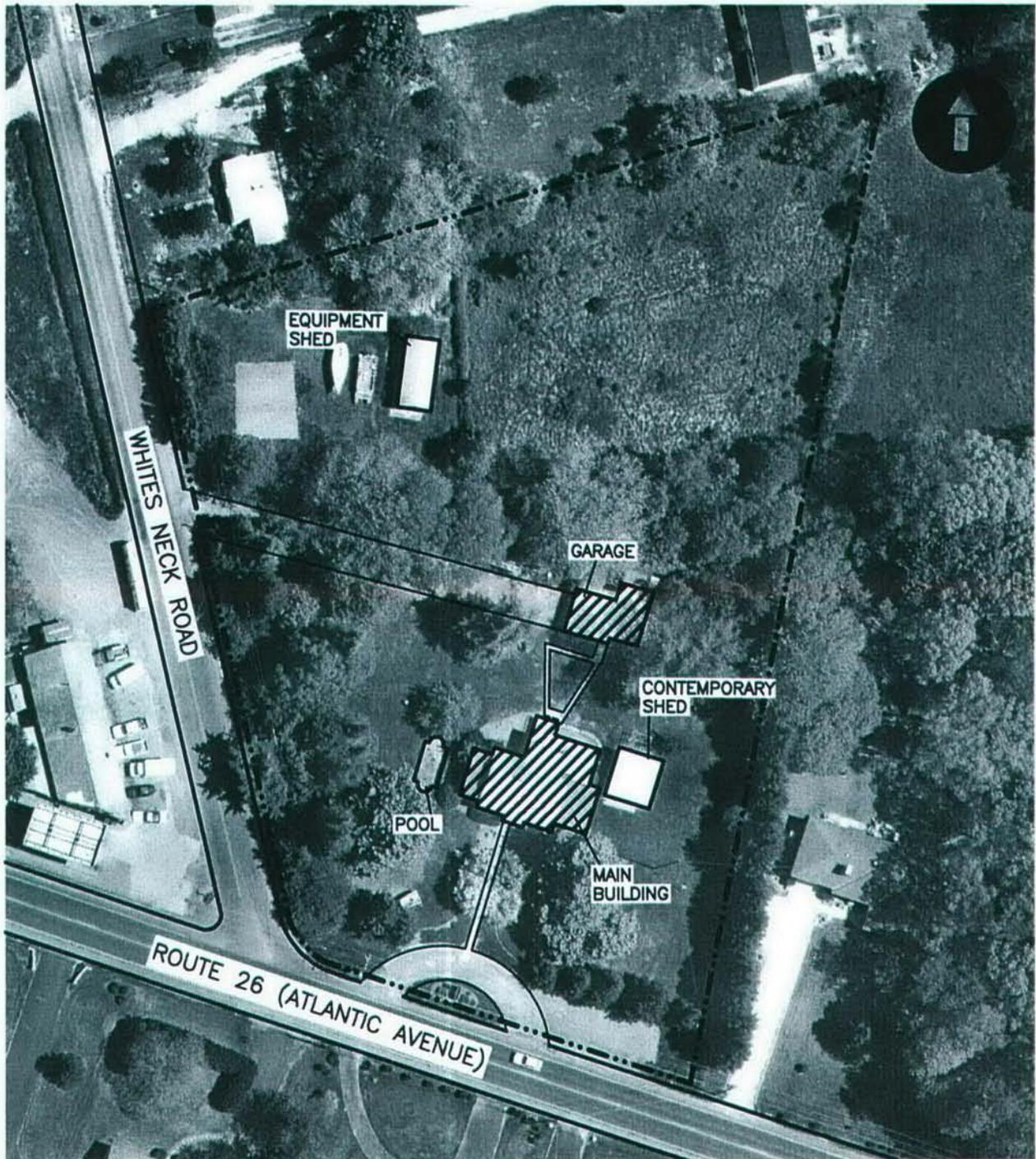
When considering the four eligibility criteria and the seven attributes of integrity, the Charles Cole, Jr. Property (S-9765) is recommended not eligible for the National Register of Historic Places. The property is not associated with an event of importance, nor is it representative of a pattern of events or historic trends (Criterion A). The property is not affiliated with any persons important to local, state, or national history (Criterion B). The main building is not distinctive of its style or method of construction, nor is it known to represent the work of a master architect or builder (Criterion C). Owing to prior ground disturbance, there is little probability that new information will result from any archaeological testing performed in the vicinity of the property (Criterion D). While the location of the property has been maintained and its association as a residential property been maintained, other attributes have been compromised. For example, the setting has been changed by the addition of a large, contemporary garage adjacent to the main house; the design has been altered by porch additions to the east and west; and the feeling has been compromised by increased development along Route 26. The asbestos shingles have obscured the original facing and workmanship of the main building.

Section 8

CRS # S-9765

Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



Indicate North on Sketch

Surveyor: McCormick, Taylor & Associates, Inc.

Date of Form: March 2002

Use Black Ink Only

	BUILDING 50 YEARS OLD OR OLDER
	BUILDING LESS THAN 50 YEARS OLD
	TAX PARCEL BOUNDARY

**Delaware State Historic Preservation Office
Photographic Inventory**

CRS# S-9765 Date March 2002 Contact # C-10 Surveyor Elizabeth
Harvey/
Katie Post

Description (30) Elevation, facing north; (31) Lateral view, facing northwest; (32) Lateral
view, facing northwest; (33) Lateral view, facing southwest

Negative Location (if other than SHPO) MTA-PHL

Attach contact print(s):



**Delaware State Historic Preservation Office
Photographic Inventory**

CRS# S-9765 Date March 2002 Contact # C-10 Surveyor Elizabeth
Harvey/
Katie Post

Description (34) Lateral view, facing east; (35) Garage, facing northeast; (36) Garage,
facing northwest

Negative Location (if other than SHPO) MTA-PHL

Attach contact print(s):



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Property Identification Form

CRS # S-9764
SPO Mar 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage 1.5 acres

