

**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14236  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1202 Centre Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Resident present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 26, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14236 .001

1. ADDRESS OF PROPERTY: 1202 Centre Road

2. FUNCTION(S):            historic    Resident                    current    Vacant

3. YEAR BUILT: 1951                    ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Minimal Traditional

5. INTEGRITY:            original site            X                    moved    \_\_\_\_\_  
if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)

Fully enclosed porch, porch at rear

6. CONDITION:    excellent    \_\_\_\_\_            good    \_\_\_\_\_            fair    X                    poor    \_\_\_\_\_

7. DESCRIPTION:    (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).

a) Overall shape            Square  
   stories                    1  
   bays                        3  
   wings                      none

b) Structural system    Frame

c) Foundation  
   basement                No  
   materials                Concrete

d) Exterior walls (modern over original)  
   materials                Vinyl siding; stucco at base of enclosed porch  
   color(s)                 Light blue (siding)

e) Roof  
   shape; materials        Complex; asphalt shingles  
   cornice                    Flat  
   dormers                    None  
   chimney location(s)    Off-center within roof surface (brick)

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction:    West  
   1) Bays                    3  
   2) Windows  
     fenestration            Regular  
     type                      Paired 1/1 DHS  
  
   trim                        Flat  
   shutters                  Paneled, modern non-functional

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Modern single leaf panel door with aluminum storm  
     trim None
- 4) Porches Concrete stoop with metal railings

## b. Side: Direction: North

- 1) Bays 4
- 2) Windows  
     fenestration Irregular  
     type Metal picture with 1-light metal fixed pane; 1/1 vinyl double hung sash  
     trim Flat  
     shutters Paneled modern non-functional
- 3) Door(s)  
     location Off-center  
     type Single leaf panel door  
     trim None
- 4) Porches Enclosed

## c. Side: Direction: South

- 1) Bays 3
- 2) Windows  
     fenestration Regular  
     type Single and paired 1/1 vinyl double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location none  
     type n/a  
     trim n/a
- 4) Porches None

## d. Rear: Direction: East

- 1) Bays 3
- 2) Windows  
     fenestration Regular  
     type 1/1 vinyl double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location Off-center  
     type Single leaf multi-light door  
     trim None
- 4) Porches Shed roof, open porch with metal supports, concrete and wood pad

9. INTERIOR: Not surveyed

10. LANDSCAPING: Wood plank fence around rear yard, concrete sidewalk, asphalt driveway; flagstone pad at side door, decorative lamppost at front steps from sidewalk

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14236 .002

1. ADDRESS OF PROPERTY: 1202 Centre Road
2. FUNCTION(S): 1 1/2 car garage
3. YEAR BUILT: \_\_\_\_\_ ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: None
5. INTEGRITY: original site \_\_\_\_\_  moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair  poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system      Concrete block
- b) Number of stories      1
- c) Wall Coverings      Concrete block
- d) Foundation      Concrete slab
- e) Roof  
    structural system      Front gable  
    coverings      Asphalt shingles  
    openings

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction:      West
- 1) bays:
- 2) windows:      None
- 3) door(s):      Pane and panel folding overhead door
- 4) other:

- b) Side: direction: South
  - 1) bays:
  - 2) windows: Paired 4-light metal casements
  - 3) door(s): Single leaf wood panel door
  - 4) other:

- c) Side: direction: North
  - 1) bays:
  - 2) windows: None
  - 3) door(s): None
  - 4) other:

- d) Rear: direction: East
  - 1) bays:
  - 2) windows: None
  - 3) door(s): none
  - 4) other:

9. INTERIOR (if accessible):

- a) Floor plan

**Not surveyed**

- b) Partition/walls

- c) Finishes

- d) Furnishings/machinery

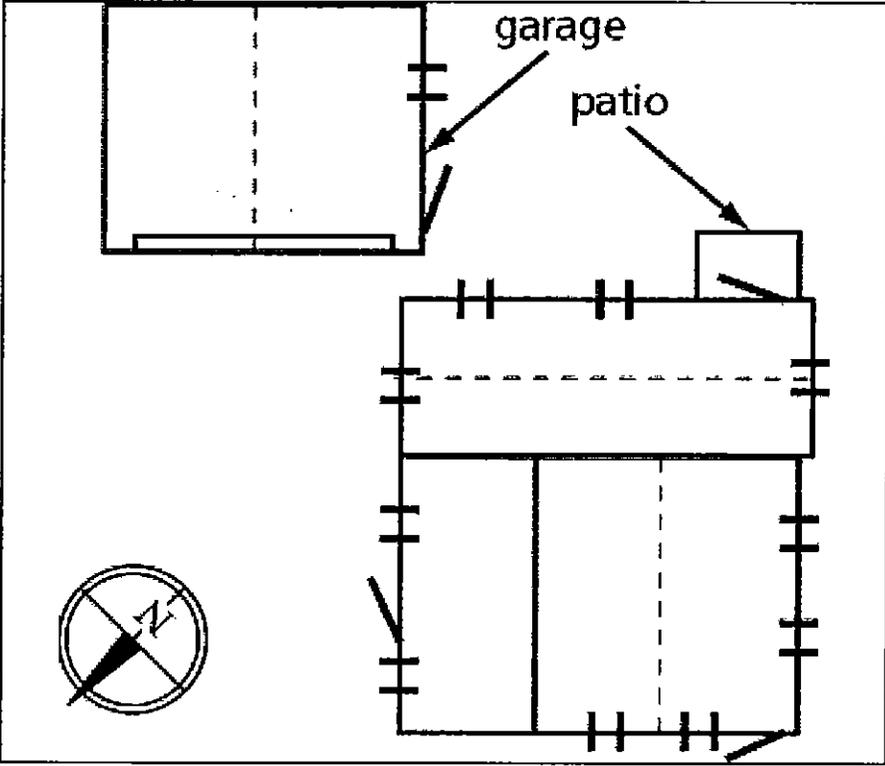


4. SITE PLAN:

CRS # N-14236

INDICATE NORTH ON PLAN

Sketch Plan



garage

patio

First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.

The sketch plan shows a rectangular building footprint. The top portion is labeled 'garage' and contains a dashed vertical line. To the right of the garage is a smaller rectangular area labeled 'patio'. The main building footprint below has several short lines along its perimeter, likely representing windows or doors. A north arrow is located in the lower-left corner of the sketch plan area.

USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14236

1. HISTORIC NAME/FUNCTION: Resident

2. ADDRESS/LOCATION: 1202 Centre Road

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14237  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1206 Centre Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):  
Impending demolition associated with roadway improvements

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: January 17, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14237 .001

1. ADDRESS OF PROPERTY: 1206 Centre Road

2. FUNCTION(S):            historic    Residential            current    Vacant

3. YEAR BUILT: 1950                      ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Minimal Traditional

5. INTEGRITY:            original site            X            moved    \_\_\_\_\_  
if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION:    excellent    \_\_\_\_\_    good    \_\_\_\_\_    fair    \_\_\_\_\_    poor    X

7. DESCRIPTION:    (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).

a) Overall shape    L-shape  
   stories            1  
   bays                4  
   wings              none

b) Structural system    Frame

c) Foundation  
   basement        Not visible  
   materials        n/a

d) Exterior walls (modern over original)  
   materials        T-111, aluminum siding  
   color(s)         White

e) Roof  
   shape; materials    Cross gable  
   cornice              None  
   dormers              None  
   chimney location(s) Brick off-center within roof surface in rear roof slope

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: Northwest

1) Bays 4

2) Windows

   fenestration    Regular

   type            Missing windows

   trim            None

   shutters        None

## Facade (cont'd)

- 3) Door(s)  
     location Center  
     type Single leaf wood panel  
     trim None
- 4) Porches None

## b. Side: Direction: Southwest

- 1) Bays 3
- 2) Windows  
     fenestration Missing  
     type None  
     trim None  
     shutters None
- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

## c. Side: Direction: Northeast

- 1) Bays 3
- 2) Windows  
     fenestration Missing  
     type None  
     trim None  
     shutters None
- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

## d. Rear: Direction: Southeast

- 1) Bays 2
- 2) Windows  
     fenestration Missing  
     type None  
     trim None  
     shutters None
- 3) Door(s)  
     location Off-center  
     type Missing  
     trim None
- 4) Porches Screened wood porch with shed roof

9. INTERIOR: All interior elements had been removed prior to survey. Only wall studs remain.

10. LANDSCAPING: Wood retaining wall at sidewalk, concrete driveway

11. OTHER COMMENTS: Much of the exterior cladding and fenestration had been removed prior to survey in preparation for demolition.



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14237 .002

1. ADDRESS OF PROPERTY: 1206 Centre Road
2. FUNCTION(S): Shed
3. YEAR BUILT: c. 1950 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair \_\_\_\_\_ poor X

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Plywood
- d) Foundation Not visible
- e) Roof  
structural system shed roof  
coverings Plywood  
openings None

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: Northwest
- 1) bays: 1
- 2) windows: none
- 3) door(s): Single leaf slab door
- 4) other:

b) Side: direction:

1) bays:

2) windows:

3) door(s):

4) other:

c) Side: direction:

1) bays:

2) windows:

3) door(s):

4) other:

d) Rear: direction:

1) bays:

2) windows:

3) door(s):

4) other:

9. INTERIOR (if accessible):

a) Floor plan

b) Partition/walls

c) Finishes

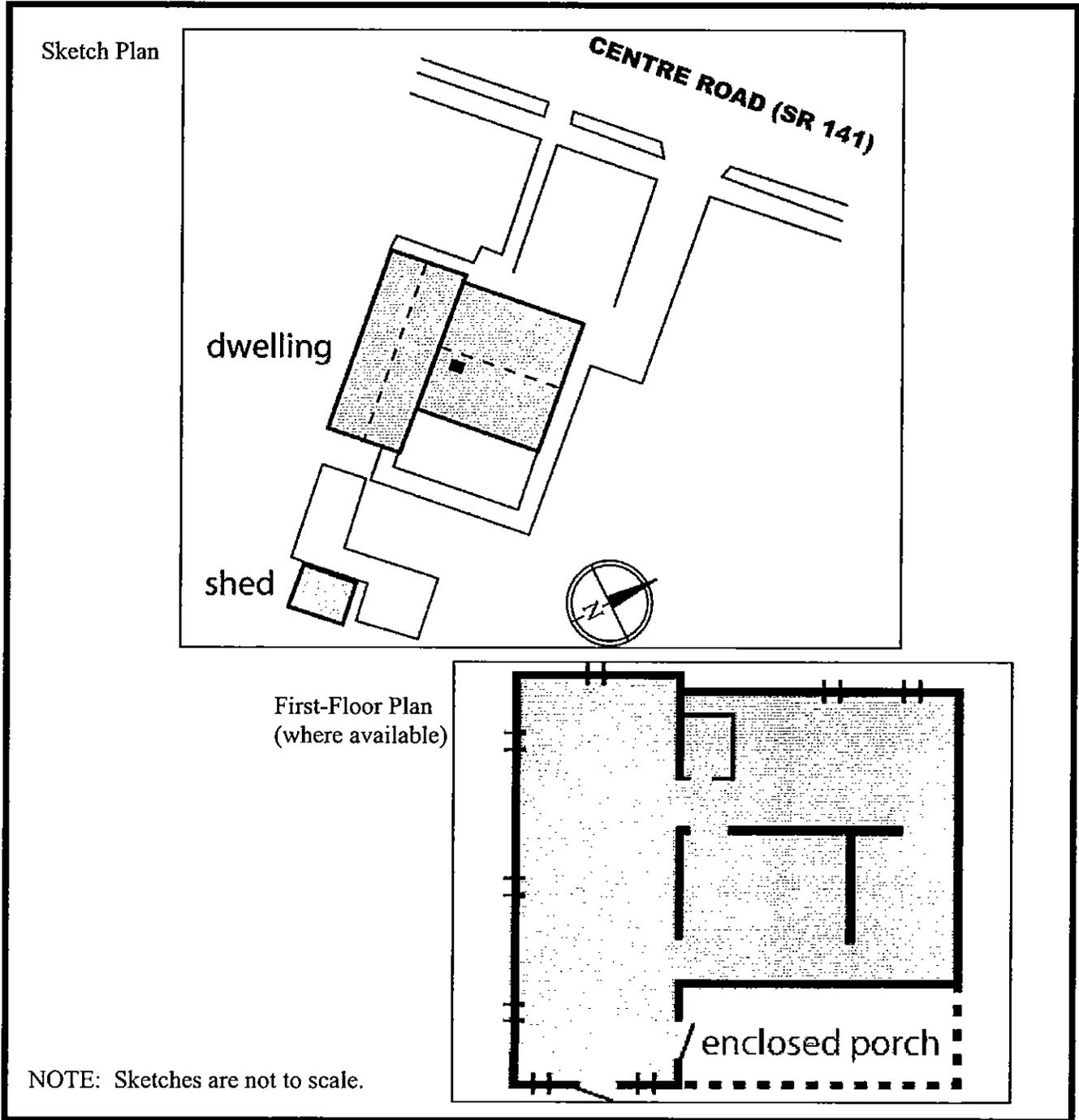
d) Furnishings/machinery



4. SITE PLAN:

CRS # N-14237

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14237

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 1206 Centre Road

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

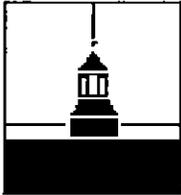
#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14238  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1208 Centre Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):  
S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 26, 2005

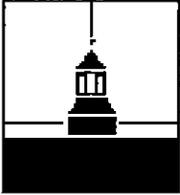
9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14238 .001

1. ADDRESS OF PROPERTY: 1208 Centre Road

2. FUNCTION(S): historic Residential current Vacant

3. YEAR BUILT: 1953 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Minimal Traditional

5. INTEGRITY: original site X moved \_\_\_\_\_  
if moved, when and from where

list major alterations and dates (if known)

Moved garage attached to building with addition

6. CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape L-shaped  
stories 1  
bays 3  
wings none

b) Structural system Frame

c) Foundation  
basement No  
materials Concrete

d) Exterior walls (modern over original)

materials Asbestos  
color(s) Beige

e) Roof

shape; materials Complex, full returns at gable ends; asphalt shingles  
cornice None  
dormers None  
chimney location(s) Off-center within roof surface (brick)

