

APPENDIX A
CULTURAL RESOURCE SURVEY FORMS



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6990
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .20

1. NAME OF PROPERTY: David Coker House

2. STREET LOCATION: 556 Greenhill Road

3. OWNER'S NAME: David Coker TEL. #: _____

ADDRESS: 556 Greenhill Road, Dover, Delaware 19901

4. TYPE OF RESOURCE(S): building structure _____ site _____ object _____
district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____ scattered buildings _____

densely built up other: _____

6. FUNCTION: original _____ Single Dwelling present Single Dwelling

7. LIST ADDITIONAL FORMS USED:

CRS-2: Main Building Form

8. SURVEYOR: Eric F. Griffitts TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # K-6990

Please indicate position of resource in relation to geographical landmarks such as streams and roads.

N →

K-6990



Dupont Highway

INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

A. The dwelling is located in Dover along the U.S. Route 13/113 corridor, a mid- to late twentieth-century, heavily commercialized roadway.

C. The David Coker House is a one-story minimal traditional house constructed in 1948. It has a concrete foundation, asbestos shingled walls, an interior brick chimney, and an asphalt shingle-clad side-gable roof. The windows are two-over-two double-hung wood-sash units. A side-gable addition, located south of the dwelling's main block, is attached to the house via a side-gable hyphen. The addition has a concrete foundation, asbestos shingled walls, and one-over-one double-hung wood windows. Vinyl siding clads the east elevations of both the addition and the hyphen.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Architecture, Engineering, and Decorative Arts - minimal traditional dwelling property type

12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

- a) Area(s) of significance

- b) NR criteria

13. CERTIFICATION:

Surveyor: Eric J. Duff Date February 2001

PI: Eric J. Duff Date February 2001

CRS-1



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # K-6990
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .20

1. ADDRESS OF PROPERTY: 556 Greenhill Road

2. DATE OF INITIAL CONSTRUCTION: 1948

3. FLOOR PLAN/STYLE: Minimal Traditional

4. ARCHITECT/BUILDER: Unknown

5. INTEGRITY: original site moved

if moved, when and from where _____

list major alterations and dates (if known) Side-gable addition and hyphen added to south

elevation.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape Rectangular
stories 1
bays
wings 1

b) Structural system Wood-frame

c) Foundation Concrete
materials
basement

d) Exterior walls (modern over original)
materials Asbestos shingle
color(s) White

e) Roof
shape; materials Side-gabled clad with asphalt shingles
cornice
dormers
chimney location(s) One interior brick chimney

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # K-6990

f) Windows

spacing	Irregular
type	Two-over-two double-hung wood
trim	
shutters	

g) Door

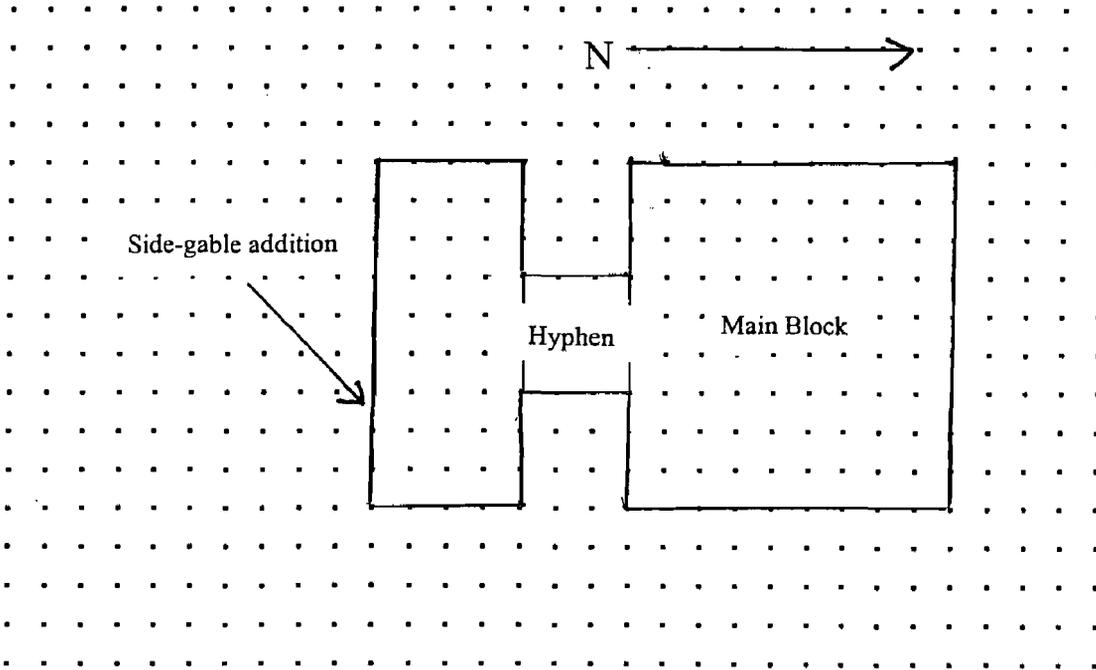
spacing	Center of elevation
type	Paneled wood with four-light fanlight
trim	Wood molding

h) Porches

location(s)	
materials	
supports	
trim	

i) Interior details (if accessible)

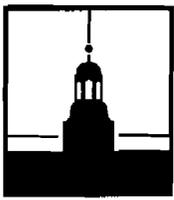
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: Eric F. Griffitts DATE OF FORM: January 2001

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6991
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .20

1. NAME OF PROPERTY: Lawton House

2. STREET LOCATION: 555 Greenhill Road

3. OWNER'S NAME: Clifford and Elizabeth Lawton TEL. #: _____

ADDRESS: 555 Greenhill Road, Dover, Delaware 19901

4. TYPE OF RESOURCE(S): building structure _____ site _____ object _____
district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____ scattered buildings _____
densely built up other: _____

6. FUNCTION: original _____ Single Dwelling _____ present _____ Single Dwelling _____

7. LIST ADDITIONAL FORMS USED:

CRS-2: Main Building Form

8. SURVEYOR: Eric F. Griffitts TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

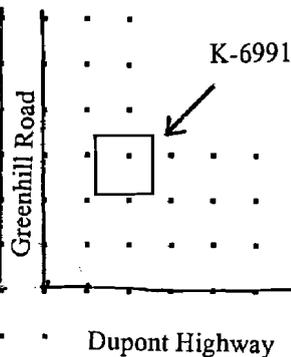
ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

D. LOCATION MAP:

CRS # K-6991

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

A. The dwelling is located in Dover along the U.S. Route 13/113 corridor, a mid- to late twentieth-century, heavily commercialized roadway.

C. The Lawton House is located on a 0.20-acre parcel immediately southwest of Greenhill Road's intersection with U.S. Route 13/113. The house, constructed in 1951, is a one-story minimal traditional dwelling. It has a concrete block foundation coated with stucco, aluminum siding, an interior brick chimney, and an asphalt shingle-clad side-gable roof. A front-gabled bay extends from the elevation east of the main entrance. A side-gable enclosed porch extends from the east elevation and contains four-light metal ribbon windows.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Architecture, Engineering, and Decorative Arts - minimal traditional dwelling property type

12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria

13. CERTIFICATION:

Surveyor: Eric J. Druff Date February 2001

PI: Eric J. Druff Date February 2001



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # K-6991
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .20

1. ADDRESS OF PROPERTY: 555 Greenhill Road

2. DATE OF INITIAL CONSTRUCTION: 1951

3. FLOOR PLAN/STYLE: Minimal Traditional

4. ARCHITECT/BUILDER: Unknown

5. INTEGRITY: original site moved
if moved, when and from where _____
list major alterations and dates (if known) Dwelling is clad with aluminum siding.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape Rectangular
stories 1
bays
wings Front-gabled projecting bay on west side of building.

b) Structural system Wood-frame

c) Foundation Solid
materials Concrete block coated with stucco
basement

d) Exterior walls (modern over original)
materials Aluminum siding over weatherboard
color(s) White

e) Roof
shape; materials Side-gabled; clad with asphalt shingles
cornice
dormers
chimney location(s) One interior brick chimney