1. Name of Property: Horace and Doris Zook Property (Tax Parcel 1-34-12-48-00)

2. Street Location: North side of Route 26, west of Railway Road

3. Owner's Name: Horace and Doris Zook Tel. #: _____

Address: 4306 Briggs Chaney Road, Beltsville, MD 20705

4. Type of Resource(s): building: structure: site:
object: district:

5. Surroundings: (check more than one, if necessary)

fallow field: cultivated field: woodland:
scattered buildings: structure: site:

6. Function: original Commercial present Commercial

7. List Additional Forms Used:

Main Building (CRS-2)

Related Outbuilding (CRS-3) (2)

8. Surveyor: Elizabeth C. Harvey/Katie M. Post Tel. #: 215.592.4200

Organization: McCormick, Taylor & Associates, Inc. Date: March 2002

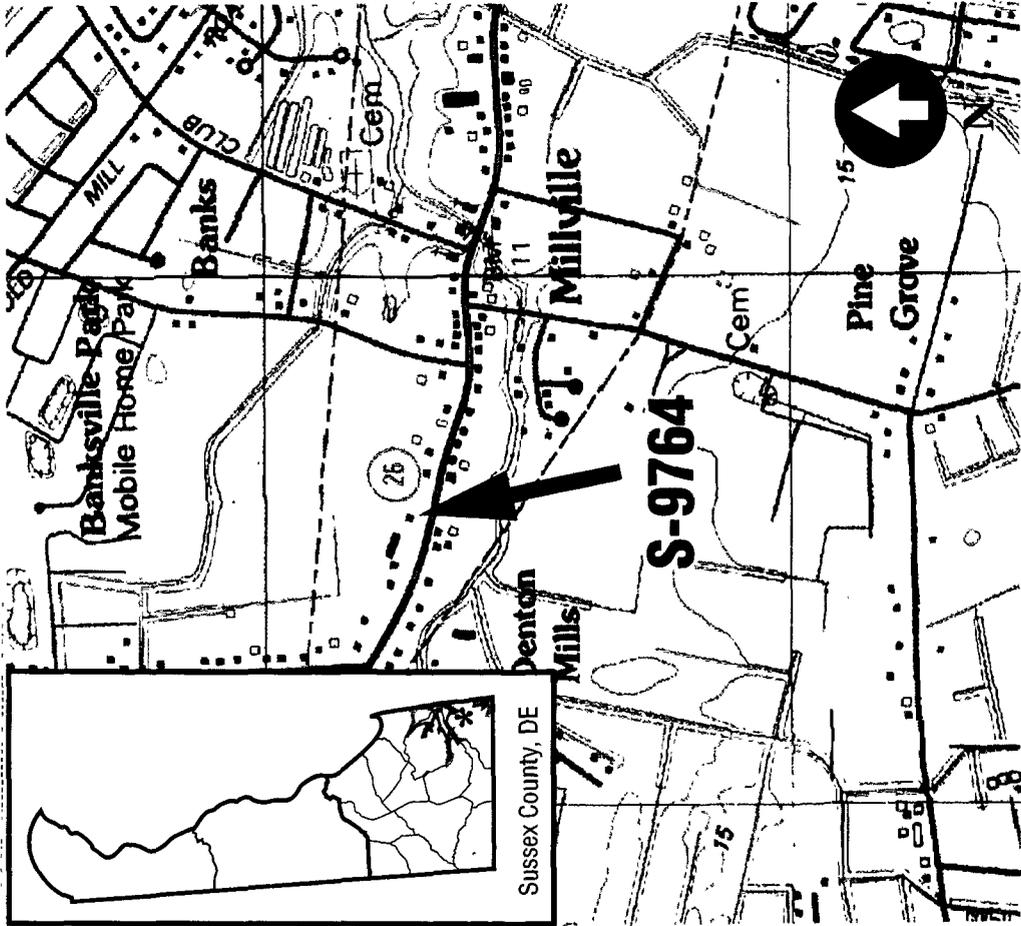
Address: Two Commerce Square, 2001 Market Street, 10th Floor, Philadelphia, PA 19103

Use Black Ink Only

9. Location Map:

CRS #: S-9764

Please indicate position of resource in relation to geographical landmarks, such as streams and roads.



Indicate North on Sketch

Use Black Ink Only

10. Other Information: Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

This resource was evaluated in association with the federally funded Route 26 Road Improvement Project initiated under Contract 99-112-01 in Fall 1998. This commercial building is situated on the north side of Route 26, west of Railway Road. The property has been home to a laundromat, car wash, and currently a landscape business.

11. Comprehensive Planning:

- a) Time Period(s) 1880-1940 +/-
Urbanization and Early Suburbanization
- b) Historic Theme(s) Retailing/Wholesaling

12. Evaluation: eligible: Yes No Potential Unknown

- a) Area(s) of Significance
- b) NR Criteria

13. Certification:

Surveyor: Elizabeth C. Harvey/Katie M. Post

Date: March 2002

PI: Francine Arnold

Date: March 2002

CRS-1

7. Description (cont'd):

f) Windows

Spacing Irregular

Type Awning

Trim Wood

Shutters N/A

g) Door

Spacing N/A

Type

Trim

h) Porches

Location(s) N/A

Materials

Supports

Trim

i) Interior details (if accessible)

8. Sketch Plan of Building:

See attached site plan

Indicate North on Sketch

9. Surveyor: Elizabeth C. Harvey/Katie M. Post Date of Form: March 2002

Use Black Ink Only

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Related Outbuilding Form

CRS # S-9764
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage 1.5 acres

1. Address of Property: North side of Route 26, west of Railway Road (Tax Parcel 1-34-12-48.00)
2. Function: Commercial
3. Date: c. 1985
4. Stylistic Features: Hipped roof/wood shingle-clad contemporary building
5. Architect/Builder: Unknown
6. Description:
 - a) Structural System Wood
 - b) Wall Coverings Wood shingle
 - c) Wall Openings
 - Windows Single and paired vinyl 1/1
 - Doors Two pedestrian entrances with glazed doors
 - Other
 - d) Foundation Concrete block
 - e) Roof
 - Structural system Frame
 - Coverings Asphalt shingle
 - Openings N/A
 - f) Interiors
 - Floor Plan
 - Partition/Walls
 - Interior Finish
 - Furnishings/Machinery

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.