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: West

1) Bays 3  
2) Windows

fenestration Regular

type Triple 3-light metal casements with 3-light transom; multi-light octagonal window on addition

trim Flat

shutters Louvered modern non-functional

## Facade (cont'd)

## 3) Door(s)

location Off-center  
 type Single leaf (boarded, no view)  
 trim n/a

## 4) Porches Brick stoop with concave metal hood and supporting end brackets

## b. Side: Direction: South

## 1) Bays 3

## 2) Windows

## fenestration

type Triple 3-light metal casement window with 3-light transom; metal picture with 3-light casements

trim Flat

shutters None

## 3) Door(s)

location None

type n/a

trim n/a

## 4) Porches None

## c. Side: Direction: North

## 1) Bays 1

## 2) Windows

fenestration Regular

type 2-light wood awning window on side of garage; 1/1 vinyl double hung sash on house

trim Flat

shutters none

## 3) Door(s)

location None

type n/a

trim n/a

## 4) Porches None

## d. Rear: Direction: East

## 1) Bays 4

## 2) Windows

fenestration Irregular

type Paired and triple 2-light metal casements; 1/1 vinyl double hung sash, 2-light wood awning on garage

trim Flat

shutters None

## 3) Door(s)

location Off-center

type Single leaf

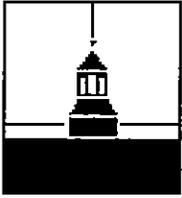
trim None

## 4) Porches None

9. INTERIOR: Not accessible

10. LANDSCAPING: Brick sidewalk, chain link fence around rear, concrete sidewalk around garage; concrete driveway with asphalt top, brick patio at rear, concrete pad for former shed in rear

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14238 .002

1. ADDRESS OF PROPERTY: 1208 Centre Road
2. FUNCTION(S): Garage
3. YEAR BUILT: \_\_\_\_\_ ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site \_\_\_\_\_  moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good  fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Matches house
- d) Foundation Concrete slab
- e) Roof  
structural system Front gable  
coverings Asphalt shingles  
openings

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: West
- 1) bays:
- 2) windows: None
- 3) door(s): Fiberglass overhead folding garage door
- 4) other:

b) Side: direction: North

1) bays:

2) windows: Casement

3) door(s): None

4) other:

c) Side: direction: East

1) bays:

2) windows: Casement

3) door(s): None

4) other:

d) Rear: direction: South

1) bays:

2) windows:

3) door(s):

4) other: Attached to house

9. INTERIOR (if accessible):

a) Floor plan

Not surveyed

b) Partition/walls

c) Finishes

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14238 .001

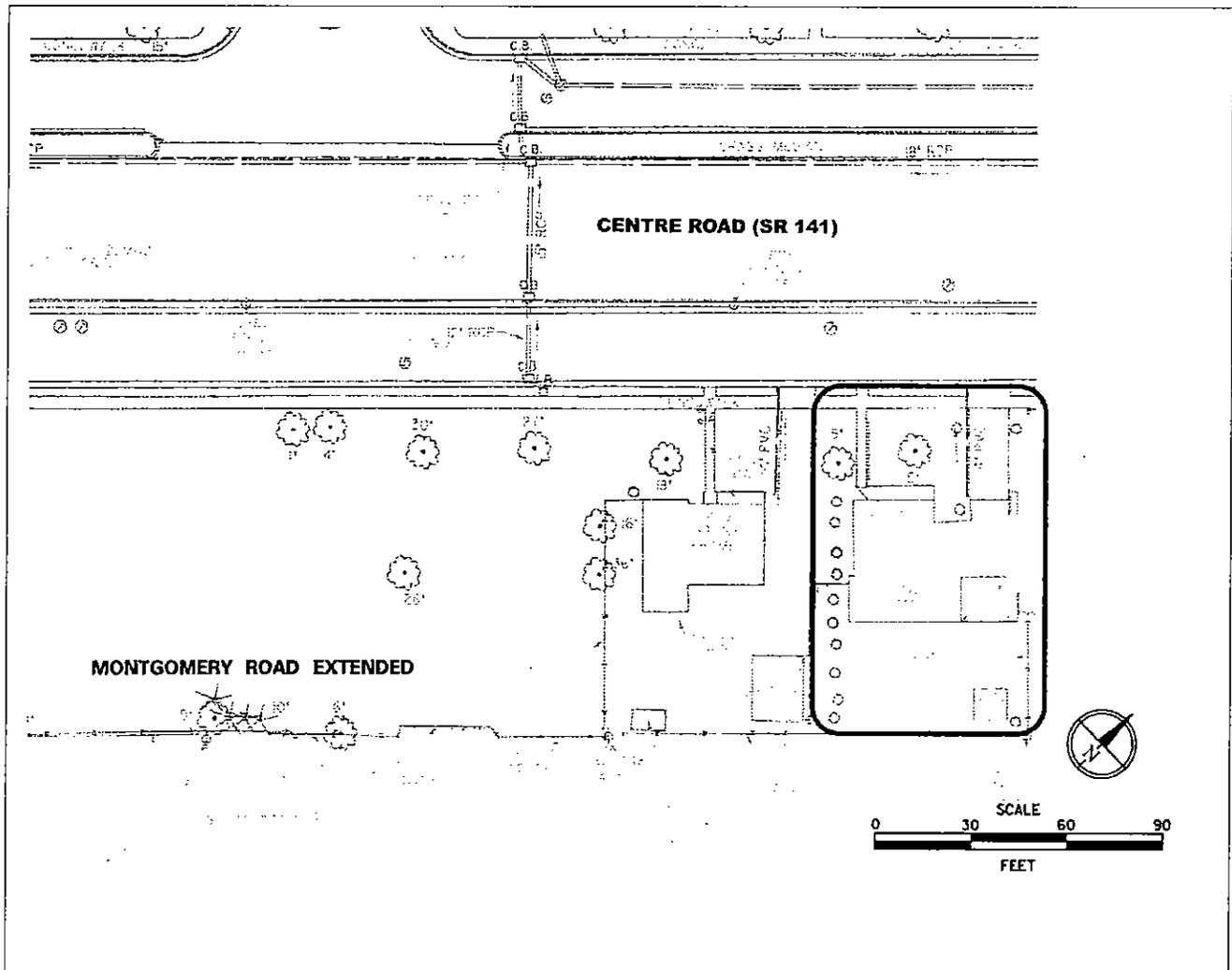
1. ADDRESS/LOCATION: 1208 Centre Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**

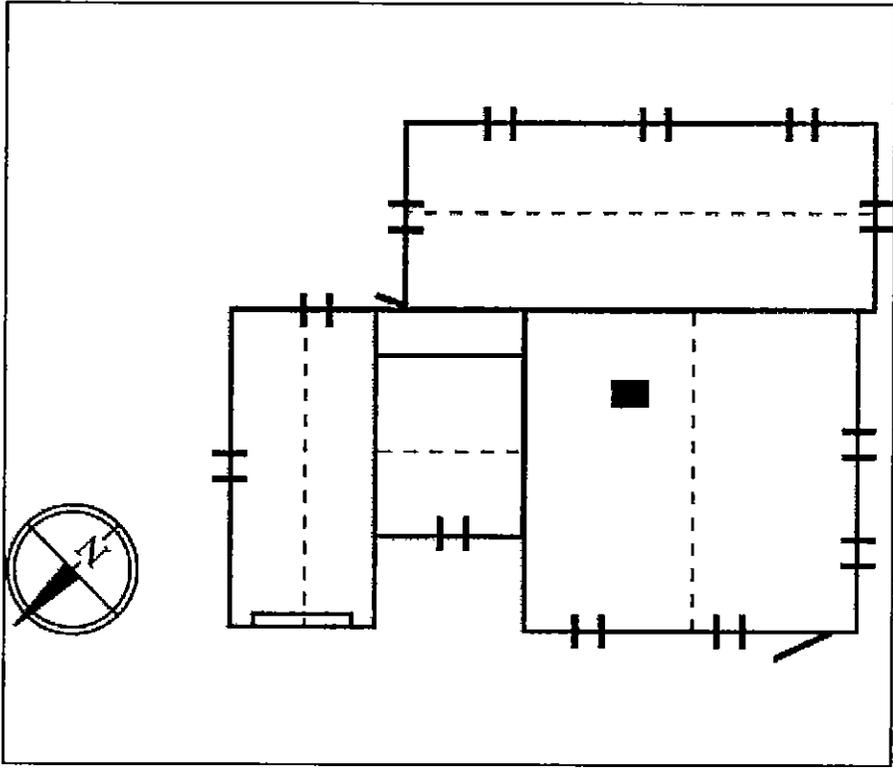


4. SITE PLAN:

CRS #   N-14238

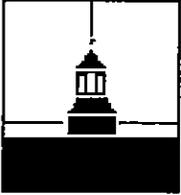
INDICATE NORTH ON PLAN

Sketch Plan



First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14238

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 1208 Centre Road

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

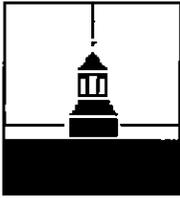
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	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14239  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1210 Centre Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 26, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14239 .001

1. ADDRESS OF PROPERTY: 1210 Centre Road
2. FUNCTION(S): historic Residential current Residential
3. YEAR BUILT: 1950 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Minimal Traditional
5. INTEGRITY: original site X moved \_\_\_\_\_  
if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair X poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

- a) Overall shape L  
stories 1  
bays 4  
wings none
- b) Structural system Frame
- c) Foundation  
basement No  
materials Concrete

- d) Exterior walls (modern over original)

materials Board and batten/asbestos shingles  
color(s) White

- e) Roof

shape; materials Cross gable; asphalt shingles  
cornice None  
dormers None  
chimney location(s)

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: Direction: West

- 1) Bays 4  
2) Windows

fenestration Irregular

type Triple 3-light metal casements with 3-light transom; metal picture with 2-light casements

trim Flat  
shutters none

## Facade (cont'd)

- 3) Door(s)  
     location Center  
     type Single leaf panel door with aluminum storm  
     trim None
- 4) Porches Concrete stoop

## b. Side: Direction: South

- 1) Bays 3
- 2) Windows  
     fenestration Regular  
     type Paired and triple metal 2-light casements  
     trim Flat  
     shutters None
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

## c. Side: Direction: North

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type Metal picture with 3-light casements and 4-light transom; triple 3-light casements with 3-light  
     trim Flat  
     shutters None
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

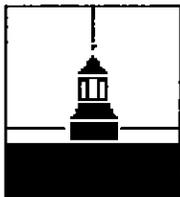
## d. Rear: Direction: East

- 1) Bays 4
- 2) Windows  
     fenestration irregular  
     type Paired metal 2-light and 3-light casements  
     trim Flat  
     shutters None
- 3) Door(s)  
     location Center  
     type Single leaf wood panel door—broken  
     trim none
- 4) Porches None

9. INTERIOR: Not accessible

10. LANDSCAPING: Asphalt driveway, concrete sidewalk, chain link fence around rear yard, chain link fenced kennel in rear yard

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14239 .002

1. ADDRESS OF PROPERTY: 1210 Centre Road
2. FUNCTION(S): Garage
3. YEAR BUILT: c. 1950 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site \_\_\_\_\_ X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair X poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Asphalt shingles
- d) Foundation not visible
- e) Roof  
structural system Front gable  
coverings Asphalt shingles  
openings none

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: West
- 1) bays: 1
- 2) windows: None
- 3) door(s): Folding overhead garage door
- 4) other:

- b) Side: direction: South
  - 1) bays:
  - 2) windows: Missing
  - 3) door(s): Single-leaf wood slab door
  - 4) other:

- c) Side: direction: North
  - 1) bays:
  - 2) windows:
  - 3) door(s):
  - 4) other: Not visible

- d) Rear: direction: East
  - 1) bays:
  - 2) windows:
  - 3) door(s):
  - 4) other: Not visible

9. INTERIOR (if accessible):

a) Floor plan

b) Partition/walls

None

c) Finishes

None

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14239 .001

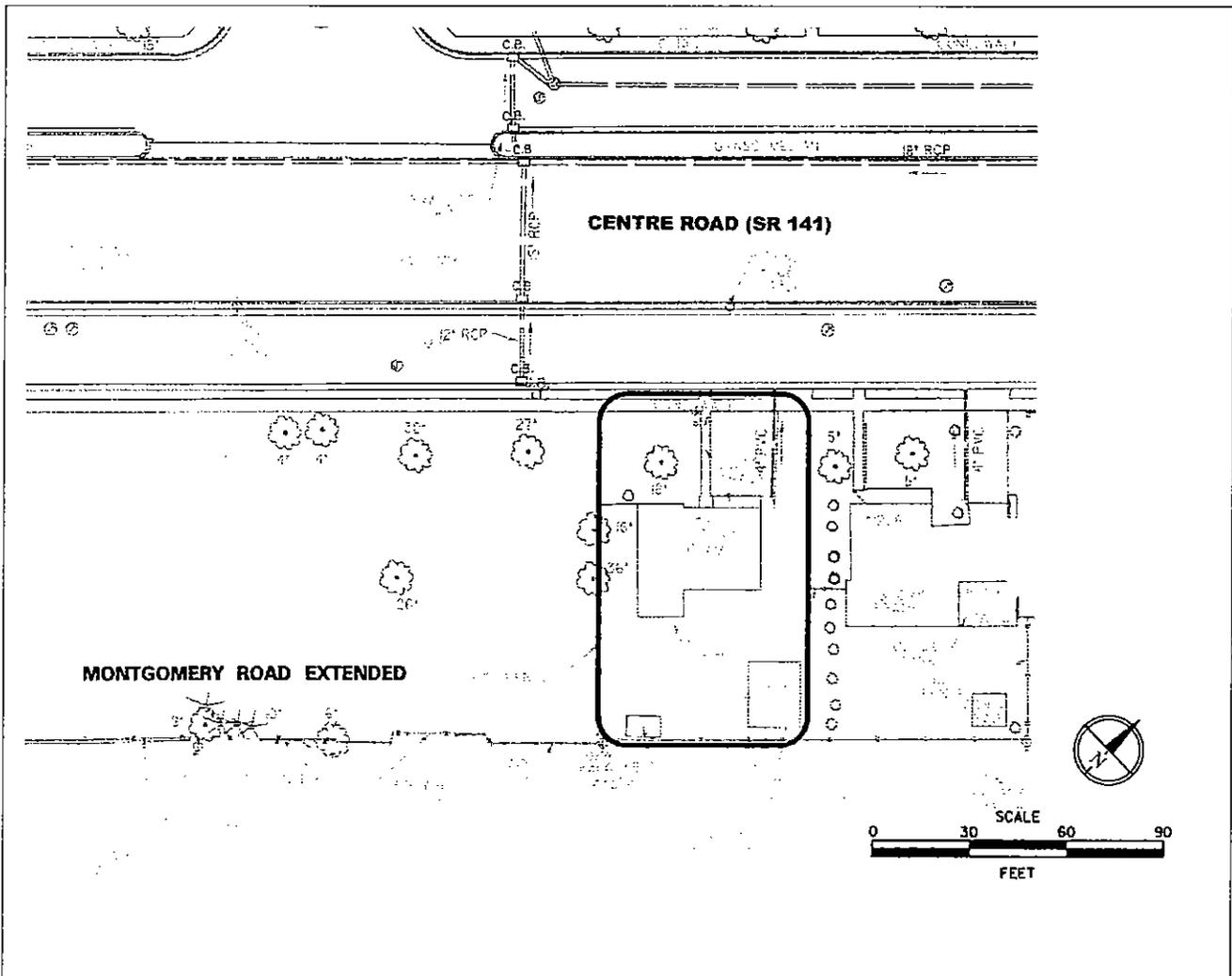
1. ADDRESS/LOCATION: 1210 Centre Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**