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

f) Windows

spacing Irregular
type Two-over-two double-hung wood
trim
shutters

g) Door

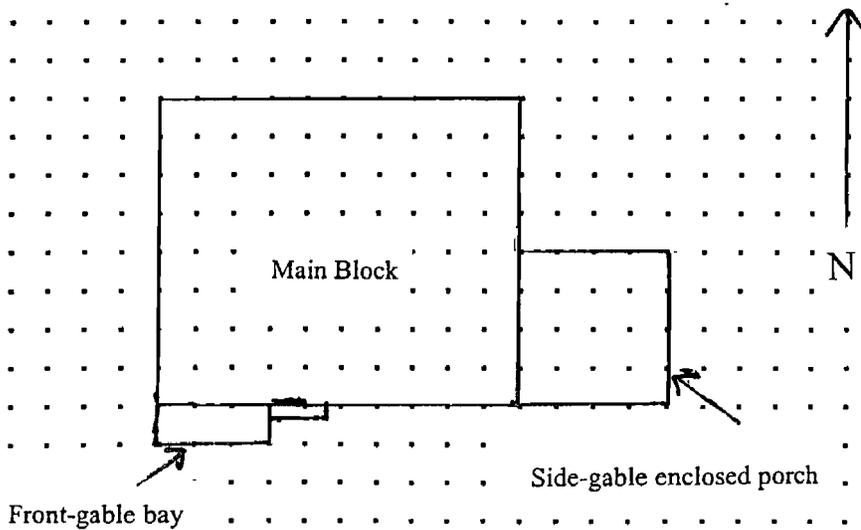
spacing
type Four-light paneled wood door
trim Wood molding

h) Porches

location(s) Side-gabled enclosed sun porch on east elevation
materials Has four-light metal ribbon windows
supports
trim

i) Interior details (if accessible)

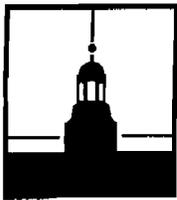
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: Eric F. Griffitts DATE OF FORM: January 2001

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6992
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage 1.9

1. NAME OF PROPERTY: Edgehill Shopping Center

2. STREET LOCATION: U.S. Route 13, North of Loockerman Street

3. OWNER'S NAME: Dover Reality TEL. #: _____

ADDRESS: P.O. Box 836, Dover, Delaware 19903

4. TYPE OF RESOURCE(S): building structure _____ site _____ object _____
district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____ scattered buildings _____

densely built up other: _____

6. FUNCTION: original _____ Commercial _____ present Commercial

7. LIST ADDITIONAL FORMS USED:

CRS-2: Main Building Form

8. SURVEYOR: Eric F. Griffiths TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

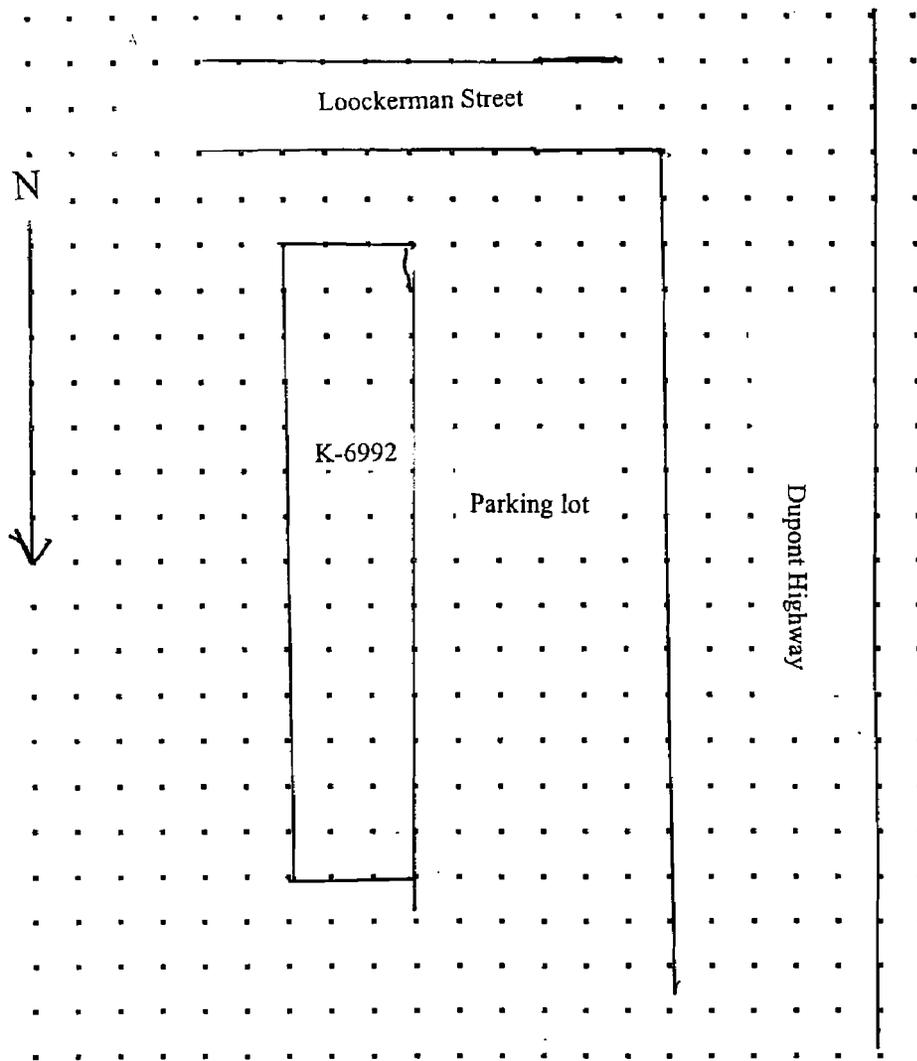
ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

LOCATION MAP:

CRS # K-6992

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

A. The building is located in Dover along the U.S. Route 13/113 corridor, a mid- to late twentieth-century, heavily commercialized roadway.

C. The Edgehill Shopping Center is a one-story, flat-roof, concrete block building which currently houses many businesses. The building consists of a center block with two wings and a brick veneer-clad west (front) elevation with a paneled wood awning. The center block has a projecting bay on the west (front) elevation and a small tower clad with wood paneling which extends from the roof. A one-story wing extends north from the center bay. The second wing extends south from the center block.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Retailing and Wholesaling - Shopping Center property type

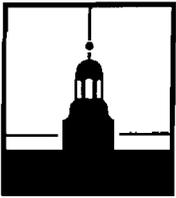
12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria Building has been extensively altered with post-1950 additions and lacks sufficient integrity.

13. CERTIFICATION:

Surveyor: Eric J. Duffett Date February 2001

PI: Eric J. Duffett Date February 2001



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # K-6992
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage 1.9

1. ADDRESS OF PROPERTY: N. Dupont Highway (U.S. Route 13), North of Loockerman Street

2. DATE OF INITIAL CONSTRUCTION: Circa 1950

3. FLOOR PLAN/STYLE: Modern Commercial

4. ARCHITECT/BUILDER: Unknown

5. INTEGRITY: original site moved

if moved, when and from where _____

list major alterations and dates (if known) Brick veneer and paneled wood awning added to front
(west) elevation.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape Rectangular
stories 1
bays
wings 2

b) Structural system Masonry

c) Foundation Masonry
materials Concrete block
basement None

d) Exterior walls (modern over original)
materials Concrete block with brick veneer on front elevation
color(s) Red

e) Roof
shape; materials Flat roof with paneled wood awning
cornice
dormers
chimney location(s)

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # K-6992

f) Windows

spacing Irregular
type One-light metal
trim
shutters

g) Door

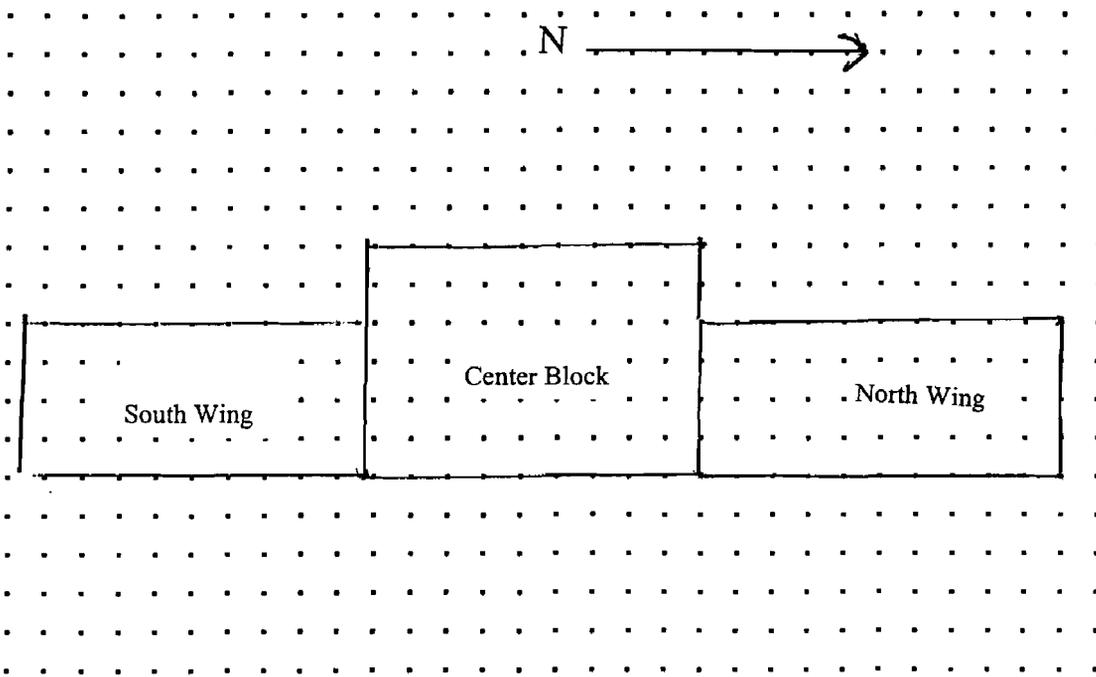
spacing Irregular
type Multiple metal-frame glass doors
trim

h) Porches

location(s)
materials
supports
trim

i) Interior details (if accessible)