See attached site plan

Indicate North on Sketch

8. Surveyor: Elizabeth C. Harvey/Katie M. Post

Date of Form: March 2002

Use Black Ink Only

CRS-3

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Related Outbuilding Form

CRS # S-9764
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage 1.5 acres

1. Address of Property: North side of Route 26, west of Railway Road (Tax Parcel 1-34-12-48.00)
2. Function: Garage
3. Date: c. 1990
4. Stylistic Features: Side gable structure with vehicular entrance
5. Architect/Builder: Unknown
6. Description:
 - a) Structural System Metal frame

 - b) Wall Coverings Aluminum

 - c) Wall Openings
Windows Vinyl 1/1
Doors Vehicular entrance with paneled metal door; single-leaf pedestrian entrance with metal door
Other

 - d) Foundation Concrete block

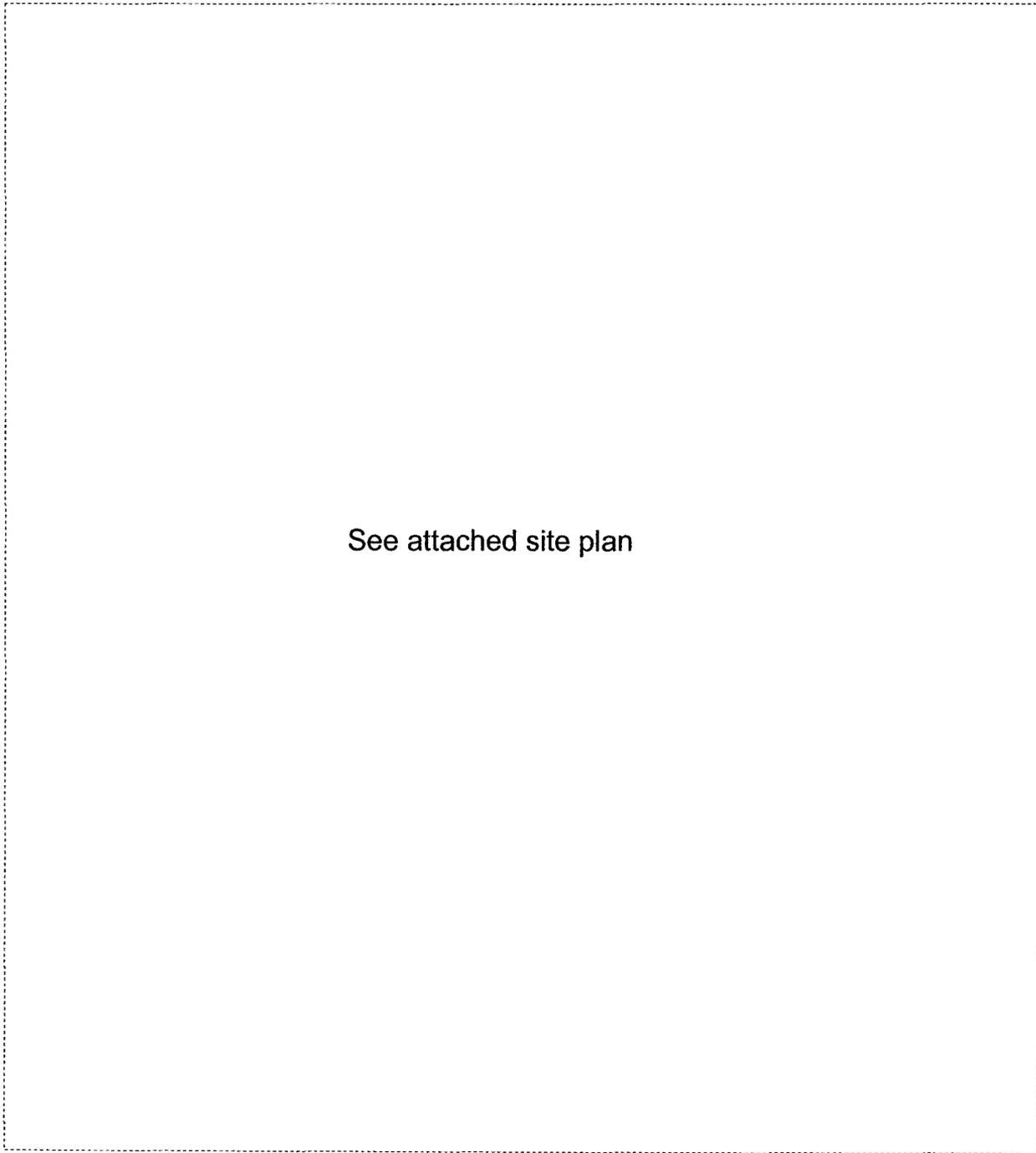
 - e) Roof
Structural system Metal frame
Coverings Asphalt shingle
Openings N/A

 - f) Interiors
Floor Plan Open
Partition/Walls
Interior Finish
Furnishings/Machinery

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



See attached site plan

Indicate North on Sketch

8. Surveyor: Elizabeth C. Harvey/Katie M. Post

Date of Form: March 2002

Use Black Ink Only

CRS-3

Architectural Description

The Horace and Doris Zook Building (Tax Parcel 1-34-12-48.00) is a one-story, concrete block, vernacular commercial building with multiple front gables. It has two- and three-light awning windows. Attached to its south façade is a two-story, three-bay, wood shake shingle-clad building with a hipped roof. The second floor of the main (south) façade has vinyl 1/1 windows. The first floor of the main (south) façade has a one-story, six-bay, permastone-clad addition with a pent roof; it has two single-leaf pedestrian entrances with glazed doors and single and paired vinyl 1/1 windows.