**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14239

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 1210 Centre Road

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

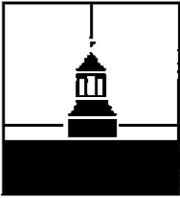
#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14240  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1220 Centre Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

Impending demolition associated with roadway improvements

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: January 18, 2005

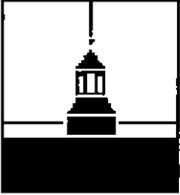
9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14240 .001

1. ADDRESS OF PROPERTY: 1220 Centre Road
2. FUNCTION(S):            historic    Residential            current    Vacant
3. YEAR BUILT: 1950            ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Minimal Traditional
5. INTEGRITY:            original site            X            moved    \_\_\_\_\_  
if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_

6. CONDITION:    excellent    \_\_\_\_\_    good    \_\_\_\_\_    fair    \_\_\_\_\_    poor    X

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape            L-shape  
   stories                    1  
   bays                        4  
   wings

b) Structural system    Frame

c) Foundation  
   basement                Concrete  
   materials                n/a

- d) Exterior walls (modern over original)

   materials                Vinyl siding  
   color(s)                  white

- e) Roof

   shape; materials        Cross gable  
   cornice                    None  
   dormers                    None  
   chimney location(s)    Brick off-center within roof surface

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: West

- 1) Bays 4  
2) Windows

   fenestration            Regular

   type                    Triple 4-light metal casements with transom above (3-light); 1-light picture with 2-light casements; metal awnings

   trim                     None

   shutters                None

## Facade (cont'd)

## 3) Door(s)

location Off-center  
 type Single leaf wood panel door with storm door  
 trim None

## 4) Porches Metal awning with metal supports, concrete pad.

## b. Side: Direction: North

## 1) Bays 2

## 2) Windows

fenestration Regular  
 type 1-light picture window with 3-light metal casements and 4-light transom; triple 3-light metal  
 trim Flat  
 shutters None

## 3) Door(s)

location None  
 type None  
 trim None

## 4) Porches None

## c. Side: Direction: South

## 1) Bays 3

## 2) Windows

fenestration Regular  
 type Triple and paired 2-light metal casements  
 trim None  
 shutters None

## 3) Door(s)

location None  
 type None  
 trim None

## 4) Porches None

## d. Rear: Direction: East

## 1) Bays 4

## 2) Windows

fenestration Regular  
 type Paired 3-light metal casements; paired 2-light casements (under porch)  
 trim None  
 shutters None

## 3) Door(s)

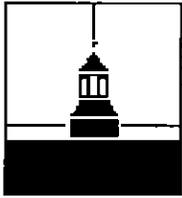
location Off-center  
 type Single leaf pane and panel door  
 trim None

## 4) Porches Enclosed porch with stacked awning windows; incorporated under main roofline.

9. INTERIOR: Interior closet converted to fish tank stand/area.

10. LANDSCAPING: Chain link fence at rear yard, asphalt driveway, gravel and concrete sidewalks, gravel pet area in rear, lamp post in front yard

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14240 .002

1. ADDRESS OF PROPERTY: 1220 Centre Road
2. FUNCTION(S): Garage (1 car)
3. YEAR BUILT: c. 1950 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Matches house
5. INTEGRITY: original site \_\_\_\_\_ X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair \_\_\_\_\_ poor X

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Asbestos shingles
- d) Foundation Not visible
- e) Roof  
structural system Front gable  
coverings Asphalt shingles  
openings None

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: West
- 1) bays: 1
- 2) windows: none
- 3) door(s): Overhead folding garage door (collapsed)
- 4) other:

- b) Side: direction: South
  - 1) bays: 2
  - 2) windows: 1/1 wood double hung sash

- 3) door(s): Wood slab door

- 4) other:

- c) Side: direction: North

- 1) bays:
  - 2) windows: none

- 3) door(s): none

- 4) other: Partially overgrown with vegetation

- d) Rear: direction: East

- 1) bays: 1
  - 2) windows:

- 3) door(s):

- 4) other:

9. INTERIOR (if accessible):

- a) Floor plan

- b) Partition/walls

- c) Finishes

- d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14240 .001

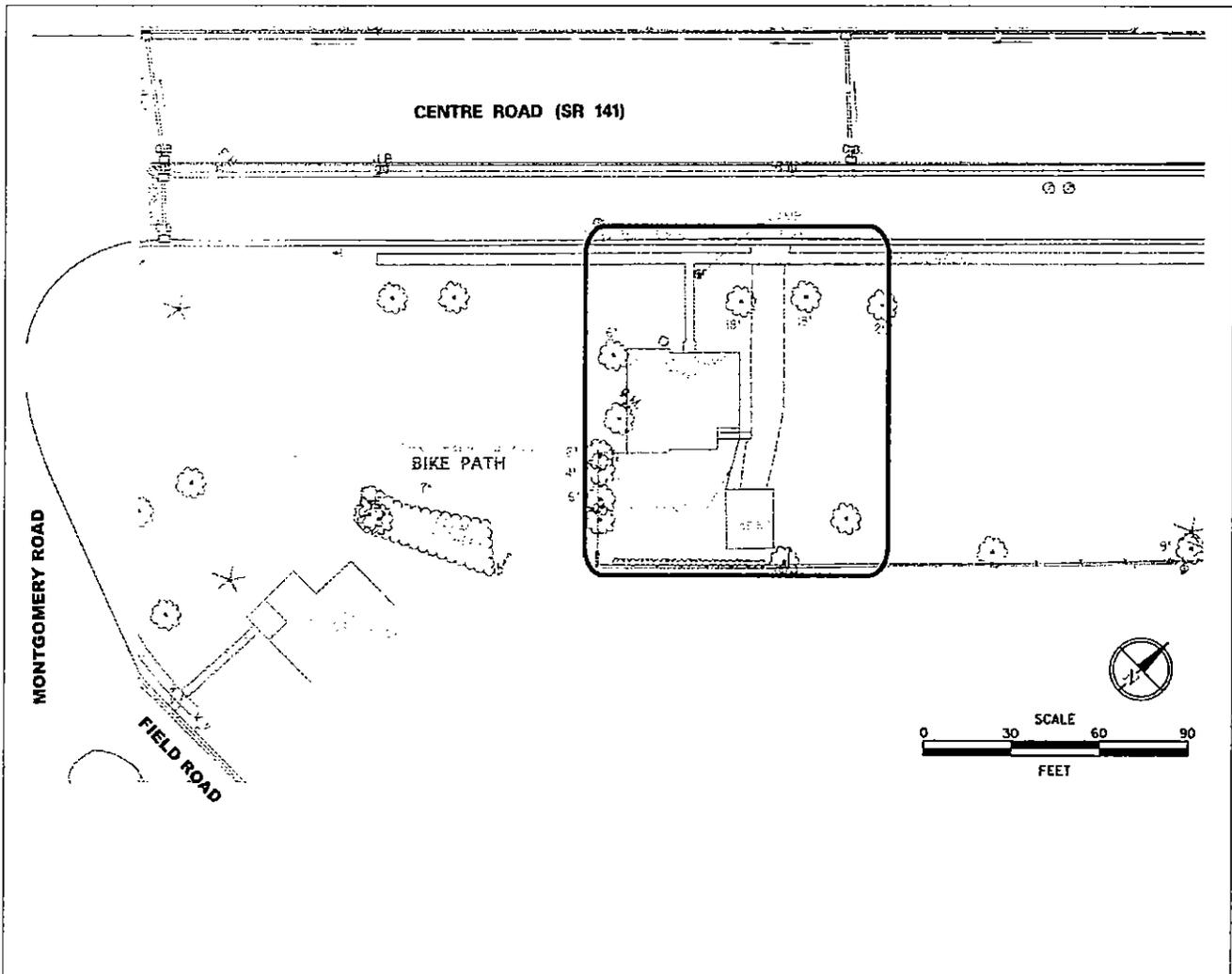
1. ADDRESS/LOCATION: 1220 Centre Road

2. NOT FOR PUBLICATION  reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**

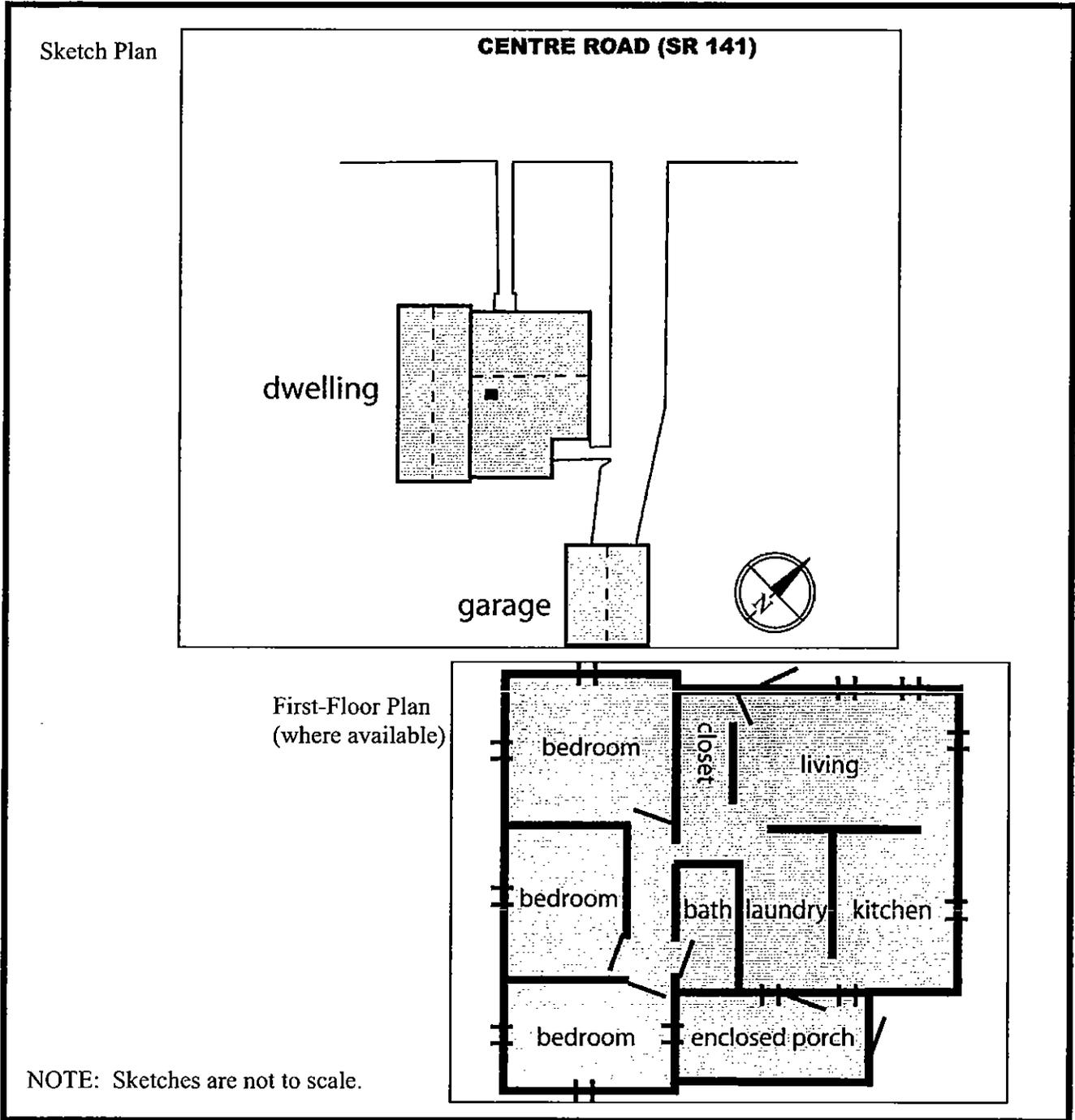


USE BLACK INK ONLY

4. SITE PLAN:

CRS # N-14240

INDICATE NORTH ON PLAN



USE BLACK INK ONLY

CRS-9



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14240

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 1220 Centre Road

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14241  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1301 Centre Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_

object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 28, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14241 .001

1. ADDRESS OF PROPERTY: 1301 Centre Road
2. FUNCTION(S):            historic    Residential            current    Residential
3. YEAR BUILT: c. 1955            ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Split-level
5. INTEGRITY:            original site            X            moved    \_\_\_\_\_  
if moved, when and from where  
\_\_\_\_\_  
list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_
6. CONDITION:            excellent    \_\_\_\_\_            good    \_\_\_\_\_            fair    \_\_\_\_\_            poor    \_\_\_\_\_
7. DESCRIPTION:            (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).
  - a) Overall shape            Rectangular  
   stories                    2  
   bays                        4  
   wings
  - b) Structural system        Frame
  - c) Foundation  
   basement                Yes  
   materials                Poured concrete
  - d) Exterior walls (modern over original)  
   materials                Vinyl siding  
   color(s)                 White
  - e) Roof  
   shape; materials         Side gable; asphalt shingles  
   cornice                    None  
   dormers                    None  
   chimney location(s)      Off-center within roof surface (brick)
8. DESCRIPTION OF ELEVATIONS:
  - a. Facade: Direction:      East
    - 1) Bays    4
    - 2) Windows  
   fenestration            Regular  
   type    Paired and triple 2/2 aluminum double hung sash  
  
   trim        Flat  
   shutters    None

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Modern single leaf pane & panel with glass storm  
     trim None
- 4) Porches Concrete stoop; wood deck

## b. Side: Direction: South

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 2/2 aluminum double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location None  
     type none  
     trim none
- 4) Porches None

## c. Side: Direction: North

- 1) Bays 2
- 2) Windows  
     fenestration None visible--view obstructed  
     type n/a  
     trim n/a  
     shutters n/a
- 3) Door(s)  
     location None visible--view obstructed  
     type n/a  
     trim n/a
- 4) Porches None visible--view obstructed

## d. Rear: Direction: West

- 1) Bays 4
- 2) Windows  
     fenestration Regular  
     type 2/2 aluminum double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location Off-center  
     type Sliding glass  
     trim None
- 4) Porches Wood deck

9. INTERIOR: Not accessible.

10. LANDSCAPING: Concrete driveway; chainlink fence with screening around rear yard

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14241

1. ADDRESS OF PROPERTY: 1301 Centre Road
2. FUNCTION(S): \_\_\_\_\_
3. YEAR BUILT: \_\_\_\_\_ ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site \_\_\_\_\_ moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system
- b) Number of stories
- c) Wall Coverings
- d) Foundation
- e) Roof
  - structural system
  - coverings
  - openings

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction:
  - 1) bays:
  - 2) windows:
  - 3) door(s):
  - 4) other:

b) Side: direction:

1) bays:

2) windows:

3) door(s):

4) other:

c) Side: direction:

1) bays:

2) windows:

3) door(s):

4) other:

d) Rear: direction:

1) bays:

2) windows:

3) door(s):

4) other:

9. INTERIOR (if accessible):

a) Floor plan

b) Partition/walls

c) Finishes

d) Furnishings/machinery

CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM

CRS # N-14241 .002

1. ADDRESS OF PROPERTY: 1301 Centre Road
2. FUNCTION(S): Shed
3. YEAR BUILT: Unknown
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system      Frame
- b) Number of stories      1
- c) Wall Coverings      Clapboard (?)
- d) Foundation      Not visible
- e) Roof  
    structural system      Gable  
    coverings      Asphalt shingles  
    openings

8. DESCRIPTION OF ELEVATIONS:

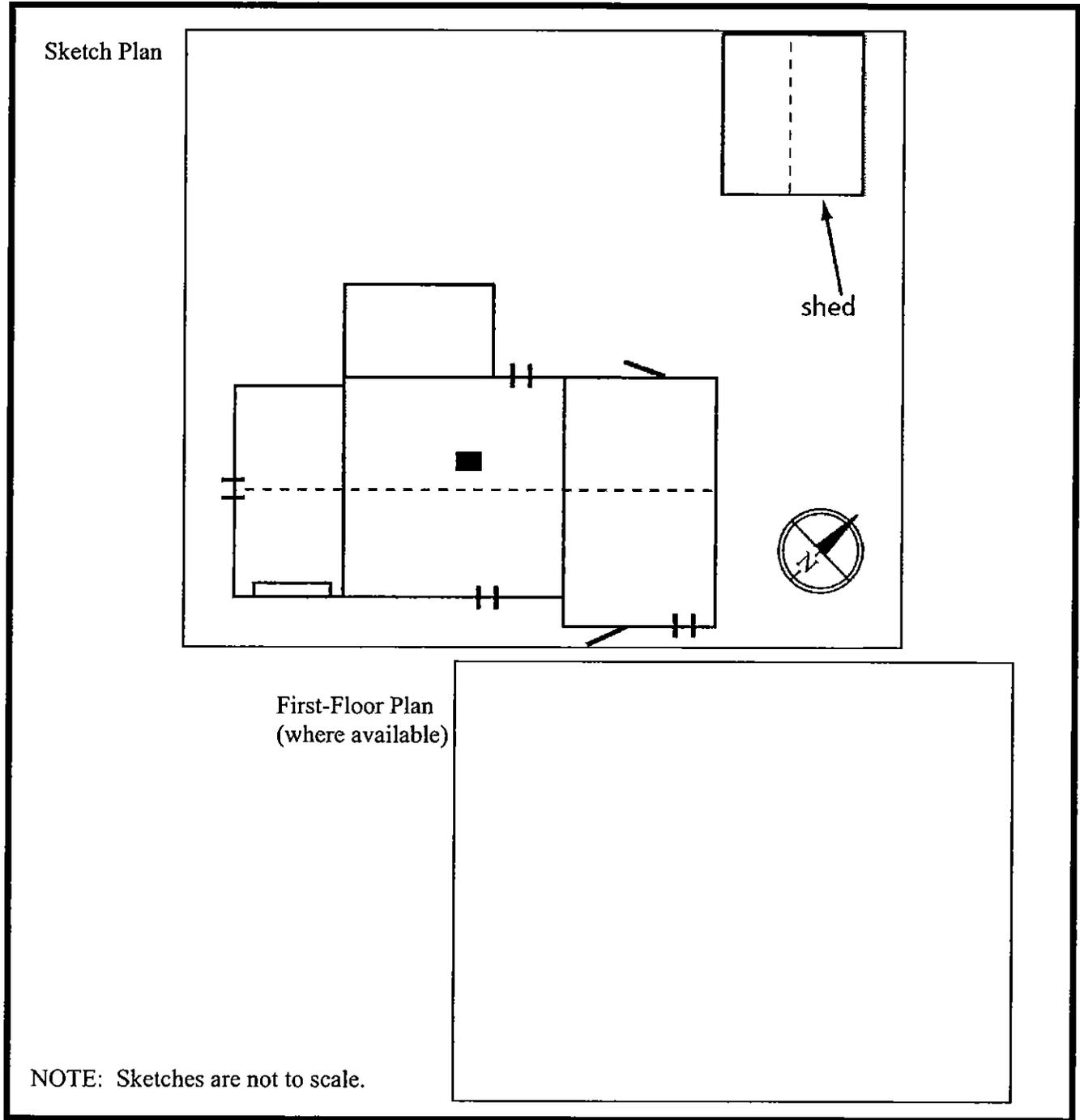
- a) Facade: direction:      South
- 1) bays:
- 2) windows:
- 3) door(s):
- 4) other:



4. SITE PLAN:

CRS # N-14241

INDICATE NORTH ON PLAN



USE BLACK INK ONLY

CRS-9



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14242  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1303 Centre Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 28, 2005

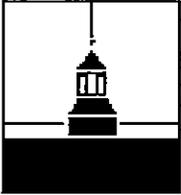
9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s)    1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone    Piedmont

c) Historic period theme(s)    Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14242 .001

1. ADDRESS OF PROPERTY: 1303 Centre Road
2. FUNCTION(S):            historic    Residential            current    Residential
3. YEAR BUILT: c. 1955            ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Split-level

5. INTEGRITY:            original site            X            moved    \_\_\_\_\_  
if moved, when and from where
- \_\_\_\_\_
- list major alterations and dates (if known)
- \_\_\_\_\_
- \_\_\_\_\_

6. CONDITION:    excellent    \_\_\_\_\_            good    X            fair    \_\_\_\_\_            poor    \_\_\_\_\_

7. DESCRIPTION:    (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).

- a) Overall shape            Rectangular  
   stories                    2  
   bays                        4  
   wings                      none
- b) Structural system        Frame
- c) Foundation  
   basement                yes  
   materials                Stuccoed concrete block
- d) Exterior walls (modern over original)  
   materials                Asbestos  
   color(s)                  Brown and white
- e) Roof  
   shape; materials        Side gable; asphalt shingles  
   cornice                    None  
   dormers                    None  
   chimney location(s)    Off-center within roof surface (brick)

8. DESCRIPTION OF ELEVATIONS:
- a. Facade: Direction:    East
- 1) Bays    4
- 2) Windows  
     fenestration    Regular  
     type    2/2 aluminum double hung windows
- trim            Flat
- shutters        Louvered, modern non-functional

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Modern single leaf pane and panel door  
     trim None
- 4) Porches Concrete stoop with metal railings

## b. Side: Direction: North

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 2-light fixed windows at basement; 1st story window boarded over  
     trim  
     shutters none
- 3) Door(s)  
     location None  
     type none  
     trim none
- 4) Porches None

## c. Side: Direction: South

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 2/2 double hung sash  
     trim Flat  
     shutters Louvered, modern non-functional
- 3) Door(s)  
     location None  
     type none  
     trim none
- 4) Porches None

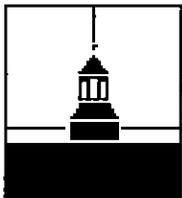
## d. Rear: Direction: West

- 1) Bays 4
- 2) Windows  
     fenestration Regular  
     type 1/1 double hung sash  
     trim Flat  
     shutters Louvered, modern non-functional
- 3) Door(s)  
     location View obstructed  
     type n/a  
     trim n/a
- 4) Porches 1-story enclosed porch with jalousie windows

9. INTERIOR: Not accessible.

10. LANDSCAPING: Asphalt driveway, concrete sidewalk, lamppost near sidewalk, concrete block retaining wall with wing walls in rear yard

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14242 .002

1. ADDRESS OF PROPERTY: 1303 Centre Road
2. FUNCTION(S): Shed
3. YEAR BUILT: Unknown ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Plywood vertical board
- d) Foundation
- e) Roof  
structural system Gambrel  
coverings Asphalt shingles  
openings none

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: East
- 1) bays:
- 2) windows: None
- 3) door(s): Double leaf vertical board
- 4) other:

b) Side: direction: South

1) bays:

2) windows: None

3) door(s): None

4) other:

c) Side: direction: North

1) bays:

2) windows:

3) door(s):

4) other: Not visible

d) Rear: direction: West

1) bays:

2) windows:

3) door(s):

4) other: Not visible

9. INTERIOR (if accessible):

a) Floor plan

Not surveyed

b) Partition/walls

c) Finishes

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14242 .001

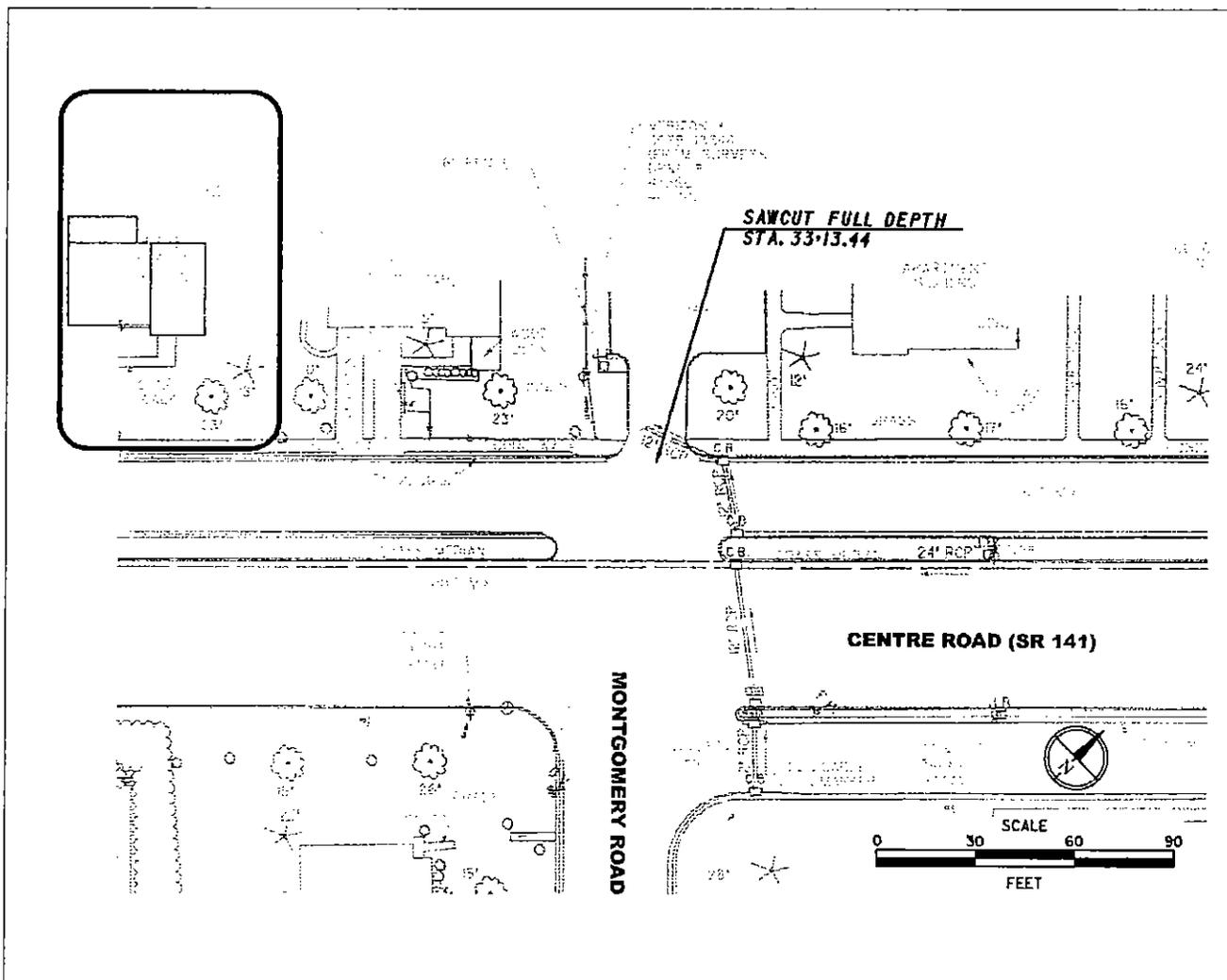
1. ADDRESS/LOCATION: 1303 Centre Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**



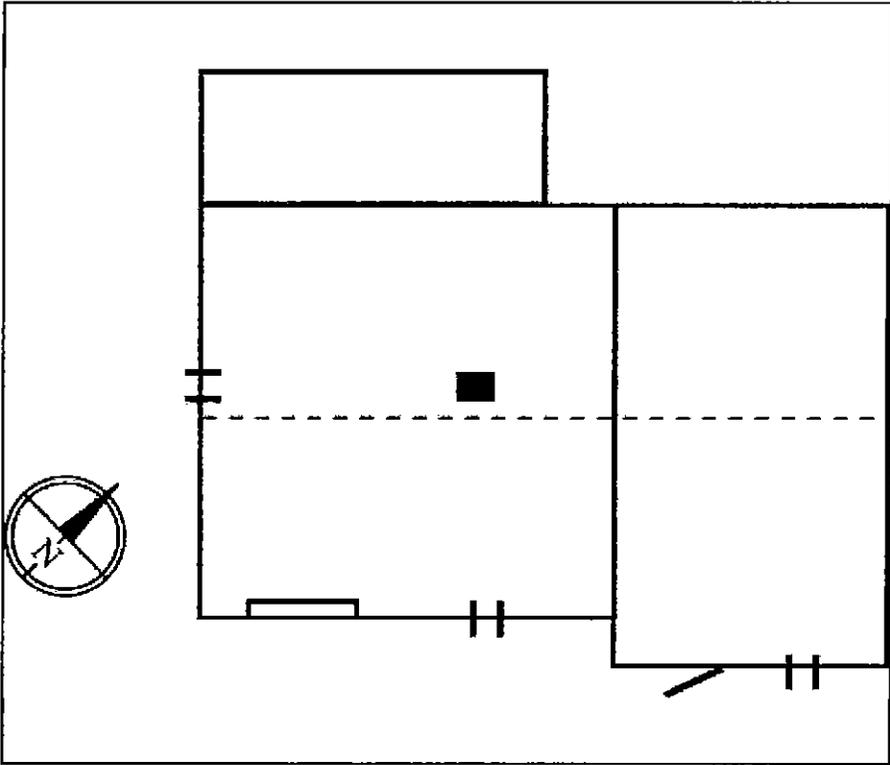
USE BLACK INK ONLY

4. SITE PLAN:

CRS # N-14242

INDICATE NORTH ON PLAN

Sketch Plan



First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14243  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 3 Eton Court

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 26, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14243 .001