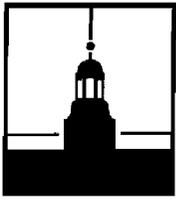
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: Eric F. Griffitts DATE OF FORM: January 2001

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6993
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .96

1. NAME OF PROPERTY: Armiger's Auto Center

2. STREET LOCATION: N. Dupont Highway, north of White Oak Road

3. OWNER'S NAME: Jay E. and Jared E. Armiger TEL. #: _____

ADDRESS: 2 Canal Lane, Seaford, Delaware 19973

4. TYPE OF RESOURCE(S): building structure _____ site _____ object _____
district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____ scattered buildings _____

densely built up other: _____

6. FUNCTION: original _____ Commercial _____ present Commercial _____

7. LIST ADDITIONAL FORMS USED:

CRS-2: Main Building Form

8. SURVEYOR: Eric F. Griffiths TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

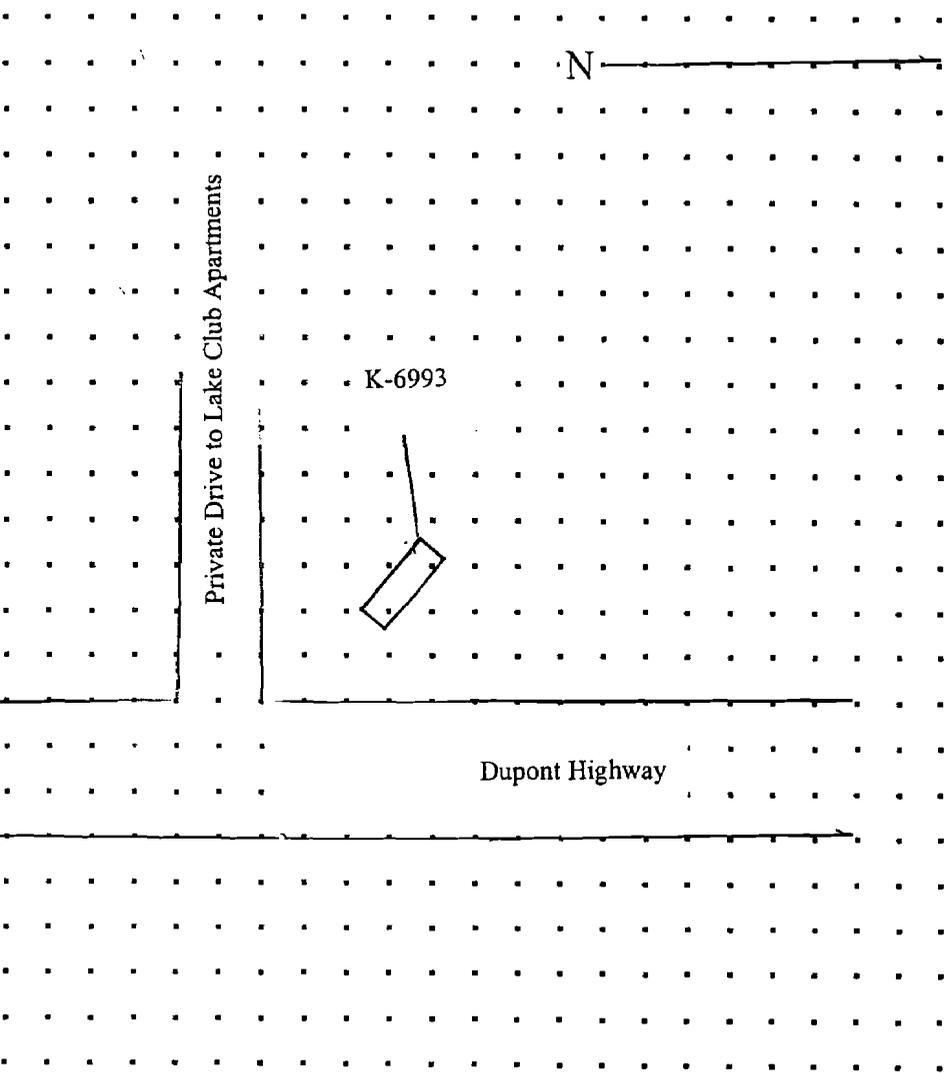
ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # K-6993

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

A. The auto center is located in Dover along the U.S. Route 13/113 corridor, a mid- to late twentieth-century, heavily commercialized roadway.

C. Armiger's Auto Center is a service station constructed circa 1950. It is a one-story wood-frame building with vertical wood paneled walls and a flat roof with wide overhanging eaves. The windows are one-light metal sliding units. The eastern half of the building consists of a small office, and the western half contains two vehicle bays. The north (front) elevation has a metal-frame glass door leading into the office. The garage bays have 12-light metal overhead doors. An oriel window is located on the east elevation.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Retailing and Wholesaling - service station property type

12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria

13. CERTIFICATION:

Surveyor: Cris J. Duffett Date February 2001

PI: Cris J. Duffett Date February 2001

CRS-1



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # K-6993
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .96

1. ADDRESS OF PROPERTY: N. Dupont Highway, north of White Oak Road

2. DATE OF INITIAL CONSTRUCTION: Circa 1950

3. FLOOR PLAN/STYLE: Service Station

4. ARCHITECT/BUILDER: Unknown

5. INTEGRITY: original site moved

if moved, when and from where _____

list major alterations and dates (if known) Dwelling is clad with aluminum siding.

6. CURRENT CONDITION: excellent _____ good fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape Rectangular
stories 1
bays 3X1
wings

b) Structural system Wood-frame

c) Foundation Concealed by Wall Cladding
materials
basement No

d) Exterior walls (modern over original)
materials Vertical wood paneling
color(s) White

e) Roof
shape; materials Flat; materials not visible
cornice Wide overhanging eaves
dormers
chimney location(s)

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # K-6993

f) Windows

spacing Irregular
type One-light metal sliding units; one oriel window
trim
shutters

g) Door

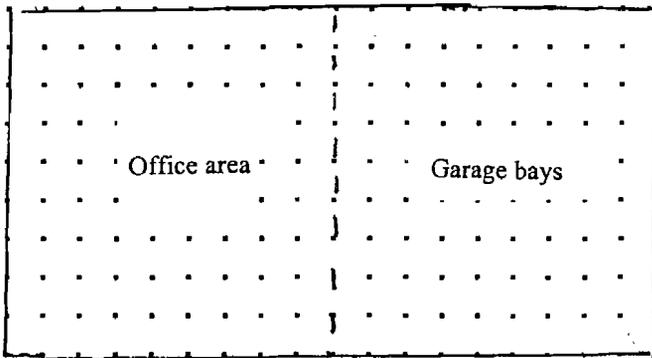
spacing Off-center
type Two 12-light metal overhead doors
trim

h) Porches

location(s)
materials
supports
trim

i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: Eric F. Griffitts DATE OF FORM: January 2001

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6994
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .35

1. NAME OF PROPERTY: Carmen Lopez House

2. STREET LOCATION: 484 N. Dupont Highway

3. OWNER'S NAME: Carmen Lopez TEL. #: _____

ADDRESS: 484 N. Dupont Highway, Dover, Delaware 19901

4. TYPE OF RESOURCE(S): building structure _____ site _____ object _____
district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)
fallow field _____ cultivated field _____ woodland _____ scattered buildings _____
densely built up other: _____

6. FUNCTION: original Single Dwelling present Single Dwelling

7. LIST ADDITIONAL FORMS USED:
CRS-2: Main Building Form CRS-3: Related Outbuilding Form

8. SURVEYOR: Eric F. Griffitts TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # K-6994

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



K-6994

Lakeview Drive

Dupont Highway



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

A. The dwelling is located in Dover along the U.S. Route 13/113 corridor, a mid- to late twentieth-century, heavily commercialized roadway.

C. The Carmen Lopez House is located on a 0.35-acre parcel immediately southwest of Lakeview Drive's intersection with the Dupont Highway. The dwelling is a bonded brick minimal traditional house constructed in 1947, with an interior bonded brick chimney and an asphalt shingle-clad side-gable roof. The windows are eight-over-eight, six-over-six, and one-over-one double-hung wood units. A side-gable addition has been constructed onto the south elevation with a paneled wood door on a brick stoop on its south side. A front-gable addition has been constructed onto the west (rear) elevation.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Architecture, Engineering, and Decorative Art - minimal traditional dwelling property type

12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria

13. CERTIFICATION:

Surveyor: Eric J. Joffe Date February 2001

PI: Eric J. Joffe Date February 2001

CRS-1



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # K-6994
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .35

1. ADDRESS OF PROPERTY: 484 N. Dupont Highway

2. DATE OF INITIAL CONSTRUCTION: 1947

3. FLOOR PLAN/STYLE: Minimal Traditional

4. ARCHITECT/BUILDER: Unknown

5. INTEGRITY: original site moved

if moved, when and from where _____

list major alterations and dates (if known) Side-gable addition on south elevation; front-gable

addition on west (rear) elevation.