Determination of Eligibility

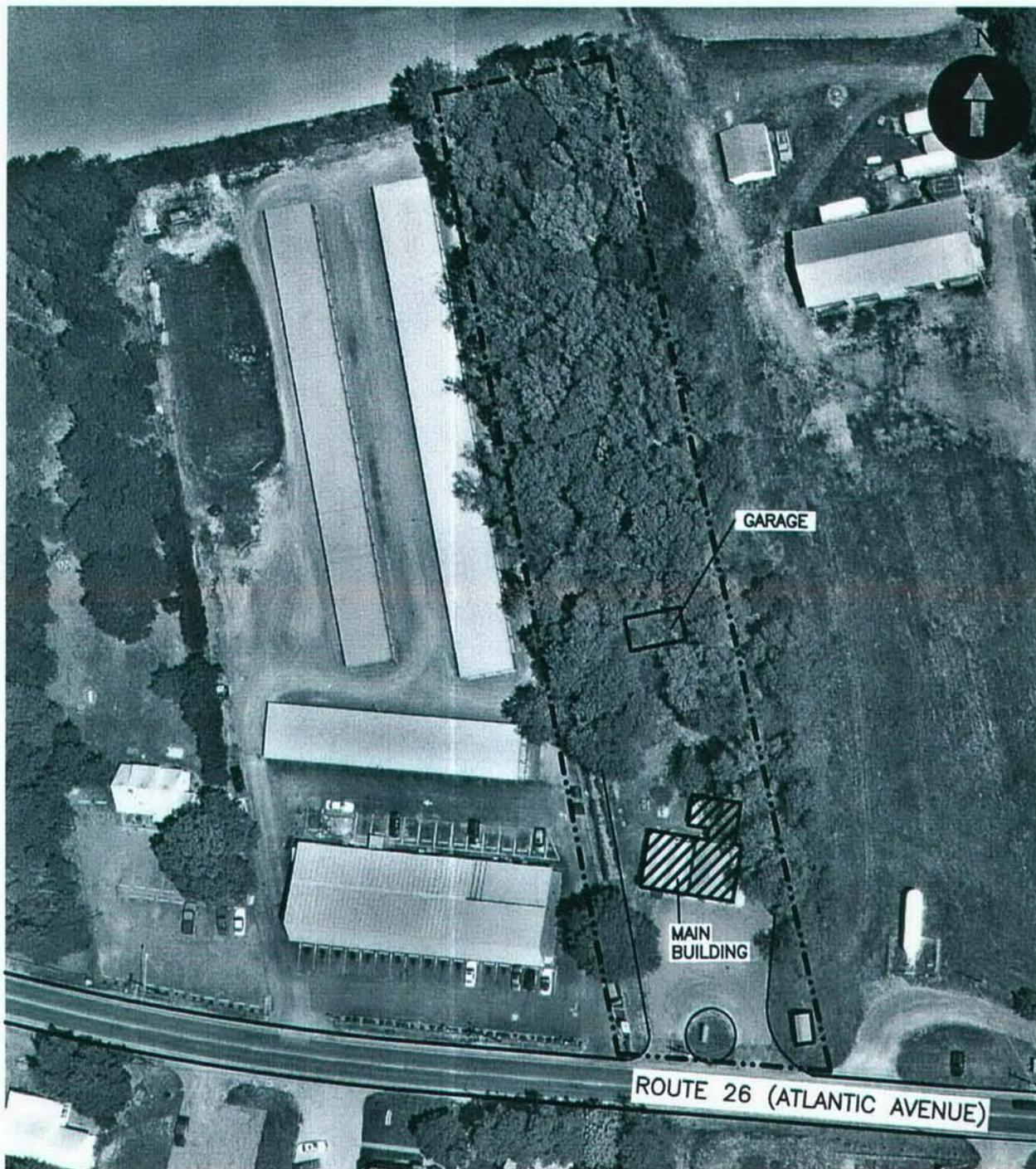
When considering the four eligibility criteria and the seven attributes of integrity, the Horace and Doris Zook Property (S-9764) is recommended not eligible for the National Register of Historic Places. This property is not associated with an event of importance, nor is it representative of a pattern of events or historic trends (Criterion A). The property is not affiliated with any persons important to local, state, or national history (Criterion B). While the main building may be notable for its multi-gabled roofline and its bowing concrete block, it is not distinctive of its style or method of construction, nor is it known to represent the work of a master architect or builder (Criterion C). Owing to prior ground disturbance, there is little probability that new information will result from any archaeological testing performed in the vicinity of the property (Criterion D). While the main building has maintained integrity of location and association as a commercial entity, other attributes have been compromised. For example, the setting and design have been highly altered by the addition of a two-story commercial/residential building to the street façade; a large contemporary garage also lies adjacent to it. The feeling of the property has been altered by the increased development along Route 26. Materials remain largely in tact except for the infilled or replacement windows; the workmanship remains evident.

Section 8

CRS # S-9764

Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



Indicate North on Sketch

Surveyor: McCormick, Taylor & Associates, Inc.

Date of Form: March 2002

Use Black Ink Only

	BUILDING 50 YEARS OLD OR OLDER
	BUILDING LESS THAN 50 YEARS OLD
	TAX PARCEL BOUNDARY

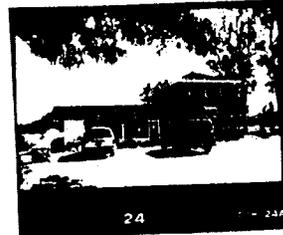
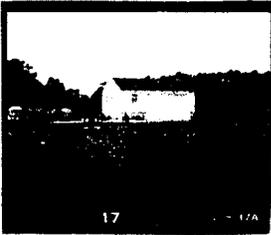
Delaware State Historic Preservation Office
Photographic Inventory

CRS# S-9764 Date March 2002 Contact # C-14 Surveyor Elizabeth
Harvey/
Katie Post

Description (17) Garage, looking northeast (23) Lateral view, facing northwest; (24)
Elevation, facing north; (25) Rear and side facades, looking southeast from
driveway

Negative Location (if other than SHPO) MTA-PHL

Attach contact print(s):



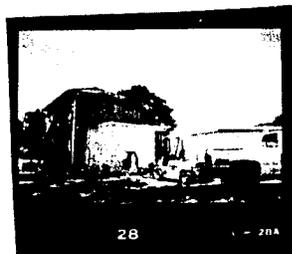
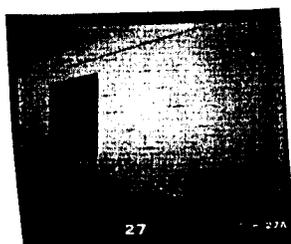
Delaware State Historic Preservation Office
Photographic Inventory