1. ADDRESS OF PROPERTY: 3 Eton Court
2. FUNCTION(S):            historic    Residential            current    Residential
3. YEAR BUILT: 1950            ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Minimal Traditional
5. INTEGRITY:            original site            X            moved    \_\_\_\_\_  
if moved, when and from where  
\_\_\_\_\_  
list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_
6. CONDITION:            excellent    \_\_\_\_\_            good    X            fair    \_\_\_\_\_            poor    \_\_\_\_\_
7. DESCRIPTION:            (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).
  - a) Overall shape            Irregular  
stories            1  
bays            3  
wings            none
  - b) Structural system            Frame
  - c) Foundation  
basement            No  
materials            Concrete
  - d) Exterior walls (modern over original)  
materials            Brick; asphalt shingles  
color(s)            shingles are white
  - e) Roof  
shape; materials            Cross gable; asphalt shingles  
cornice            None  
dormers            None  
chimney location(s)            Off-center ridgeline (brick)
8. DESCRIPTION OF ELEVATIONS:
  - a. Facade: Direction:            North
    - 1) Bays            3
    - 2) Windows  
fenestration            regular  
type            Picture with 1-light casements; paired 1-light casements  
  
trim            Flat  
shutters            None

## Facade (cont'd)

- 3) Door(s)  
     location   None  
     type       n/a  
     trim       n/a  
 4) Porches   none

## b. Side: Direction: East

- 1) Bays 3  
 2) Windows  
     fenestration   Regular  
     type   1/1 double hung sash  
     trim   Flat  
     shutters   Louvered modern non-functional  
 3) Door(s)  
     location   None  
     type       n/a  
     trim       n/a  
 4) Porches   None

## c. Side: Direction: West

- 1) Bays 3  
 2) Windows  
     fenestration  
     type   1/1 vinyl double hung sash  
     trim   Flat  
     shutters   Louvered modern non-functional  
 3) Door(s)  
     location   Off-center  
     type       Single leaf pane & panel wood door with glass storm door  
     trim       None  
 4) Porches   Concrete stoop

## d. Rear: Direction: South; not visible for survey

- 1) Bays n/a  
 2) Windows  
     fenestration   n/a  
     type           n/a  
     trim           n/a  
     shutters       n/a  
 3) Door(s)  
     location       n/a  
     type           n/a  
     trim           n/a  
 4) Porches       n/a

9. INTERIOR: Not accessible

10. LANDSCAPING: Asphalt driveway, concrete sidewalk, flowerbeds, wood plank fence at rear yard

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14243 .002

1. ADDRESS OF PROPERTY: 3 Eton Court
2. FUNCTION(S): 1-car garage
3. YEAR BUILT: c. 1950 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Matches house
5. INTEGRITY: original site X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system concrete block
- b) Number of stories 1
- c) Wall Coverings Brick/concrete block
- d) Foundation not visible
- e) Roof  
structural system Front gable  
coverings Asphalt shingles  
openings

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: North
- 1) bays: 1
- 2) windows: None
- 3) door(s): Folding overhead garage door
- 4) other:

b) Side: direction: East

1) bays: 1

2) windows: None

3) door(s): None

4) other:

c) Side: direction: West

1) bays:

2) windows:

3) door(s):

4) other: Not visible

d) Rear: direction: South

1) bays:

2) windows:

3) door(s):

4) other: Not visible

9. INTERIOR (if accessible):

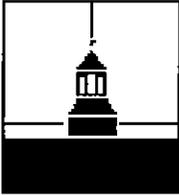
a) Floor plan

Not accessible

b) Partition/walls

c) Finishes

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14243 .001

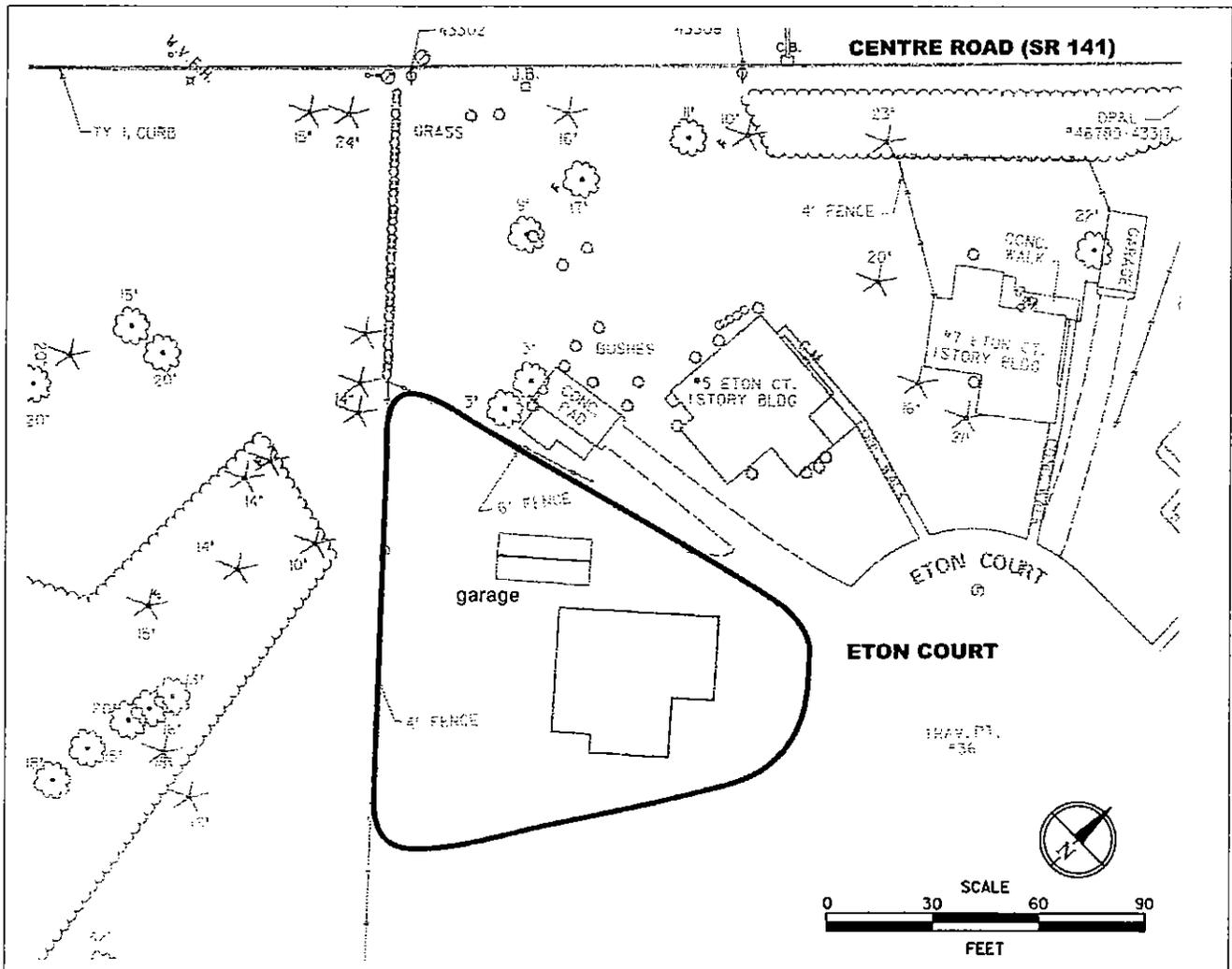
1. ADDRESS/LOCATION: 3 Eton Court

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**

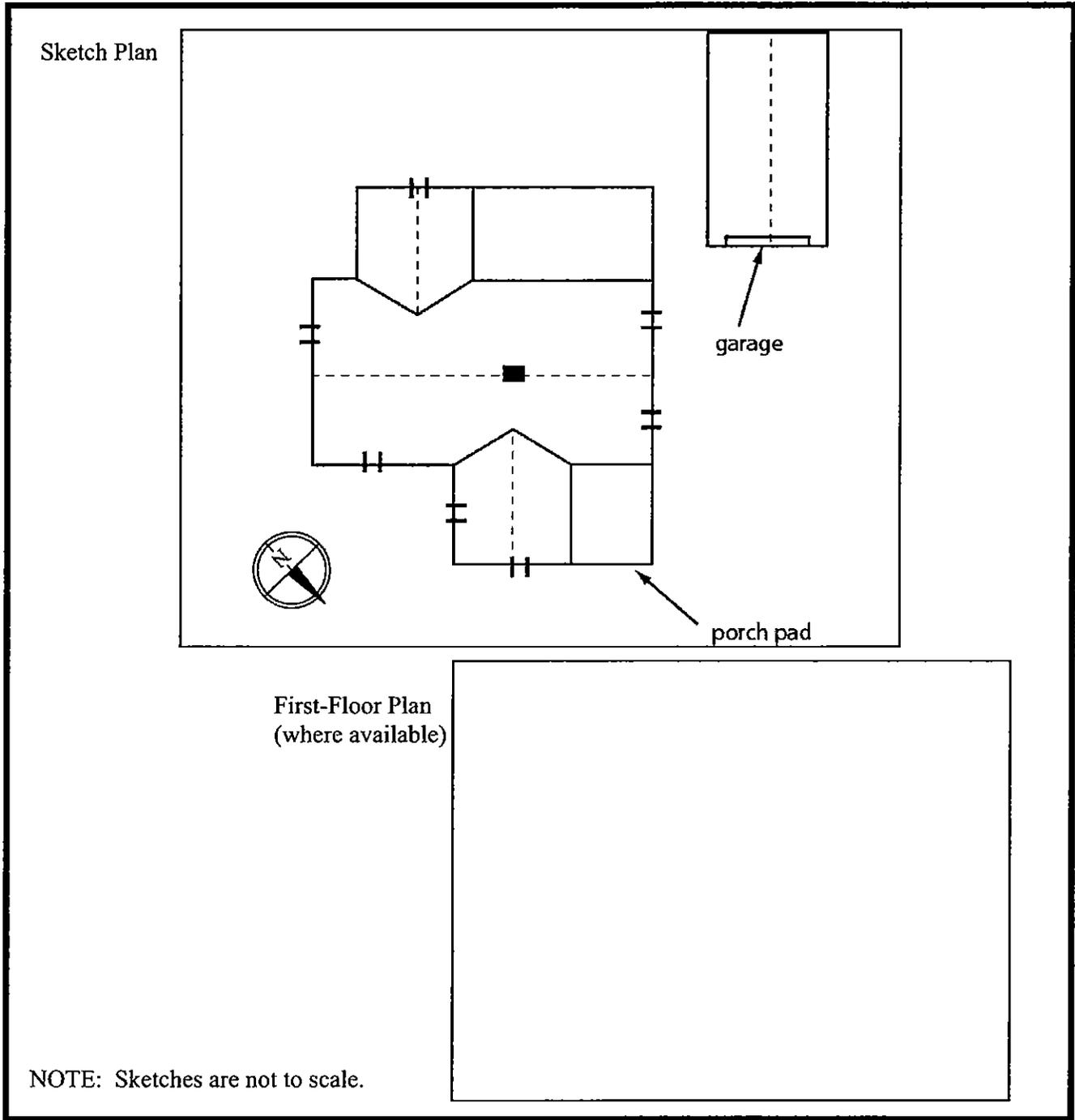


USE BLACK INK ONLY

4. SITE PLAN:

CRS #   N-14243  

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14243

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 3 Eton Court

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

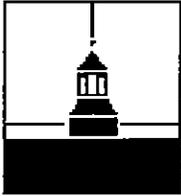
#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14244  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 5 Eton Court

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

Impending demolition associated with roadway improvements

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: January 17, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14244 .001

1. ADDRESS OF PROPERTY: 5 Eton Court

2. FUNCTION(S):            historic    Residential            current    Vacant

3. YEAR BUILT: 1950            ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Minimal Traditional

5. INTEGRITY:            original site            X            moved    \_\_\_\_\_

if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION:    excellent    \_\_\_\_\_    good    X    fair    \_\_\_\_\_    poor    \_\_\_\_\_

7. DESCRIPTION:    (Describe the resource as completely as possible.)

Use N/A for not applicable; leave no blanks).

a) Overall shape            Square  
   stories                    1  
   bays                        3  
   wings                      n/a

b) Structural system    Frame

c) Foundation  
   basement            Not visible  
   materials            No

d) Exterior walls (modern over original)

   materials            Brick; aluminum siding on gable ends  
   color(s)                white aluminum siding

e) Roof

   shape; materials        Cross gable; asphalt shingles  
   cornice                    None  
   dormers                    None  
   chimney location(s)    Brick off-center on ridgeline

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction:    East

   1) Bays    3

   2) Windows

     fenestration    Irregular

     type    Paired 6/6 vinyl double-hung sash; multi-light picture window with flanking 6/6 double-hung sash.

     trim        None

     shutters    Modern non-functional louvered

## Facade (cont'd)

- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

## b. Side: Direction: North

- 1) Bays 4
- 2) Windows  
     fenestration Irregular  
     type 6/6 vinyl double-hung sash  
     trim None  
     shutters Modern non-functional louvered
- 3) Door(s)  
     location two off-center doors  
     type modern single leaf wood doors with storm doors  
     trim None
- 4) Porches Concrete stoop at "front" door; metal awning over "rear" door on enclosed porch.

## c. Side: Direction: South

- 1) Bays 2
- 2) Windows  
     fenestration Irregular  
     type 6/6 vinyl double-hung sash  
     trim None  
     shutters None
- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

## d. Rear: Direction: West

- 1) Bays 3
- 2) Windows  
     fenestration Irregular  
     type 6/6 vinyl double-hung sash  
     trim None  
     shutters None
- 3) Door(s)  
     location Center  
     type Single leaf modern; storm door (inside porch)  
     trim None
- 4) Porches Enclosed porch with shed roof, broad eave.

9. INTERIOR: n/a

10. LANDSCAPING: Shrubs, asphalt driveway, concrete sidewalks to house, concrete foundation/pad next to garage, flagstone walk from house to garage.