6. CURRENT CONDITION: excellent good fair poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape Rectangular
stories 1
bays 3X2
wings Side-gable addition on south elevation
- b) Structural system Masonry
- c) Foundation Solid
materials Bonded Brick
basement
- d) Exterior walls (modern over original)
materials Bonded Brick
color(s) Brown
- e) Roof
shape; materials Side-gabled clad with asphalt shingles
cornice
dormers
chimney location(s) One interior brick chimney

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # K-6994

f) Windows

spacing Irregular
type Eight-over-eight, six-over-six, and one-over-one double-hung wood
trim
shutters

g) Door

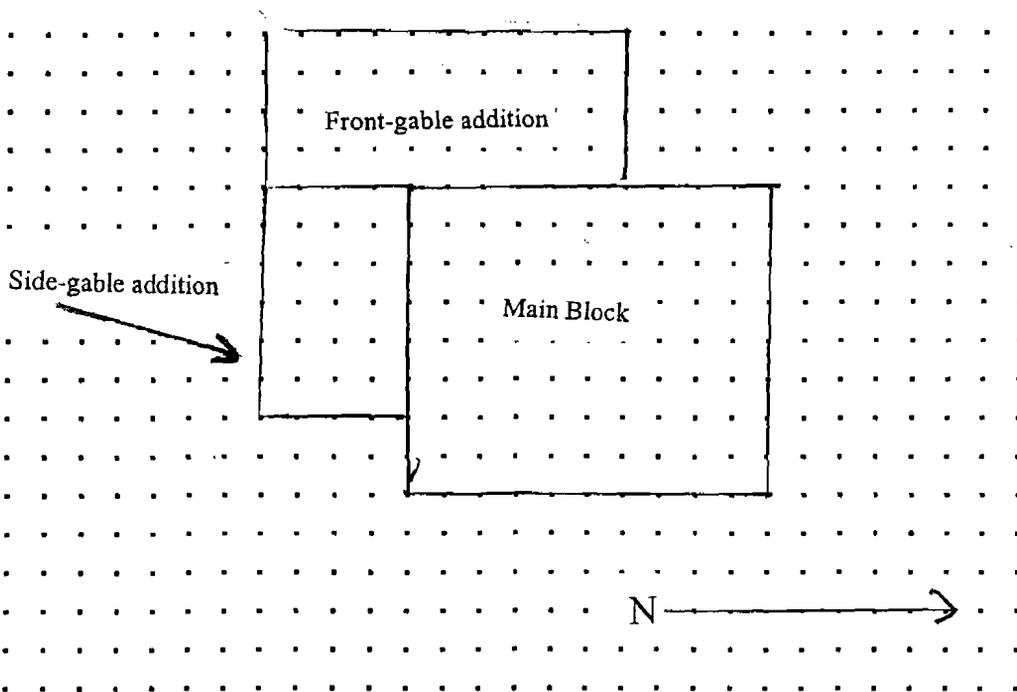
spacing
type Four-light paneled wood door
trim Wood molding

h) Porches

location(s) Front-gabled entry porch on east (front) elevation
materials Wood
supports Two wrought-iron supports
trim

i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: Eric F. Griffitts

DATE OF FORM: January 2001

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # K-6994
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .35

1. ADDRESS OF PROPERTY: 484 N. Dupont Highway

2. FUNCTION: Garage

3. DATE: 1947

4. STYLISTIC FEATURES: None

5. ARCHITECT/BUILDER: Unknown

6. DESCRIPTION:

a) Structural system **Masonry**

b) Wall coverings **Bonded Brick**

c) Wall openings
windows **Six-over-six double-hung wood-sash units**
doors **Two hinged wood garage doors**
other

d) Foundation **Bonded Brick**

e) Roof
structural system **Wood-frame**
coverings **Asphalt Shingle**
openings

f) Interiors

floor plan **Undivided Space**

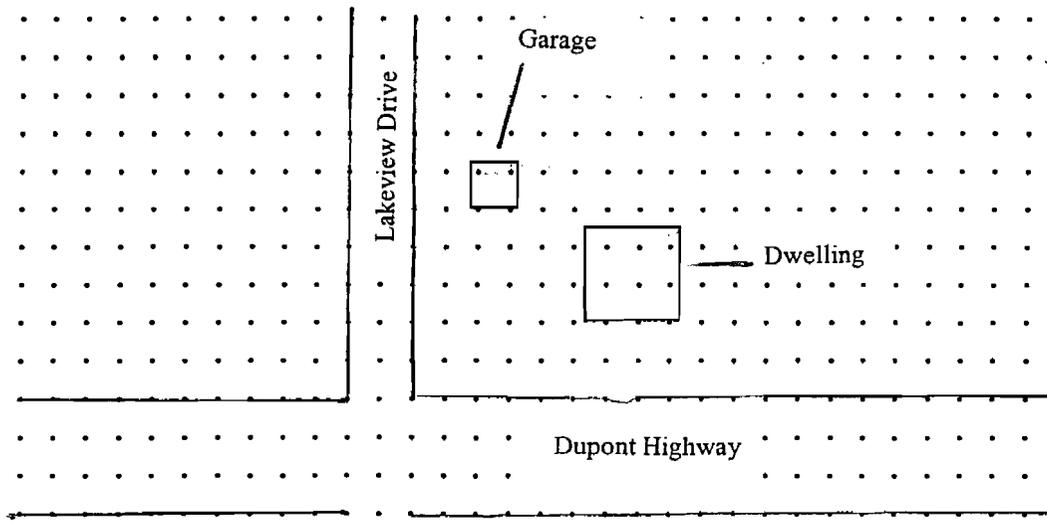
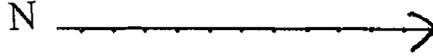
partition/walls

interior finish

furnishings/machinery

USE BLACK INK ONLY

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR: Eric F. Griffitts

DATE OF FORM: January 2001

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6995
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .26

1. NAME OF PROPERTY: Cedar Beach Enterprise Service Station

2. STREET LOCATION: N. Dupont Highway, at intersection with White Oak Road

3. OWNER'S NAME: Cedar Beach Enterprises TEL. #: _____

ADDRESS: P.O. Box 354, Milford, Delaware 19963

4. TYPE OF RESOURCE(S): building structure _____ site _____ object _____
district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)
fallow field _____ cultivated field _____ woodland _____ scattered buildings _____
densely built up other: _____

6. FUNCTION: original _____ Commercial _____ present Commercial _____

7. LIST ADDITIONAL FORMS USED:
CRS-2: Main Building Form

8. SURVEYOR: Eric F. Griffitts TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

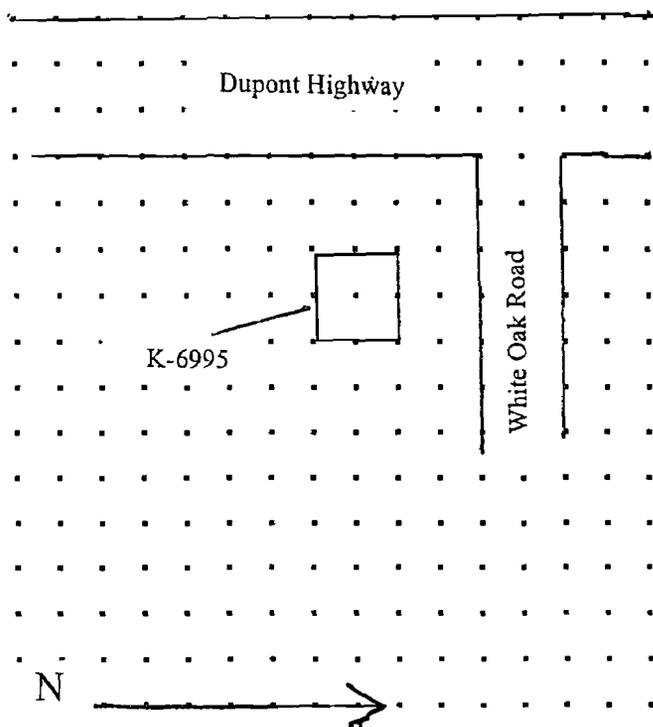
ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # K-6995

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

A. The building is located in Dover along the U.S. Route 13/113 corridor, mid- to late twentieth-century, heavily commercialized roadway.