CRS# S-9764 Date March 2002 Contact # C-14 Surveyor Elizabeth
Harvey/
Katie Post

Description (26) Looking east from driveway; (27) Wall detail, looking east; (28) Looking
southwest at side facade

Negative Location (if other than SHPO) MTA-PHL

Attach contact print(s):



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Property Identification Form

CRS # S-9763
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage Approx. 1 acre

1. Name of Property: Atlantic Auction Company, Inc. Property (Tax Parcel 1-34-12-35.00)

2. Street Location: North side of Route 26, west of Railway Road

3. Owner's Name: Atlantic Auction Co., Inc Tel. #: _____

Address: P.O. Box 281, Ocean View, DE 19970

4. Type of Resource(s): building: structure: site:
object: district:

5. Surroundings: (check more than one, if necessary)

fallow field: cultivated field: woodland:
scattered buildings: structure: site:

6. Function: original Storage present Storage

7. List Additional Forms Used:

Main Building Form (CRS-2)

Related Outbuilding Form (2) (CRS-3)

8. Surveyor: Elizabeth C. Harvey Tel. #: 215.592.4200

Organization: McCormick, Taylor & Associates, Inc. Date: March 2002

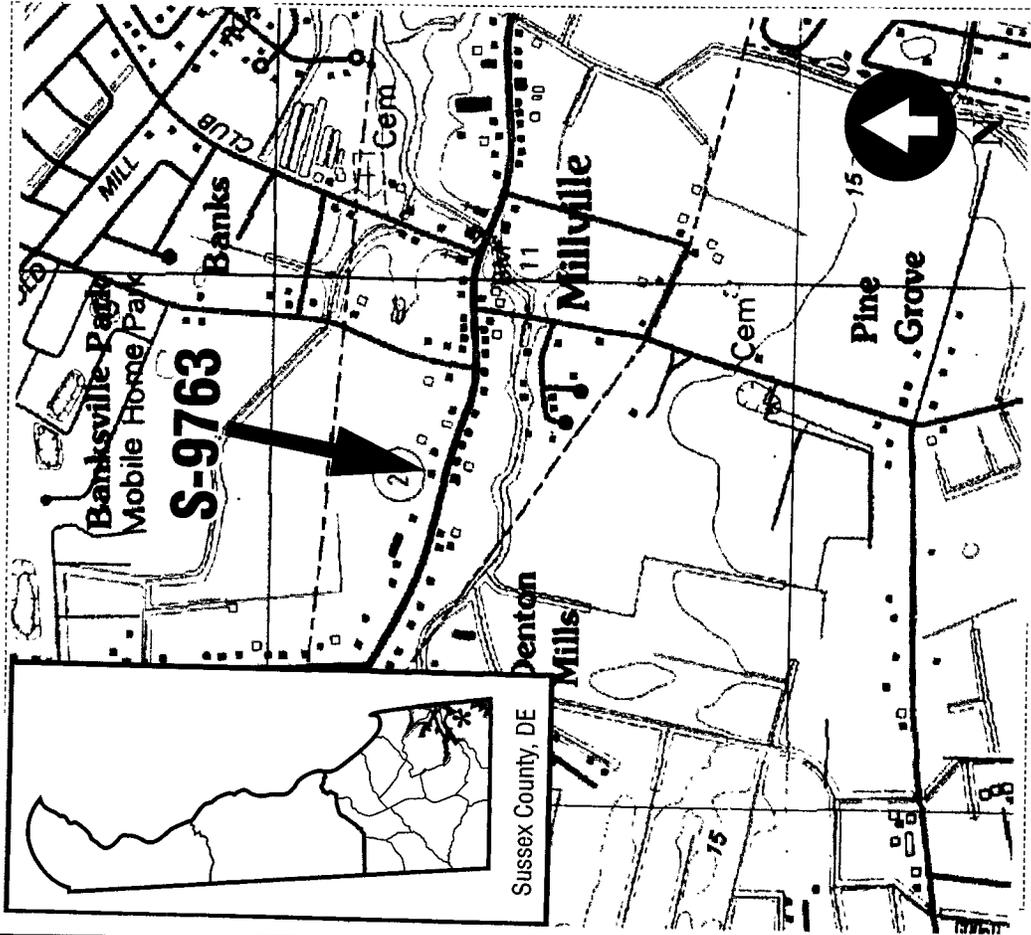
Address: Two Commerce Square, 2001 Market Street, 10th Floor, Philadelphia, PA 19103

Use Black Ink Only

9. Location Map:

CRS #: S-9763

Please indicate position of resource in relation to geographical landmarks, such as streams and roads.



Indicate North on Sketch

Use Black Ink Only

10. Other Information: Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

This resource was evaluated in association with the federally funded Route 26 Road Improvement Project initiated under Contract 99-112-01 in Fall 1998. This commercial building is situated on the north side of Route 26, west of Railway Road. It was constructed c. 1900, and appears to have been used for storage.

11. Comprehensive Planning:

- a) Time Period(s) 1880-1940 +/-
Urbanization and Early Suburbanization
- b) Historic Theme(s) Agriculture

12. Evaluation: eligible: Yes No Potential Unknown

- a) Area(s) of Significance
- b) NR Criteria

13. Certification:

Surveyor: Elizabeth C. Harvey/Katie M. Post

Date: March 2002

PI: Francine Arnold

Date: March 2002

CRS-1

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Main Building Form

CRS # S-9763
SPO Map 20-21-02
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage Approx. 1 acre