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14244 .002

1. ADDRESS OF PROPERTY: 5 Eton Court
2. FUNCTION(S): Garage (1 car)
3. YEAR BUILT: c. 1950 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Matches house
5. INTEGRITY: original site \_\_\_\_\_ X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system
- b) Number of stories 1
- c) Wall Coverings brick, except asbestos shingles on gable ends and stucco sides and rear
- d) Foundation Concrete
- e) Roof
- |                   |                         |
|-------------------|-------------------------|
| structural system | <u>Front gable</u>      |
| coverings         | <u>Asphalt shingles</u> |
| openings          | <u>none</u>             |

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: East
- 1) bays: 1
- 2) windows: none
- 3) door(s): Overhead folding garage door
- 4) other:

- b) Side: direction: North
  - 1) bays: 1
  - 2) windows: 6/6 wood double-hung sash
  
  - 3) door(s): none
  
  - 4) other:

- c) Side: direction: South
  - 1) bays: 1
  - 2) windows:
  
  - 3) door(s):
  
  - 4) other:

- d) Rear: direction: West
  - 1) bays: 1
  - 2) windows: 6/6 wood double-hung sash
  
  - 3) door(s): none
  
  - 4) other:

9. INTERIOR (if accessible):

- a) Floor plan
  
  
- b) Partition/walls
  
  
- c) Finishes
  
  
- d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14244 .001

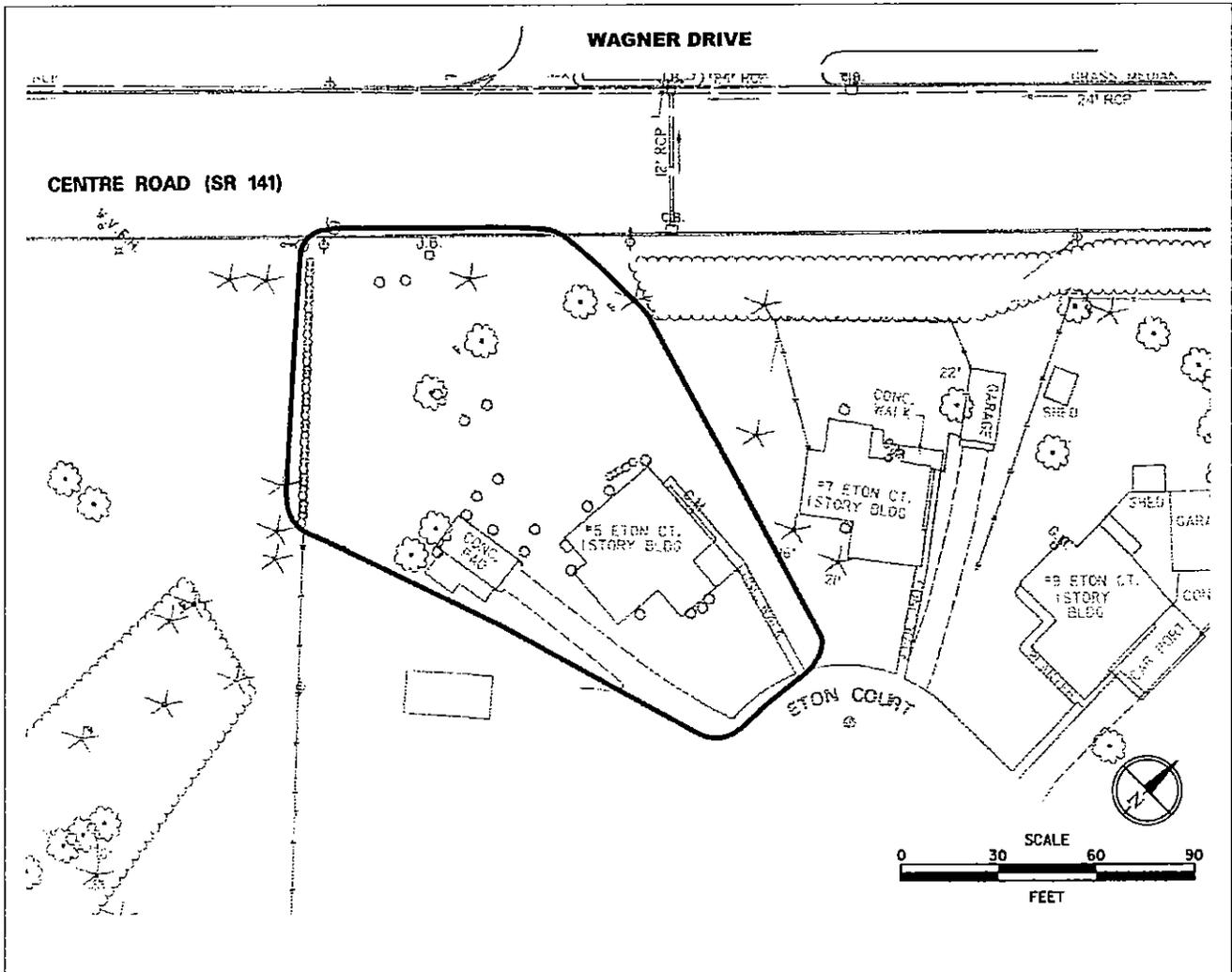
1. ADDRESS/LOCATION: 5 Eton Court

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**

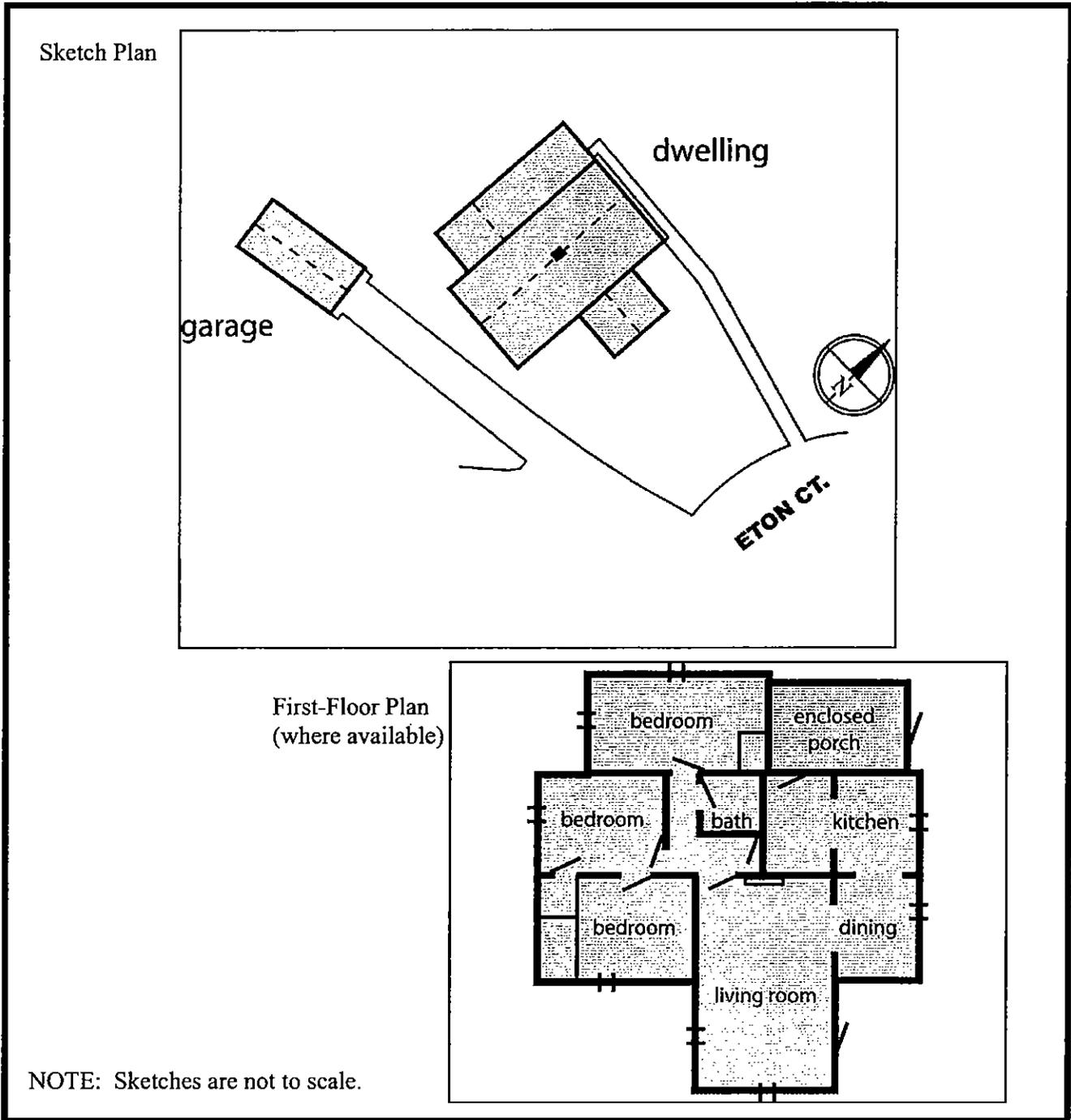


USE BLACK INK ONLY

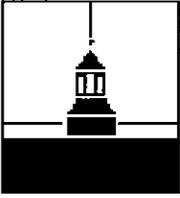
4. SITE PLAN:

CRS # N-14244

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14244

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 5 Eton Court

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

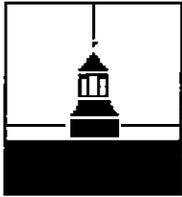
#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14245  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 7 Eton Court

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_

object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present \_\_\_\_\_ Vacant \_\_\_\_\_

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

Impending demolition associated with roadway improvements

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: January 17, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14245 .001

1. ADDRESS OF PROPERTY: 7 Eton Court

2. FUNCTION(S): historic Residential current Vacant

3. YEAR BUILT: 1953 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Minimal Traditional

5. INTEGRITY: original site X moved \_\_\_\_\_

if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape Irregular  
stories 1  
bays 3  
wings n/a

b) Structural system Frame

c) Foundation  
basement Crawlspace  
materials Concrete block

d) Exterior walls (modern over original)  
materials Brick; asbestos shingles  
color(s) Red brick; white shingles

e) Roof  
shape; materials Cross gable  
cornice None  
dormers None  
chimney location(s) Off-center at ridgeline

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: East

1) Bays 3  
2) Windows

fenestration Irregular

type Single pane picture window with 4/4 wood double-hung sash; 6/6 wood double-hung sash

trim Flat

shutters Modern non-functional louvered

## Facade (cont'd)

## 3) Door(s)

location None  
 type None  
 trim None

## 4) Porches None

## b. Side: Direction: North

## 1) Bays 3

## 2) Windows

fenestration Irregular  
 type 1/1 wood double-hung sash  
 trim Flat wood  
 shutters modern nonfunctional louvered

## 3) Door(s)

location Off-center  
 type Modern pane and panel single leaf  
 trim None

## 4) Porches Open, partial width porch with shed roof and wood square post supports

## c. Side: Direction: South

## 1) Bays 3

## 2) Windows

fenestration Irregular  
 type 1/1 and 8/8 wood double-hung sash  
 trim Flat  
 shutters Modern nonfunctional louvered

## 3) Door(s)

location None  
 type None  
 trim None

## 4) Porches None

## d. Rear: Direction: West

## 1) Bays 4

## 2) Windows

fenestration Irregular  
 type 1/1 wood double-hung sash  
 trim Flat  
 shutters Modern nonfunctional louvered

## 3) Door(s)

location Off-center  
 type Modern single leaf pane and panel with aluminum storm door  
 trim None

## 4) Porches None

9. INTERIOR: Same layout as 5 Eton Court and 9 Eton Court.

10. LANDSCAPING: Asphalt drive, concrete sidewalk, flagstone landing, chain link fence around rear yard.

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14245 .002

1. ADDRESS OF PROPERTY: 7 Eton Court
2. FUNCTION(S): Garage
3. YEAR BUILT: c. 1950 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Matches house
5. INTEGRITY: original site \_\_\_\_\_ X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system frame
- b) Number of stories 1
- c) Wall Coverings Asbestos shingles - matches house
- d) Foundation Concrete
- e) Roof  
structural system Front gable  
coverings Asphalt shingles  
openings None

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: southeast
- 1) bays: 1
- 2) windows: none
- 3) door(s): overhead folding pane and panel garage door
- 4) other:

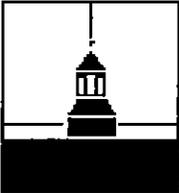
- b) Side: direction:        northeast
  - 1) bays: 1
  - 2) windows: 6/6 wood double-hung sash window
  
  - 3) door(s): none
  
  - 4) other:

- c) Side: direction:    southwest
  - 1) bays: 1
  - 2) windows: none
  
  - 3) door(s): single-leaf door
  
  - 4) other:

- d) Rear: direction:    northwest
  - 1) bays: 1
  - 2) windows: none
  
  - 3) door(s): none
  
  - 4) other:

9. INTERIOR (if accessible):

- a) Floor plan
  
  
- b) Partition/walls
  
  
- c) Finishes
  
  
- d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14245 .001

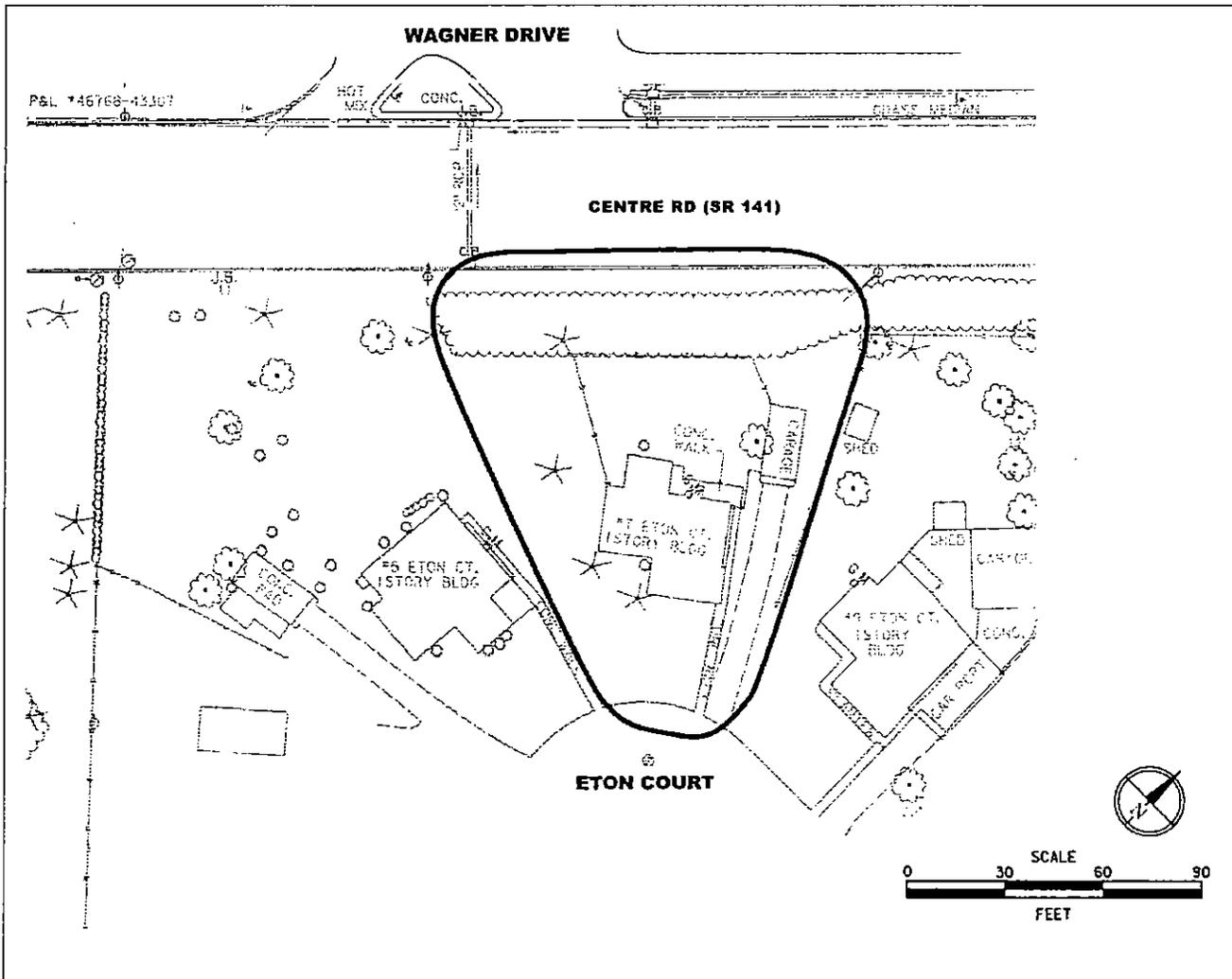
1. ADDRESS/LOCATION: 7 Eton Court

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical andmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