C. The property contains a service station constructed in 1950. It is a one-story brick building with a flat roof partly clad with aluminum siding. The northern portion of the building contains a small office with a metal-frame glass door and three plate-glass display windows on the west (front) elevation. The southern half of the building contains two garage bays, each with 12-light metal overhead doors on the west (front) elevation.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Retailing and Wholesaling - service station property type

12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria

13. CERTIFICATION:

Surveyor: Eric J. Daffert Date February 2001

PI: Eric J. Daffert Date February 2001

CRS-1



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # K-6995
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .26

1. ADDRESS OF PROPERTY: N. Dupont Highway, at intersection with White Oak Road

2. DATE OF INITIAL CONSTRUCTION: 1950

3. FLOOR PLAN/STYLE: Service Station

4. ARCHITECT/BUILDER: Unknown

5. INTEGRITY: original site X moved _____

if moved, when and from where _____

list major alterations and dates (if known) _____

6. CURRENT CONDITION: excellent _____ good X fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape Rectangular
stories 1
bays 4x2
wings

b) Structural system Masonry

c) Foundation Solid
materials Brick
basement No

d) Exterior walls (modern over original)
materials Brick
color(s) White

e) Roof
shape; materials Flat roof; partially clad with aluminum siding
cornice Wide overhanging eaves
dormers
chimney location(s)

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # K-6995

f) Windows

spacing	Irregular
type	Three-light plate-glass display windows
trim	
shutters	

g) Door

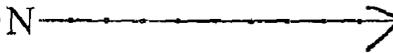
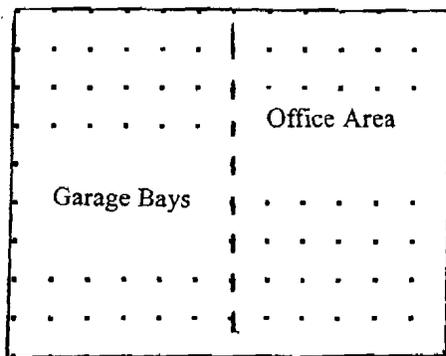
spacing	Off-center
type	Two 12-light metal overhead doors
trim	

h) Porches

location(s)	
materials	
supports	
trim	

i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:

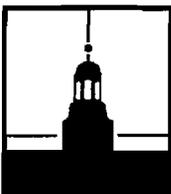


INDICATE NORTH ON SKETCH

9. SURVEYOR: Eric F. Griffitts

DATE OF FORM: January 2001

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6996
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .54

1. NAME OF PROPERTY: Legales Building

2. STREET LOCATION: 431 N. Dupont Highway

3. OWNER'S NAME: Gerald and Valerie Legales TEL. #: _____

ADDRESS: 27823 Island Drive, Salisbury, Maryland 21801

4. TYPE OF RESOURCE(S): building structure _____ site _____ object _____
district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____ scattered buildings _____

densely built up other: _____

6. FUNCTION: original _____ Professional Building _____ present Vacant

7. LIST ADDITIONAL FORMS USED:

CRS-2: Main Building Form

8. SURVEYOR: Eric F. Griffiths TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

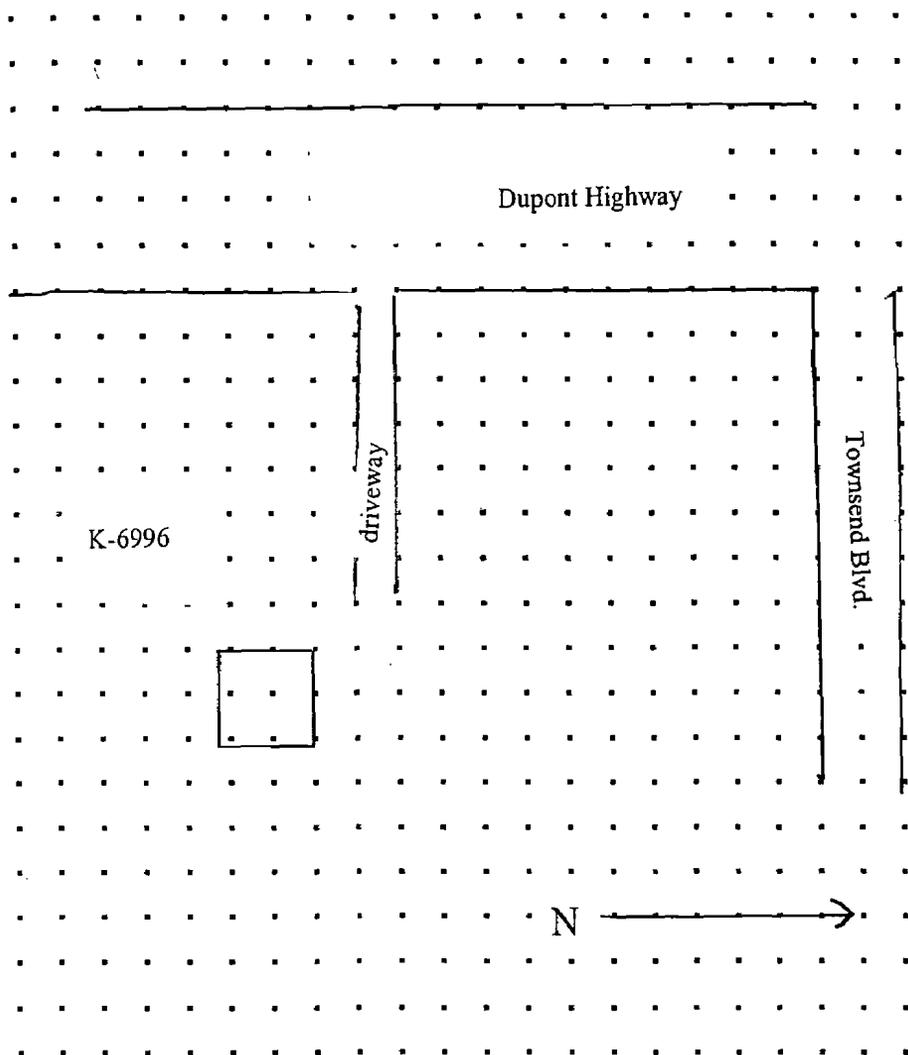
ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

D. LOCATION MAP:

CRS # K-6996

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

A. The building is located in Dover along the U.S. Route 13/113 corridor, a mid- to late twentieth-century, heavily commercialized roadway.

C. The Legales Building is located on a 0.5385-acre parcel southeast of Townsend Boulevard's intersection with the Dupont Highway. The building, constructed circa 1940, is a two-story wood-frame minimal traditional professional building, with an asphalt shingle-clad, side-gable roof with cornice returns. The first story is clad with brick veneer and the second story is clad with aluminum siding. The west (front) elevation features a shed-roof porch with six wrought-iron supports. Four entrances are located on the elevation inside the porch. All are one-light paneled wood doors which have been boarded-up. Two 18-light wooden display windows are also located on the elevation's first story. A brick exterior chimney is located on the east (rear) elevation. An exterior wood staircase on the south elevation leads to a second-story entrance. The building is vacant and is in poor condition. Half of the wall cladding has been removed from the east (rear) elevation.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Architecture, Engineering, and Decorative Art - modified Colonial Revival dwelling property type

12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria

13. CERTIFICATION:

Surveyor: Eric J. Duffett Date February 2001

PI: Eric J. Duffett Date February 2001



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # K-6996
SPO Map 10-11-22
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage .54

1. ADDRESS OF PROPERTY: 431 N. Dupont Highway

2. DATE OF INITIAL CONSTRUCTION: Circa 1940

3. FLOOR PLAN/STYLE: other

4. ARCHITECT/BUILDER: Unknown

5. INTEGRITY: original site moved

if moved, when and from where _____

list major alterations and dates (if known) Aluminum siding clads second story

6. CURRENT CONDITION: excellent _____ good fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape Rectangular
stories 2
bays 5x2
wings

b) Structural system Wood-frame

c) Foundation Solid
materials Brick
basement

d) Exterior walls (modern over original)
materials First story - brick veneer, second story - aluminum siding
color(s) White

e) Roof
shape; materials Side-gabled clad with asphalt shingles
cornice Returns
dormers
chimney location(s) One exterior brick chimney on east (rear) elevation

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # K-6996

f) Windows

spacing Regular
type Six-over-six double-hung wood
trim
shutters Black wood

g) Door

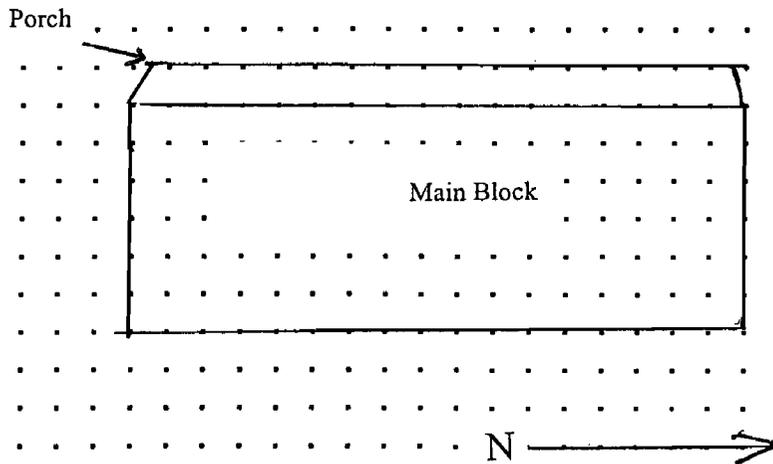
spacing
type Four one-light paneled wood doors
trim Wood molding

h) Porches

location(s) Shed-roof porch on west (front) elevation
materials Wood
supports Six wrought-iron supports
trim

i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: Eric F. Griffitts DATE OF FORM: January 2001