1. Address of Property: North side of Route 26, west of Railway Road (Tax Parcel 1-34-12-35.00)
2. Date of Initial Construction: c. 1900
3. Floor Plan/Style: Simple Plan/Vernacular
4. Architect/Builder: Unknown
5. Integrity: Original Site? Unknown Moved? _____
If moved, when and from where? The brick piers on which this stands suggests it may have been moved.
List major alterations and dates (if known) _____
6. Current Condition: excellent: good
fair poor
7. Describe the resource as completely as possible:
 - a) Overall Shape Rectangular
Stories 1 1/2
Bays 3 wide
Wings _____
 - b) Structural System Wood frame
 - c) Foundation
Materials Brick piers
Basement No
 - d) Exterior Walls (modern over original)
Materials Weatherboard
Color(s) White
 - e) Roof
Shape; materials Front gable
Cornice Wood box
Dormers _____
Chimney location(s) Remnant of interior end brick chimney at north end

Use Black Ink Only

7. Description (cont'd):

f) Windows

Spacing Regular

Type Wood paired 1/1 on main (south) facade; openings sealed in gable on north and south facades

Trim Wood

Shutters No

g) Door

Spacing Central entrance on main (south) facade

Type Single-leaf entrance with wood door

Trim

h) Porches

Location(s)

Materials

Supports

Trim

i) Interior details (if accessible)

Interior not accessible at time of survey on March 21, 2002.

8. Sketch Plan of Building:



Indicate North on Sketch

9. Surveyor: Elizabeth C. Harvey/Katie M. Post Date of Form: March 2002

Use Black Ink Only

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Related Outbuilding Form

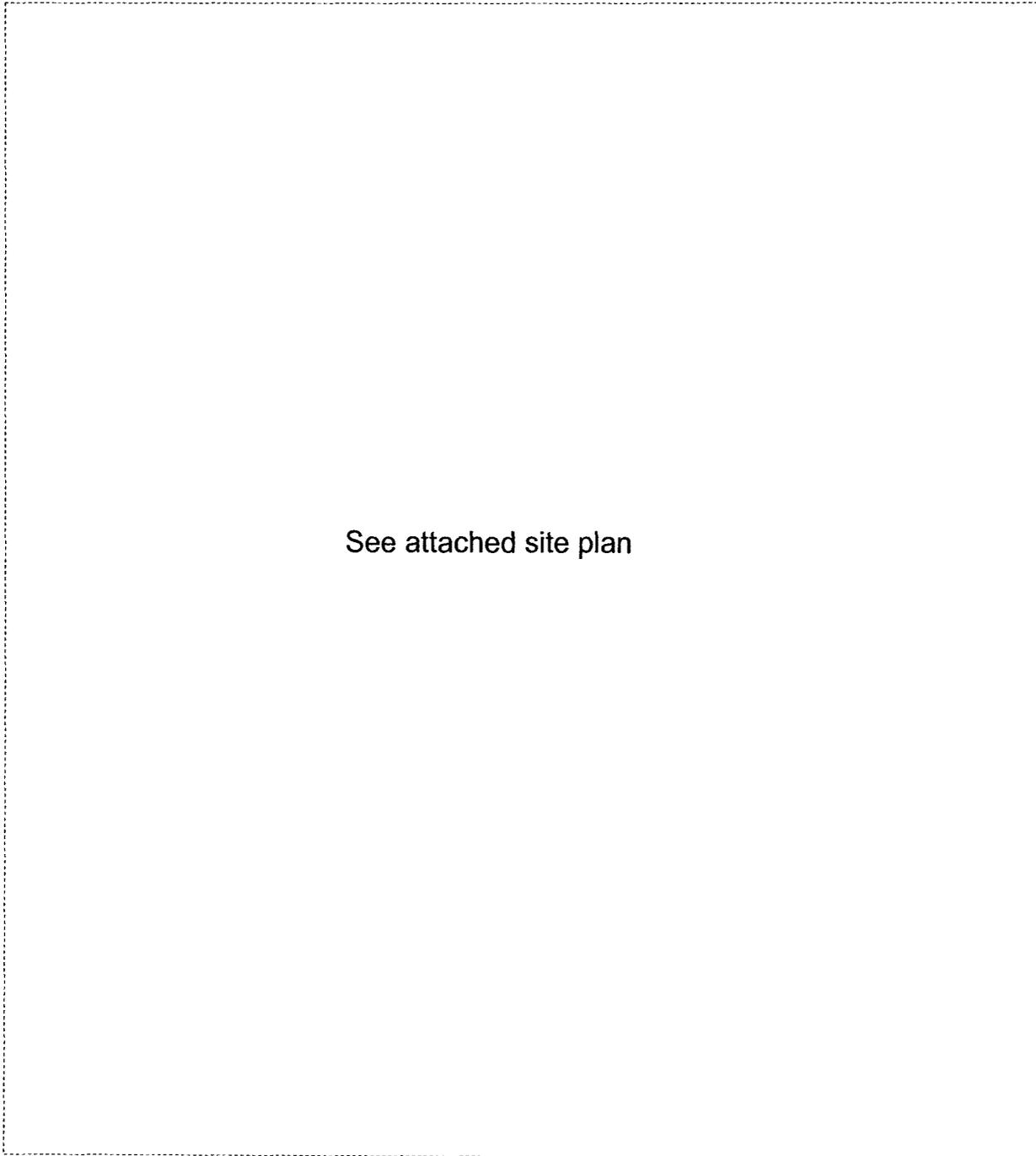
CRS # S-9673
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage Approx. 1 acre

1. Address of Property: North side of Route 26, west of Railway Road
2. Function: Garage
3. Date: c. 1980
4. Stylistic Features: One-story structure with side gable roof
5. Architect/Builder: Unknown
6. Description:
 - a) Structural System Metal frame
 - b) Wall Coverings Metal
 - c) Wall Openings
 - Windows
 - Doors Pedestrian entrance on north facade; vehicular entrance on east facade
 - Other
 - d) Foundation Concrete slab
 - e) Roof
 - Structural system Metal frame
 - Coverings Asphalt shingle
 - Openings
 - f) Interiors
 - Floor Plan Open
 - Partition/Walls
 - Interior Finish
 - Furnishings/Machinery

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



See attached site plan

Indicate North on Sketch

8. Surveyor: Elizabeth C. Harvey/Katie M. Post

Date of Form: March 2002

Use Black Ink Only

CRS-3

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

Cultural Resource Survey
Related Outbuilding Form

CRS # S-9673
SPO Map 20-21-07
Hundred Baltimore
Quad Bethany Beach
Zone Coastal
Acreage Approx. 1 acre