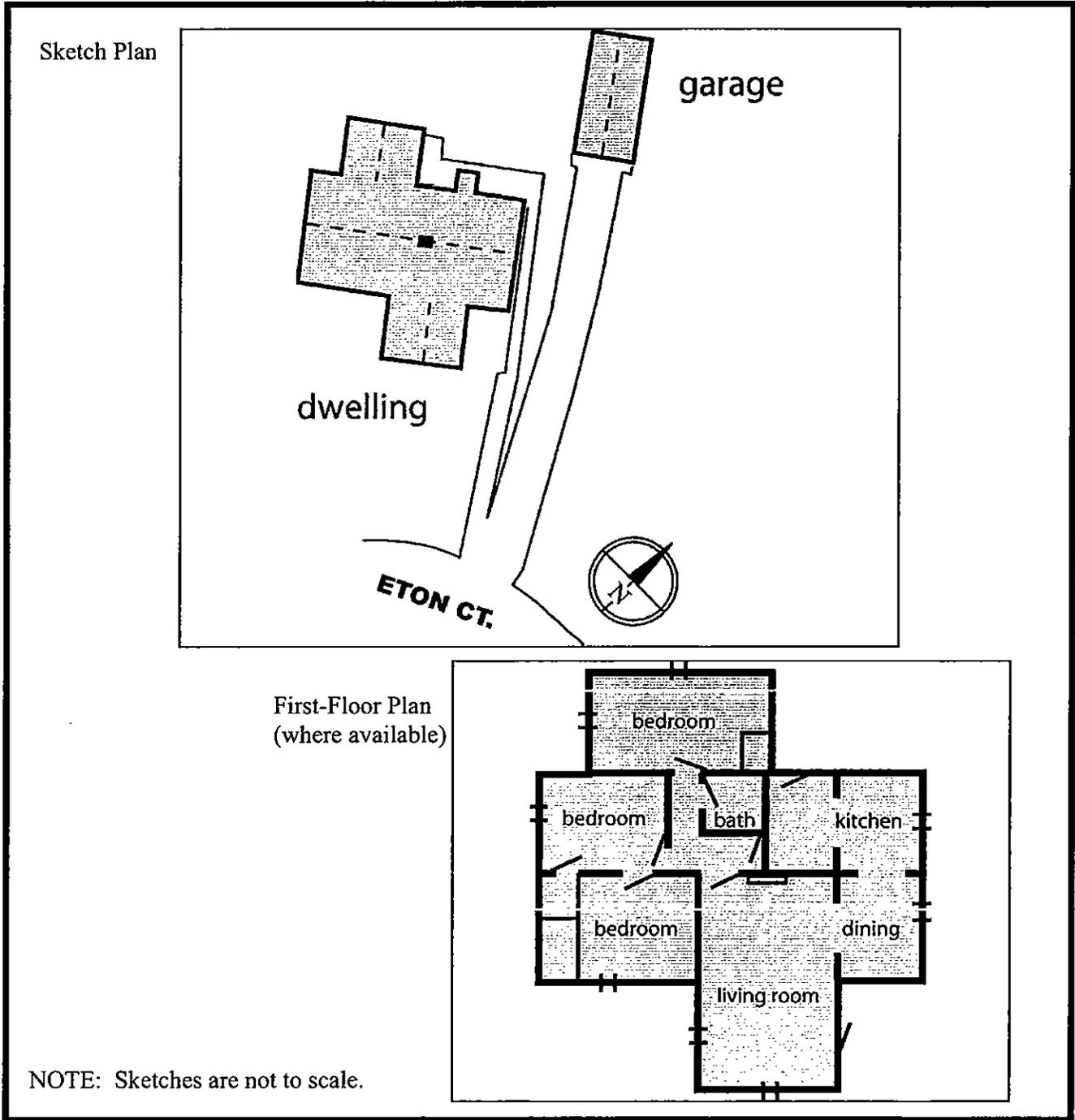
**INDICATE NORTH ON SKETCH**



4. SITE PLAN:

CRS # N-14245

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14245

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 7 Eton Court

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

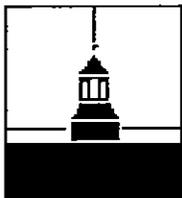
#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14246  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 9 Eton Court

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_

object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

Impending demolition associated with roadway improvements

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: January 17, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14246 .001

1. ADDRESS OF PROPERTY: 9 Eton Court
2. FUNCTION(S):            historic    Residential            current    Vacant
3. YEAR BUILT: 1952            ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Minimal Traditional
5. INTEGRITY:            original site            X            moved    \_\_\_\_\_  
if moved, when and from where  
\_\_\_\_\_  
list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_
6. CONDITION:            excellent    \_\_\_\_\_            good    X            fair    \_\_\_\_\_            poor    \_\_\_\_\_
7. DESCRIPTION:            (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).
- a) Overall shape            Irregular  
   stories                    1  
   bays                        3  
   wings                      n/a
- b) Structural system        Frame
- c) Foundation  
   basement                crawlspace  
   materials                Concrete block
- d) Exterior walls (modern over original)  
   materials                Brick; vinyl siding  
   color(s)                  white vinyl siding
- e) Roof  
   shape; materials        Cross gable; asphalt shingles  
   cornice                    Flat wood trim  
   dormers                    None  
   chimney location(s)    Off-center at ridgeline
8. DESCRIPTION OF ELEVATIONS:
- a. Facade: Direction:        South
- 1) Bays                    3  
   2) Windows  
     fenestration            Irregular  
     type                      Picture window with 4/4 wood double-hung sash; 6/6 wood double-hung sash  
  
     trim                        Flat  
     shutters                  None

## Facade (cont'd)

- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

## b. Side: Direction: West

- 1) Bays 3
- 2) Windows  
     fenestration Irregular  
     type 8/8 and 6/6 wood double-hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

## c. Side: Direction: East

- 1) Bays 4
- 2) Windows  
     fenestration Irregular  
     type 6/6 and 8/8 wood double-hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location Off-center  
     type Single leaf two pane and panel wood door with full glass storm door.  
     trim None
- 4) Porches Open porch with stoop, shed roof, wood supports and iron railings.

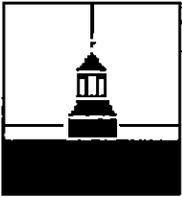
## d. Rear: Direction: North

- 1) Bays 3
- 2) Windows  
     fenestration Irregular  
     type 6/6 wood double-hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location Off-center  
     type Modern single-leaf wood pane and panel door  
     trim None
- 4) Porches Small wood deck.

9. INTERIOR: Similar floor plan to other buildings on Eton Court.

10. LANDSCAPING: Asphalt driveway, concrete pad at rear, trimmed flower beds.

11. OTHER COMMENTS: Open carport with shed roof on east side, small wood deck attached to house.



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14246 .002

1. ADDRESS OF PROPERTY: 9 Eton Court
2. FUNCTION(S): garage
3. YEAR BUILT: c. 1980s ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Matches house
5. INTEGRITY: original site \_\_\_\_\_ X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system frame
- b) Number of stories 1
- c) Wall Coverings Vinyl siding
- d) Foundation Concrete
- e) Roof  
structural system Front gable  
coverings Asphalt shingles  
openings none

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: South
- 1) bays: 1
- 2) windows: none
- 3) door(s): Double-width overhead folding garage door
- 4) other:

b) Side: direction: East

1) bays: 1

2) windows: none

3) door(s): Steel single leaf door

4) other:

c) Side: direction:

1) bays:

2) windows:

3) door(s):

4) other:

d) Rear: direction: North

1) bays: 2

2) windows: two sliding windows

3) door(s):

4) other:

9. INTERIOR (if accessible):

a) Floor plan

Open rectangular plan

b) Partition/walls

None

c) Finishes

d) Furnishings/machinery

Tool cabinets

CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM

CRS # N-14246

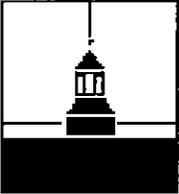
1. ADDRESS OF PROPERTY: 9 Eton Court
2. FUNCTION(S): Shed
3. YEAR BUILT: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site  moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair  poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system      Metal frame
- b) Number of stories      1
- c) Wall Coverings      Aluminum
- d) Foundation      Concrete pad
- e) Roof  
    structural system      Gambrel  
    coverings      Aluminum  
    openings

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction:      East
- 1) bays:      1
- 2) windows:      none
- 3) door(s):      Sliding aluminum double doors
- 4) other:



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14246 .001

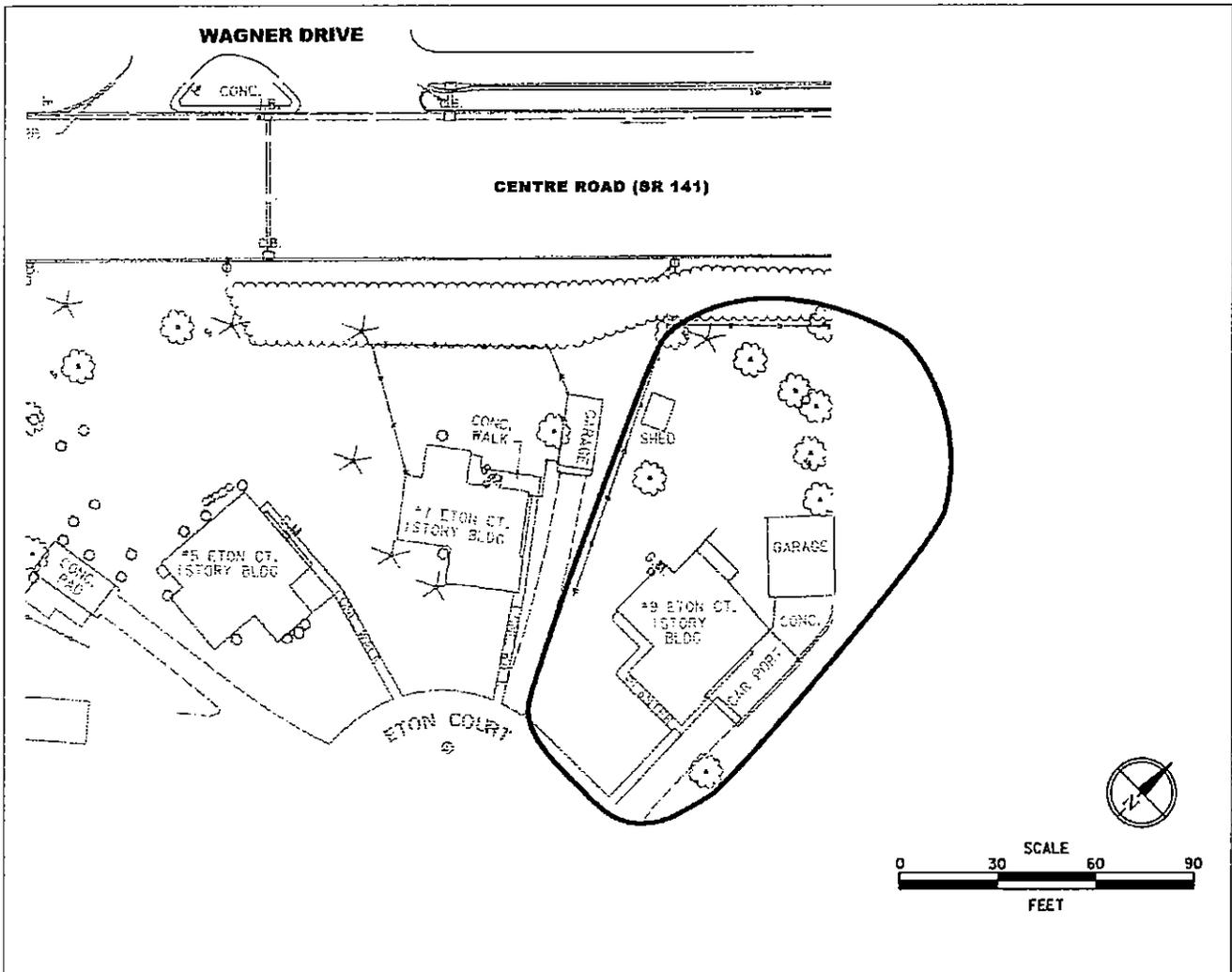
1. ADDRESS/LOCATION: 9 Eton Court

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical andmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**

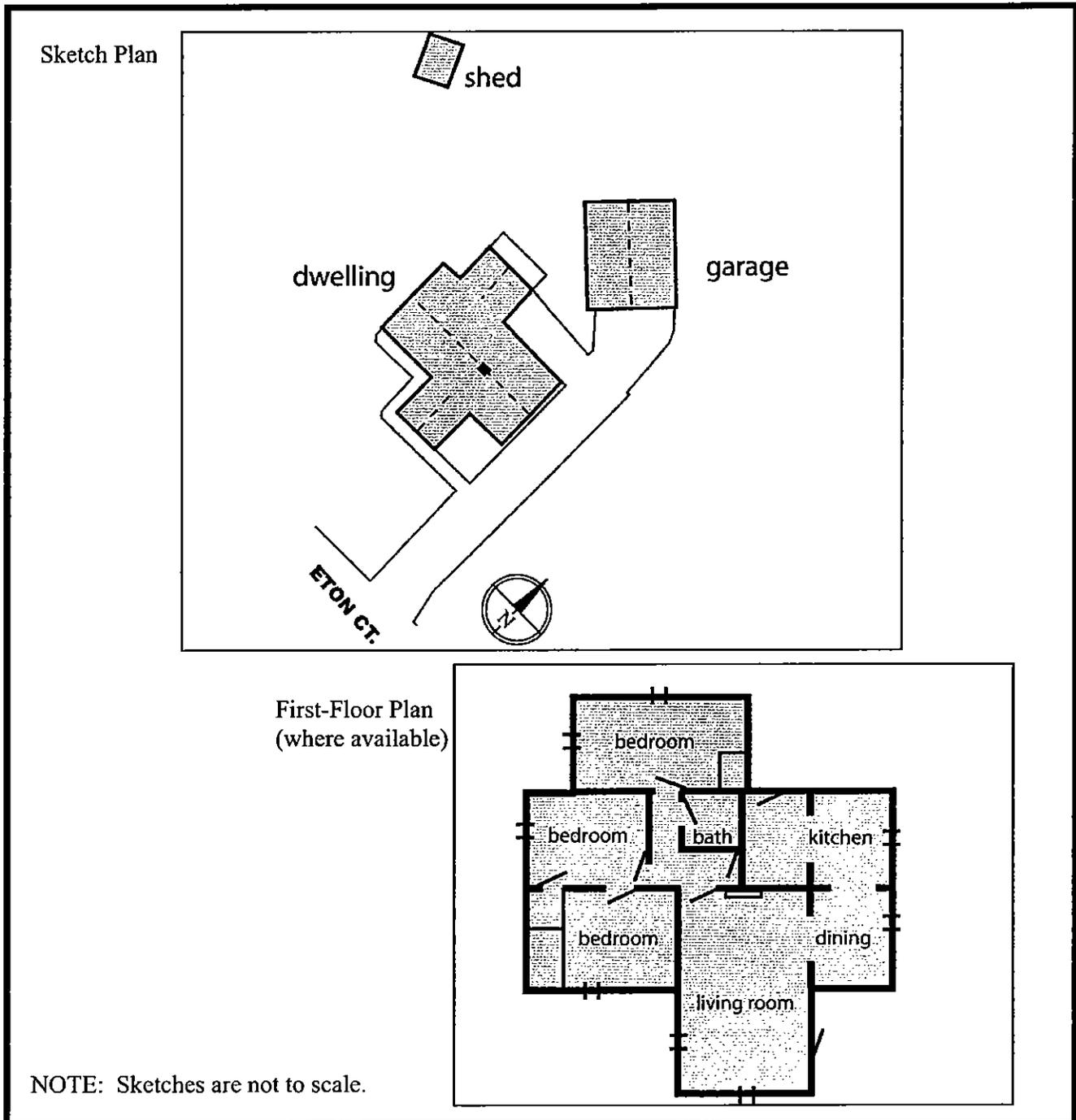


USE BLACK INK ONLY

4. SITE PLAN:

CRS # N-14246

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14246

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 9 Eton Court

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-497  
SPO Map 08-09-36  
Hundred Christiana  
Quad Wilmington South  
Other \_\_\_\_\_