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6997
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage 9.1

1. NAME OF PROPERTY: Latex/Playtex Park

2. STREET LOCATION: 50 N. Dupont Highway (U.S. Route 13)

3. OWNER'S NAME: Playtex Manufacturing, Inc. TEL. #: _____

ADDRESS: 50 N. Dupont Highway (U.S. Route 13), Dover, Delaware 19903

4. TYPE OF RESOURCE(S): building structure _____ site _____ object _____
district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____ scattered buildings _____
densely built up other: _____

6. FUNCTION: original _____ Industrial _____ present Industrial

7. LIST ADDITIONAL FORMS USED:

CRS-2: Main Building Form CRS-3: Related Outbuilding Form CRS-5: Industrial Building Form

CRS-6: Structure Form CRS-9: Landscape and Large Complex Map Form

8. SURVEYOR: Eric F. Griffitts TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

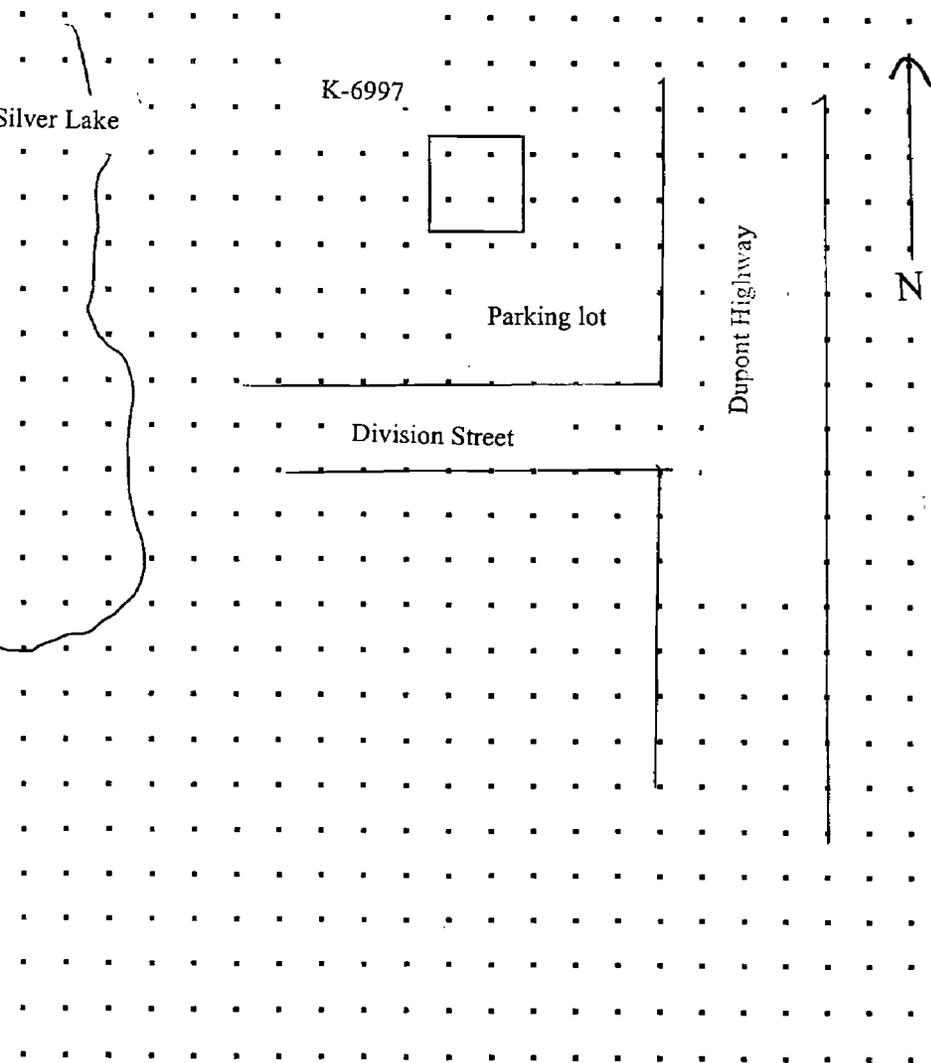
ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

LOCATION MAP:

CRS # K-6997

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

A. The complex is located in Dover along the U.S. Route 13/113 corridor, a mid- to late twentieth-century, heavily commercialized roadway.

C. Latex/Playtex Park is composed of more than a dozen structural units erected between 1937 and 1970. The original manufacturing facility constructed in 1937 consisted of Buildings 101 and 102, both two-story brick structures. As the plant expanded in the 1950s and 1960s, additional building units were constructed. Buildings 103 through 108 are all one-story brick units which have been appended to the west side of Building 102. Building 113 is a one-story brick structure which was constructed on the north side of Building 114. Buildings 109 and 111 are two-story brick units separated by Building 110, a one-story brick unit which functions as a small hyphen. Building 112, adjacent to the east side of Building 111, is a two-story brick unit which has been attached to the south end of Building 101. Building 115 is a two-story brick building with two-light metal ribbon windows.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Manufacturing - factory property type

12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria Building has been extensively altered with post-1950 additions and lacks sufficient integrity.

13. CERTIFICATION:

Surveyor: *Gene J. Duffell* Date February 2001

PI: *Gene J. Duffell* Date 2-2001

CRS-1



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # K-6997
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage 9.1

1. ADDRESS OF PROPERTY: 50 N. Dupont Highway (U.S. Route 13)

2. DATE OF INITIAL CONSTRUCTION: 1937

3. FLOOR PLAN/STYLE: _____

4. ARCHITECT/BUILDER: Unknown

5. INTEGRITY: original site moved _____

if moved, when and from where _____

list major alterations and dates (if known) Buildings 103 through 115 constructed after 1950

6. CURRENT CONDITION: excellent _____ good fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape Irregular
stories 1 to 2
bays Multiple
wings

b) Structural system Masonry

c) Foundation Masonry
materials Brick
basement None

d) Exterior walls (modern over original)
materials Brick
color(s) Red

e) Roof
shape; materials Flat roof; Building 104 has metal-clad gabled-roof monitors
cornice
dormers
chimney location(s)

USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM**

CRS # K-6997
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage 9.1

1. ADDRESS OF PROPERTY: 50 N. Dupont Highway

2. FUNCTION: Paint and Carpenter's Shop (Building 130)

3. DATE: Circa 1950

4. STYLISTIC FEATURES: None

5. ARCHITECT/BUILDER: Unknown

6. DESCRIPTION:

a) Structural system Wood-frame

b) Wall coverings Aluminum

c) Wall openings
windows Eight-light metal industrial band
doors
other

d) Foundation Concrete

e) Roof
structural system Flat roof
coverings Unknown
openings

f) Interiors

floor plan Interior not accessed

partition/walls

interior finish

furnishings/machinery

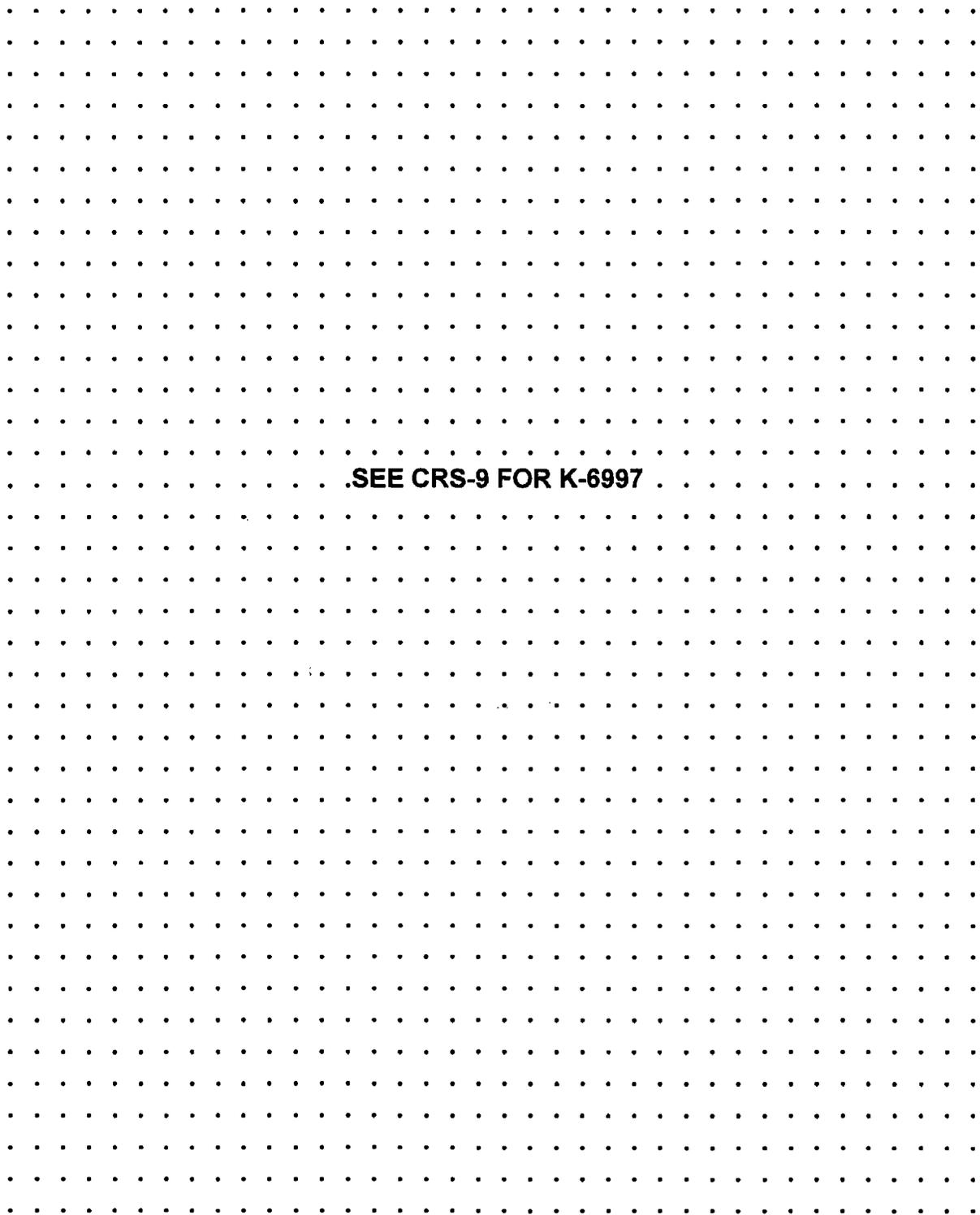
USE BLACK INK ONLY

7. SKETCH PLAN:

CRS #

K-6997

Show relationship to main building and provide sketch plan of outbuilding.



.SEE CRS-9 FOR K-6997 .

INDICATE NORTH ON SKETCH

8. SURVEYOR: Eric F. Griffitts

DATE OF FORM: January 2001

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
INDUSTRIAL BUILDING FORM

CRS # K-6997
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage 9.1

1. ADDRESS OF PROPERTY: 50 N. Dupont Highway (U.S. Route 13), Dover

2. FUNCTION: Chemical Production and Petroleum Processing

3. DATE OF CONSTRUCTION/ALTERATION: 1937/Post-1950

4. STYLISTIC INFLUENCE: None

5. ARCHITECT/BUILDER: Unknown

6. DESCRIPTION: Exterior (List present and prior features.)

a) Structural system Masonry

b) Wall covering Brick

c) Foundation Brick

d) Roof Flat

structural system
covering
openings

e) Entrance

materials access Three metal overhead doors in Building 113
worker's access Main double-glass door entrance in Building 115
office/management access Main double-glass door entrance in Building 115

f) Windows

industrial area - spacing Irregular
type Four-over-four double-hung metal; 1-light, 12-light, and 16-light metal units
trim

office area - spacing Regular
type Two-light metal ribbon units
trim

USE BLACK INK ONLY

7. DESCRIPTION: Interior (List present and prior features.) Interior was not accessible CRS # K-6997

- a) Power generation/transmission
- b) Heating/cooling/lighting
- c) Raw materials storage
- d) Materials processing
- e) Waste removal
- f) Finished product storage
- g) Employees' facilities
- h) Office area
- i) Safety system

8. YARD AREA:

- a) Auxiliary buildings & structures
Water Tower, Paint and Carpenter's Shop

- b) Plant access

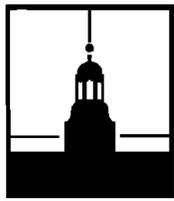
Both workers and materials enter through the main entrance into the plant off Division Street. Material storage is located within three metal overhead doors in Building 113, on the southwest side of the complex. Office and factory workers enter through the main entrance in Building 115.

9. ASSOCIATED BUILDINGS/PLANTS:

The first plant of the company was located in Rochester, New York. Five years after its founding, the International Latex Company moved to Dover in 1937. Another Delaware plant was opened in Cheswold during the 1950s. Today the International Latex Corporation has more than 21 manufacturing plants in 17 countries.

10. SURVEYOR: Eric F. Griffitts DATE OF FORM: January 2001

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
STRUCTURE FORM

CRS # K-6997
SPO Map 10-21-11
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage 9.1

1. ADDRESS OF PROPERTY: 50 N. Dupont Highway (U.S. Route 13/113)

2. TYPE OF STRUCTURE: Water Tower

3. DATE OF INITIAL CONSTRUCTION: Circa 1950

4. STYLISTIC INFLUENCE: None

5. ARCHITECT/BUILDER: Unknown

6. INTEGRITY: original site moved

if moved, when and from where _____

major alterations and date _____

7. CURRENT CONDITION: excellent good fair poor

8. DESCRIBE THE STRUCTURE AS COMPLETELY AS POSSIBLE:

a) Overall shape Convex
height Approximately 80 feet
length Approximately 25 feet
width Approximately 25 feet

b) Structural system

c) Foundation Concrete slab
type
material

d) Exterior claddings (modern over original)
walls, parapets Metal
roofs

USE BLACK INK ONLY

8. DESCRIPTION (cont'd):

CRS # K-6997

e) Openings (if applicable)

- doors
- windows
- access

f) Interior (if applicable)

- volume
- linings

g) Systems (if applicable)

- heating/ventilating/cooling
- plumbing
- electrical
- lighting

9. ASSOCIATED RESOURCES: Part of Latex/ Playtex Park - See CRS-1 and CRS-2 for Latex/Playtex Park

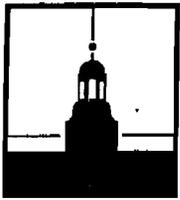
10. PLAN SKETCH MAP:

SEE CRS-9 FOR K-6997

INDICATE NORTH ON SKETCH

11. SURVEYOR: Eric F. Griffitts DATE OF FORM: January 2001

USE BLACK INK ONLY



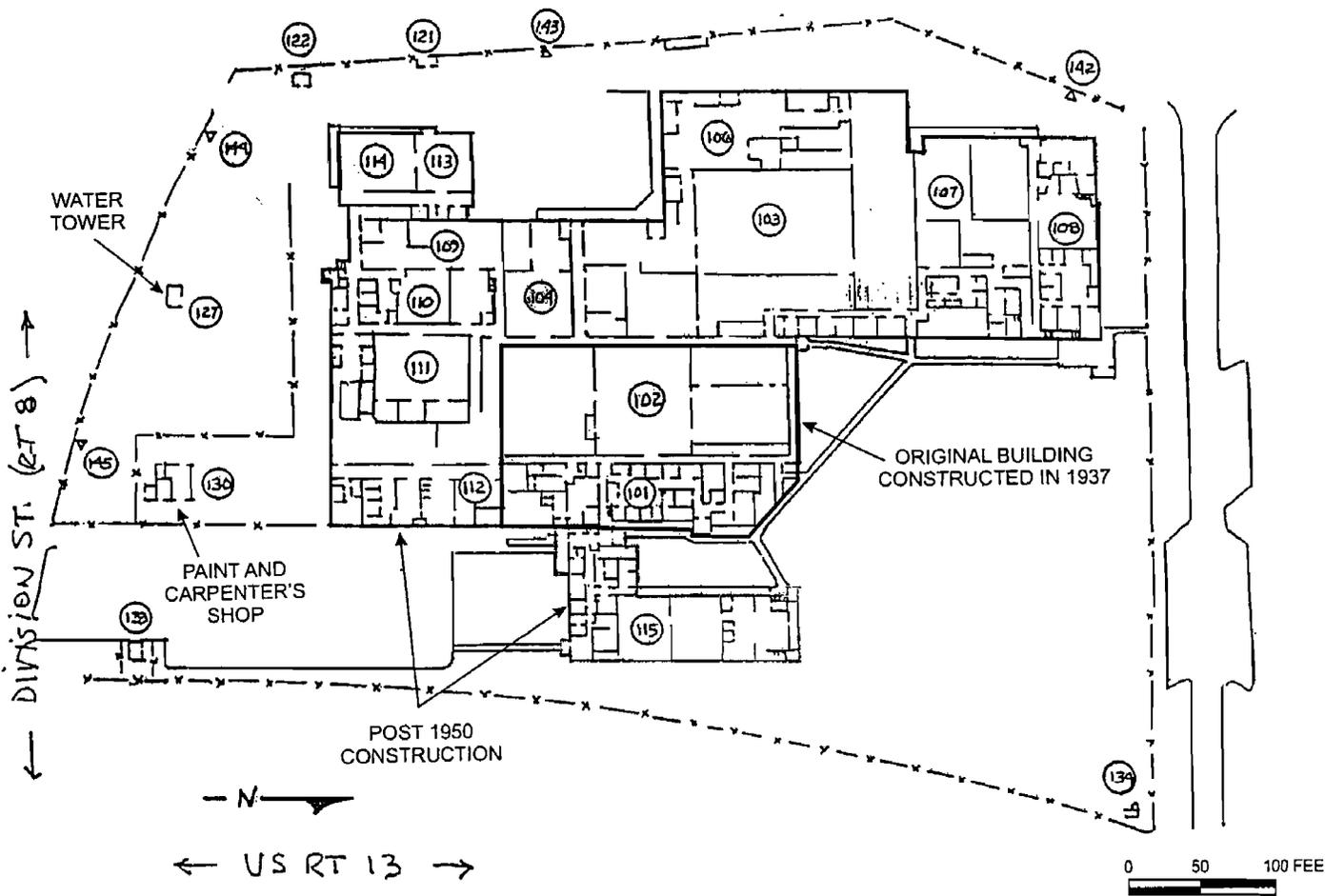
DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
LANDSCAPE AND LARGE COMPLEX MAP FORM