1. Address of Property: North side of Route 26, west of Railway Road
2. Function: Shed/Office Complex
3. Date: c. 1980
4. Stylistic Features: One-story structure with side gable roof; 3 pre-fab sheds with gambrel roofs
5. Architect/Builder: Unknown
6. Description:
 - a) Structural System Metal frame

 - b) Wall Coverings Metal

 - c) Wall Openings
Windows
Doors Pedestrian entrance on east facade; vehicular entrance on east and west facades
Other

 - d) Foundation Concrete block

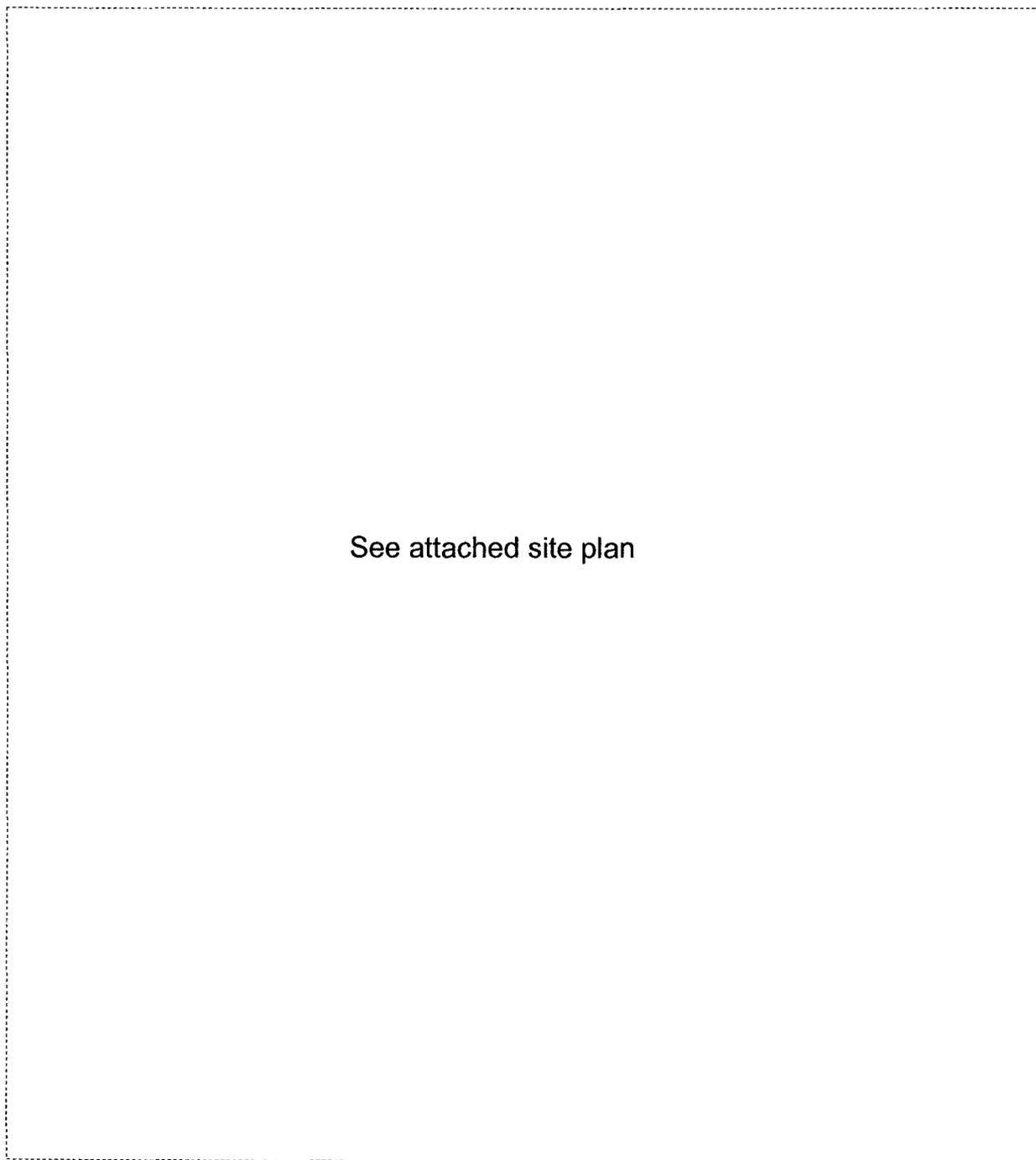
 - e) Roof
Structural system Metal frame
Coverings Standing seam metal
Openings

 - f) Interiors
Floor Plan Open
Partition/Walls
Interior Finish
Furnishings/Machinery

Use Black Ink Only

7. Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.



See attached site plan

Indicate North on Sketch

8. Surveyor: Elizabeth C. Harvey/Katie M. Post

Date of Form: March 2002

Use Black Ink Only

CRS-3

Architectural Description

The Atlantic Auction Company, Inc. Property (Tax Parcel 1-34-12-35.00) is a one and one-half story, three-bay, weatherboard-clad building with an asbestos-shingle front-gable roof. The main (south) façade has a central entrance. To its west is a paired wood 1/1 window; to its east is a boarded up window opening. In the gable peak there are two boarded openings. The west façade has a painted advertisement reading: "Paul's Sand & Gravel/ASPHALT PAVING/Driveways & Parking Lots/Stone-Fill Dirt/302.539.9123 Ocean View." The rear (north) façade has a central single-leaf entrance with a wood door; there are two boarded openings in the gable peak.

To the north of the main building there is a one and one-half story, one-bay, aluminum-clad, contemporary garage with a metal front-gable roof. The main façade features a single-bay vehicular entrance with a metal roll-down door.

Adjacent to the contemporary garage there are three prefabricated sheds with gambrel roofs.

Determination of Eligibility

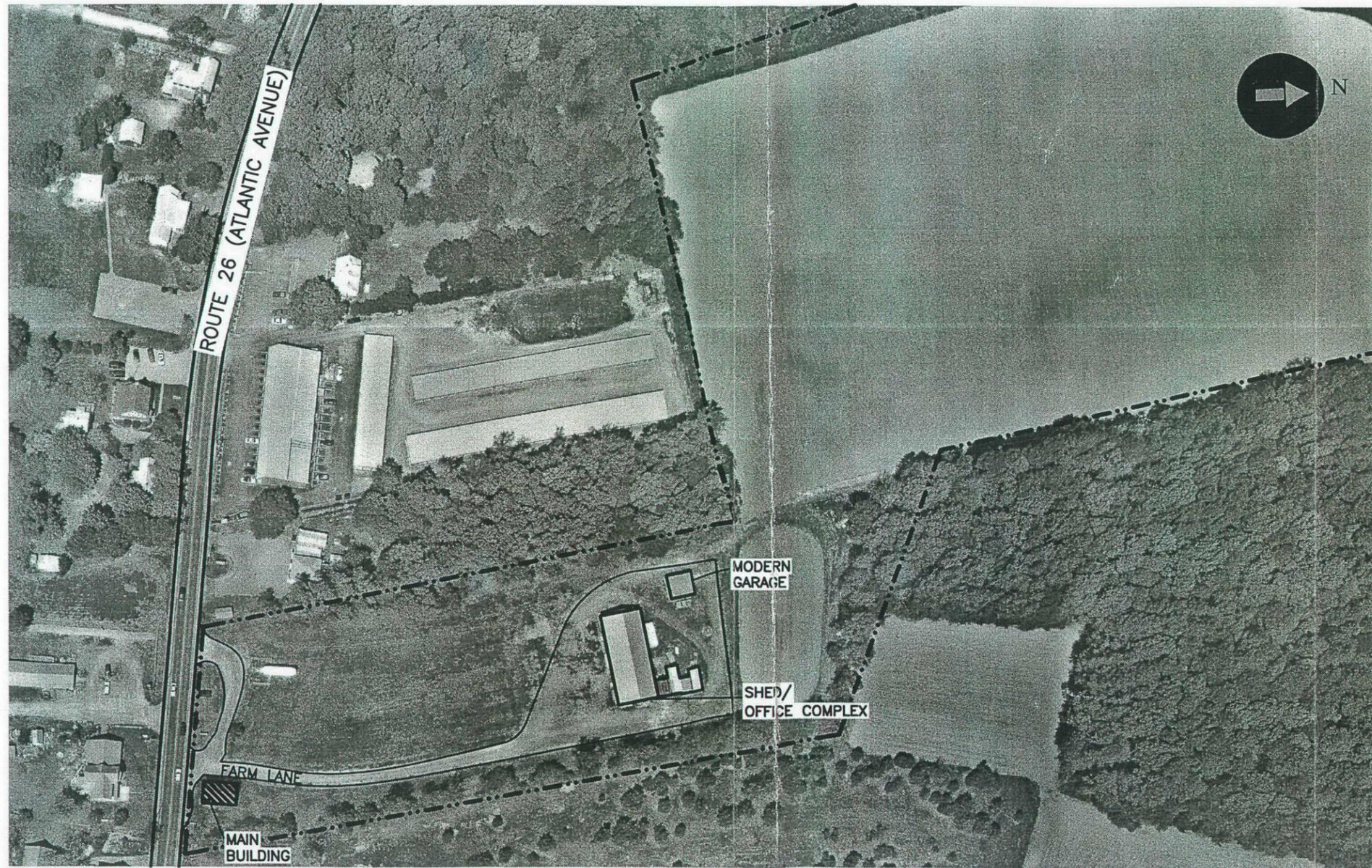
When considering the four eligibility criteria and the seven attributes of integrity, the Atlantic Auction Company Inc. Property (S-9763) is recommended not eligible for the National Register of Historic Places. This property is not associated with an event of importance, nor is it representative of a pattern of events or historic trends (Criterion A). The property is not affiliated with any persons important to local, state, or national history (Criterion B). The main building is not distinctive of its style or method of construction, nor is it known to represent the work of a master architect or builder (Criterion C). Owing to prior ground disturbance, there is little probability that new information will result from any archaeological testing performed in the vicinity of the property (Criterion D). The main building has maintained integrity of design and feeling; however, other attributes have been compromised. It is not certain whether this property has been moved from another location; the setting has been altered by a large contemporary vehicular storage building; and the association has been compromised inasmuch as the building now lies vacant. The materials have not been altered and the workmanship remains evident; however, the materials are suffering owing to neglect.

Section 8

Sketch Plan:

Show relationship to main building and provide sketch plan of outbuilding.

CRS # S-9763



*

* ENTIRE PARCEL NOT SHOWN DUE TO LACK OF AERIAL COVERAGE

Indicate North on Sketch

Surveyor: McCormick, Taylor & Associates, Inc.

Date of Form: March 2002 Use Black Ink Only

	BUILDING 50 YEARS OLD OR OLDER
	BUILDING LESS THAN 50 YEARS OLD
	TAX PARCEL BOUNDARY

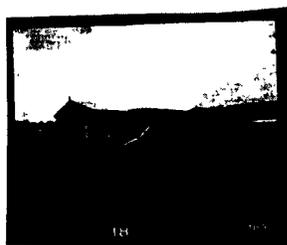
**Delaware State Historic Preservation Office
Photographic Inventory**

CRS# S-9763 Date March 2002 Contact # C-9; C-14 Surveyor Elizabeth Harvey/
Katie Post

Description C-9: (13) Outbuilding, facing northeast; (14) Outbuilding, facing southwest
C-14: (18) Sheds, looking west; (19) Sheds, looking west

Negative Location (if other than SHPO) MTA-PHL

Attach contact print(s):



**Delaware State Historic Preservation Office
Photographic Inventory**

CRS# S-9763 Date March 2002 Contact # C-14 Surveyor Elizabeth Harvey/
Katie Post

Description (20) Sheds, looking west; (21) Rear detail of sheds, looking east; (22) Context,
looking southeast

Negative Location (if other than SHPO) MTA-PHL

Attach contact print(s):