CRS # K-6997
SPO Map 10-11-21
Hundred E. Dover
Quad Dover
Zone U. Penin.
Acreage 9.1

SKETCH MAP:

Show relationship to geographical landmarks and major features of environment.



INDICATE NORTH ON SKETCH

SURVEYOR: Eric Griffitts

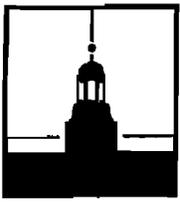
DATE OF FORM: January 2001

USE BLACK INK ONLY

revised 9/93

CRS-9





CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # K-6998
SPO Map 10-11-21.22
Hundred E. Dover
Quad Dover
Zone U. Penn.
Acreage _____

1. NAME OF PROPERTY: Dupont Highway, from Lookerman Street to Townsend Boulevard, Dover

2. STREET LOCATION: _____

3. OWNER'S NAME: DeIDOT TEL. #: _____

ADDRESS: U.S. Route 113, Dover

4. TYPE OF RESOURCE(S): building _____ structure _____ site _____ object _____
district _____ landscape X

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____ scattered buildings _____
densely built up X other: _____

6. FUNCTION: original _____ Highway _____ present Highway

7. LIST ADDITIONAL FORMS USED:

CRS-8: Landscape Documentation Form

8. SURVEYOR: Eric F. Griffitts TEL. #: (202) 331-7775

ORGANIZATION: The Louis Berger Group, Inc. DATE: January 2001

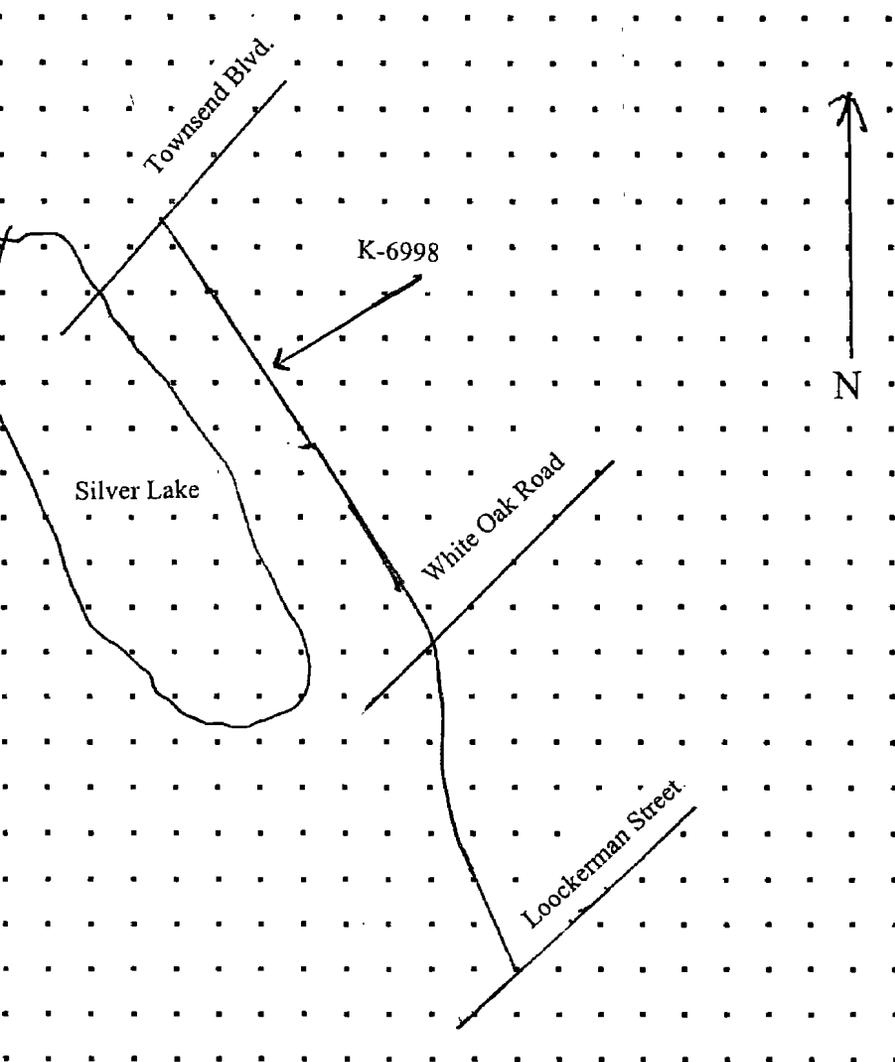
ADDRESS: 1819 H. Street, Suite 900, NW, Washington, D.C. 20006

USE BLACK INK ONLY

LOCATION MAP:

CRS # K-6998

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION: Consider the following

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

The Dupont Highway (U.S. Route 13/113) from Loockerman Street to Townsend Boulevard in Dover is a six-lane divided highway surfaced with asphalt. The width of the roadway is approximately 30 meters (98.4 feet), curb to curb, and consists of three northbound and three southbound lanes, with additional turning lanes located at all intersections with secondary roads. The northbound and southbound lanes are separated by concrete medians between Loockerman and Division streets, and north of Division Street the highway is divided by a grass median.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940±
- b) Historic theme(s) Transportation and Communication - Highway property type

12. EVALUATION: Eligible? Yes() No(X) Potential() Unknown()

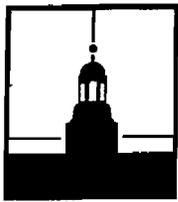
- a) Area(s) of significance
- b) NR criteria

13. CERTIFICATION:

Surveyor: *Eric J. Duffetto* Date February 2001

PI: *Eric J. Duffetto* Date February 2001

CRS-1



CULTURAL RESOURCE SURVEY
LANDSCAPE DOCUMENTATION FORM

CRS # K-6998
SPO Map 10-11-22,21
Hundred E. Dover
Quad Dover
Zone U. Penins.
Acreage _____

1. ADDRESS/LOCATION: Dover, Loockerman Street to Townsend Boulevard
2. DATE OF CONSTRUCTION: original 1923 alteration(s) Post-1968: Concrete medians and lane expansion
3. ORIGINAL DESIGNER: Frank Williams, former Chief Engineer of the New York State Highway Department
4. ALTERATIONS/ADDITIONS DESIGNER: DelDOT
5. OTHER ASSOCIATED INDIVIDUALS: T. Coleman du Pont, highway founder
6. HISTORIC SETTING: urban _____ suburban _____ town/village _____
crossroads/hamlet _____ rural X
7. CURRENT SETTING: urban _____ suburban _____ town/village _____
crossroads/hamlet _____ rural _____ post-suburban X
8. GENERAL PURPOSE: community _____ residential _____ agricultural _____
institutional _____ commercial _____ industrial _____ public X
9. FUNCTION: park _____ parkway/park system _____ estate _____ garden _____
square/commons _____ farm: field _____ pasture _____ orchard _____
arboretum/collection _____ zoo/collection _____ cemetery _____ yard/compound _____
other Highway
10. RELATIONSHIP TO OTHER LANDSCAPES: _____

USE BLACK INK ONLY

11. DESCRIBE THE LANDSCAPE ELEMENTS (as appropriate):

a) Style/design school None

b) Scenic views/vistas None

c) Circulation system Six-lane divided highway with turning lanes. Concrete medians between Loockerman and Division streets, grass median north of Division Street.

d) Spatial subdivisions Mostly post-1950 modern commercial development mixed with 1940s-1960s residential development.

e) Minor structures

f) Paving material(s) Asphalt road surface

g) Furnishings None

h) Utilities Traffic lights at intersections

i) Water elements None

j) Vegetation Some private residential properties contain small hedges and trees.

k) Other

12. SURVEYOR: Eric F. Griffitts DATE OF FORM: January 2001

USE BLACK INK ONLY