1. NAME OF PROPERTY: Ferris Reform School

2. STREET ADDRESS: 1825 Faulkland Road

3. NEAREST TOWN Wilmington vicinity? yes

4. TYPE OF RESOURCE: building \_\_\_\_\_ structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district  landscape \_\_\_\_\_

5. FUNCTION: original school / correctional present school / correctional facility  
facility

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
9	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
1	CRS 9 Map Form	N/A
1	CRS 14 Potential District Form	

8. Surveyor name: J. Davies; E. Burling; J. Kennedy; V. Zeoli PHONE: 215-790-1050

Principal investigator name: Johnette Davies, Director of Historical Services

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: 10/04/2005

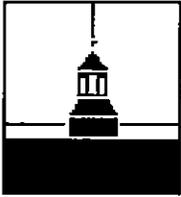
9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Architecture, Engineering, and Decorative Arts; Government; Education



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N497 .001

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Harlan Building

2. FUNCTION(S): historic school/correctional current school/correctional facility

3. YEAR BUILT: c. 1810 ARCHITECT/BUILDER: unknown

4. STYLE/FLOOR PLAN: Vernacular Federal Style

5. INTEGRITY: original site x moved  
if moved, when and from where

list major alterations and dates (if known)

Additions to the side and rear of the building (c. 1933-1968) were removed c. 2001.

6. CONDITION: excellent good fair x poor

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape rectangular  
stories 2.5  
bays 6  
wings none

b) Structural system masonry

c) Foundation  
basement partial  
materials limestone

d) Exterior walls (modern over original)

materials stucco  
color(s) white

e) Roof

shape; materials side gable with asphalt shingles  
cornice wood  
dormers wood gable dormers with slate clad cheeks  
chimney location(s) paired, double end

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: East

1) Bays 6

2) Windows

fenestration symmetrical

type 6/6 dhs wood windows

trim wood

shutters black louvered

## Facade (cont'd)

- 3) Door(s)  
     location    off center on main facade  
     type        single leaf wood panel door with ten pane transom  
     trim        wood
- 4) Porches    front stoop is concrete with stairs leading to front entrance

## b. Side: Direction: North

- 1) Bays    2
- 2) Windows  
     fenestration    symmetrical  
     type            wood dhs  
     trim            wood  
     shutters        black louvered
- 3) Door(s)  
     location        n/a  
     type            n/a  
     trim            n/a
- 4) Porches   n/a

## c. Side: Direction: South

- 1) Bays    2
- 2) Windows  
     fenestration    symmetrical  
     type            6/6 wood dhs, one fanlight near peak  
     trim            wood  
     shutters        black louvered
- 3) Door(s)  
     location        n/a  
     type            n/a  
     trim            n/a
- 4) Porches   n/a

## d. Rear: Direction: West

- 1) Bays    6
- 2) Windows  
     fenestration    symmetrical  
     type            wood dhs  
     trim            wood  
     shutters        black louvered
- 3) Door(s)  
     location        northwest corner  
     type            wood  
     trim            wood
- 4) Porches   corner cutout, with full height open porch supported by one round wood column and one concrete square column at northwest corner

9. INTERIOR: According to previous surveys, the interior features a detailed staircase and turned wood balustrades. The building served as living quarters and offices for administration.

10. LANDSCAPING:

11. OTHER COMMENTS: currently mothballed and vacant



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N497 .002

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Cleveland D. White Community Services Building

2. FUNCTION(S): historic school/correctional current school/correctional facility

3. YEAR BUILT: c. 1930 ARCHITECT/BUILDER: unknown

4. STYLE/FLOOR PLAN: Colonial Revival / Irregular

5. INTEGRITY: original site x moved  
if moved, when and from where

list major alterations and dates (if known)

replacement windows

6. CONDITION: excellent x good fair poor

7. DESCRIPTION: (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).

a) Overall shape Rectangular  
stories 2  
bays 11  
wings none

b) Structural system masonry

c) Foundation  
basement unknown  
materials concrete

d) Exterior walls (modern over original)

materials brick, with 9 courses running bond and 1 course Flemish bond  
color(s) red

e) Roof

shape; materials hipped, with asphalt shingles  
cornice wood  
dormers none  
chimney location(s) not visible

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: East

1) Bays 11

2) Windows

fenestration symmetrical

type 1/1 replacement, aluminum

trim aluminum, with stone sill

shutters none

## Facade (cont'd)

- 3) Door(s)  
 location centrally located: two doorways within large portico; secondary entrance via ADA ramp  
 type slab doors  
 trim metal
- 4) Porches arched arcade entry way in center of East facade; hipped roof; rock-faced concrete block columns

## b. Side: Direction: North

- 1) Bays 2
- 2) Windows  
 fenestration symmetrical  
 type 1/1 metal dhs  
 trim aluminum  
 shutters none
- 3) Door(s)  
 location none  
 type none  
 trim none
- 4) Porches none

## c. Side: Direction: South

- 1) Bays 2
- 2) Windows  
 fenestration symmetrical  
 type 1/1 metal dhs  
 trim aluminum  
 shutters none
- 3) Door(s)  
 location n/a  
 type n/a  
 trim n/a
- 4) Porches none

## d. Rear: Direction: West

- 1) Bays 12
- 2) Windows  
 fenestration symmetrical  
 type 1/1 dhs; windows sit within larger, original arched openings that have been bricked in, w/ stone sills  
 trim aluminum  
 shutters none
- 3) Door(s)  
 location  
 type slab  
 trim metal
- 4) Porches none

9. INTERIOR: According to previous surveys, the interior has undergone extensive renovations to allow for conversion from classrooms to offices and a training center.

10. LANDSCAPING:

11. OTHER COMMENTS: Currently serves as the Department of Services for Children, Youth, and their Families Training Academy.



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N497 .003

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Maintenance Building

2. FUNCTION(S): historic unknown current maintenance facilities

3. YEAR BUILT: c. 1945 ARCHITECT/BUILDER: unknown

4. STYLE/FLOOR PLAN: Rectangular/ Vernacular

5. INTEGRITY: original site x moved \_\_\_\_\_  
if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION: excellent \_\_\_\_\_ good x fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).

a) Overall shape Rectangular  
stories 1  
bays 4  
wings none

b) Structural system masonry

c) Foundation  
basement none  
materials concrete

d) Exterior walls (modern over original)  
materials brick (9 courses running bond and one course Flemish bond)  
color(s) red

e) Roof  
shape; materials flat; asphalt shingles  
cornice none  
dormers none  
chimney location(s) metal chimney near center

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: West

1) Bays 4

2) Windows

fenestration

type multi-light awning windows

trim aluminum with flat, molded concrete sills

shutters none

## Facade (cont'd)

- 3) Door(s)  
 location one door at southwest corner of west facade; two garage bays in center of west facade  
 type 3-pane metal door for pedestrians; metal garage doors  
 trim metal
- 4) Porches none

## b. Side: Direction: South

- 1) Bays
- 2) Windows  
 fenestration symmetrical  
 type multi-light awning windows  
 trim aluminum  
 shutters none
- 3) Door(s)  
 location none  
 type none  
 trim none
- 4) Porches none

## c. Side: Direction: North

- 1) Bays 6
- 2) Windows  
 fenestration asymmetrical  
 type fixed and awning windows, metal frame  
 trim metal and wood  
 shutters none
- 3) Door(s)  
 location at east end  
 type two pedestrian entrances (one sealed) and one garage door entryway  
 trim metal and wood
- 4) Porches none

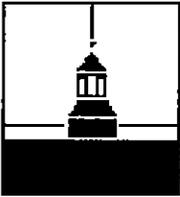
## d. Rear: Direction: East

- 1) Bays 2
- 2) Windows  
 fenestration symmetrical  
 type multi-light awning windows  
 trim metal and wood  
 shutters none
- 3) Door(s)  
 location n/a  
 type n/a  
 trim n/a
- 4) Porches n/a

9. INTERIOR: Open plan with small offices, auto lifts, workbenches, and worktables

10. LANDSCAPING:

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N497 .004

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Wharton Hall

2. FUNCTION(S): historic school/correctional current school/correctional facility

3. YEAR BUILT: c. 1930 ARCHITECT/BUILDER: unknown

4. STYLE/FLOOR PLAN: Colonial Revival

5. INTEGRITY: original site x moved  
if moved, when and from where

list major alterations and dates (if known)

two-story brick addition to northwest facade to house kitchen, c. 1960s

6. CONDITION: excellent good fair x poor

7. DESCRIPTION: (Describe the resource as completely as possible.)

Use N/A for not applicable; leave no blanks).

a) Overall shape rectangular  
stories 2.5  
bays 7  
wings none

b) Structural system masonry

c) Foundation  
basement full  
materials limestone

d) Exterior walls (modern over original)

materials brick, Flemish bond  
color(s) red

e) Roof

shape; materials front gable; asphalt roof  
cornice none  
dormers none  
chimney location(s) not visible

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: East

1) Bays 7

2) Windows

fenestration symmetrical

type double hung and pivoting

trim wood

shutters none

## Facade (cont'd)

## 3) Door(s)

location centrally located  
 type covered by modern shed entryway (wood)  
 trim wood

## 4) Porches none

## b. Side: Direction: South

## 1) Bays 6

## 2) Windows

fenestration symmetrical  
 type 6/6 paired dhs on first floor; multi light arched pivoting on second floor  
 trim wood  
 shutters none

## 3) Door(s)

location centrally located  
 type covered by shed entryway  
 trim wood

## 4) Porches none

## c. Side: Direction: North

## 1) Bays 6

## 2) Windows

fenestration symmetrical  
 type 6/6 paired dhs on first floor; multi-light arched pivoting on second floor  
 trim wood  
 shutters none

## 3) Door(s)

location one at raised first floor; one at second floor level  
 type metal single leaf  
 trim n/a

## 4) Porches none

## d. Rear: Direction: West

## 1) Bays 7

## 2) Windows

fenestration symmetrical  
 type fixed arched windows and 6/6 dhs in addition

trim wood  
 shutters none

## 3) Door(s)

location sides of kitchen addition  
 type metal single leaf  
 trim metal and wood

## 4) Porches n/a

9. INTERIOR: According to previous surveys, the interior contains many original features, including a slate entry floor and stairs, paneled wood doors, glazed brick walls, wood banisters, metal balustrades, and wood floors.

10. LANDSCAPING:

11. OTHER COMMENTS: currently vacant



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N497 .005

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Ball Cottage

2. FUNCTION(S): historic school / correctional current school / correctional facility

3. YEAR BUILT: 1927 ARCHITECT/BUILDER: known

4. STYLE/FLOOR PLAN: Colonial Revival

5. INTEGRITY: original site x moved \_\_\_\_\_  
if moved, when and from where

list major alterations and dates (if known)

2-story addition to south elevation

6. CONDITION: excellent \_\_\_\_\_ good x fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape rectangular  
stories 3  
bays 4  
wings 2-story addition to south elevation

b) Structural system masonry

c) Foundation  
basement full  
materials limestone

d) Exterior walls (modern over original)

materials brick, American bond  
color(s) red

e) Roof

shape; materials front gambrel with slight return at eaves  
cornice wood, slightly overhanging eave  
dormers continuous shed dormer on east elevation  
chimney location(s) exterior brick on east elevation

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: north

1) Bays 4

2) Windows

fenestration symmetrical

type 10-light pairs; 1/1 at basement level, fanlight in gable peak

trim wood

shutters none

## Facade (cont'd)

- 3) Door(s)  
 location main facade, centrally located  
 type wood, 6-light paneled pairs  
 trim wood
- 4) Porches 1-story, full facade on north elevation; brick; square brick columns with brick arches at roofline; brick trim

## b. Side: Direction: East

1) Bays 6

## 2) Windows

- fenestration asymmetrical  
 type paired 10 light casement windows  
 trim wood trim and brick lintel  
 shutters none

## 3) Door(s)

- location west facade of rear addition, one door with cement stair and metal railing  
 type wood paneled  
 trim wood

4) Porches cement stoop

## c. Side: Direction: West

1) Bays 7

## 2) Windows

- fenestration asymmetrical  
 type paired 10 light casement windows  
 trim wood trim and brick lintel  
 shutters none

## 3) Door(s)

- location none  
 type none  
 trim none

4) Porches none

## d. Rear: Direction: South

1) Bays 3

## 2) Windows

- fenestration symmetrical  
 type paired 10 light casement windows  
 trim wood trim and brick lintels  
 shutters none

## 3) Door(s)

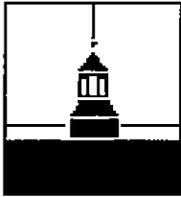
- location west side of south facade  
 type one 6-light pane and panel door  
 trim wood

4) Porches n/a - no stairs to raised door

9. INTERIOR: unaccessible at time of survey

10. LANDSCAPING: trees at front and rear; raised lot in front of building; pilings

11. OTHER COMMENTS: currently vacant.



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N497 .006

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Mowlds Cottage
2. FUNCTION(S): historic school / correctional current school / correctional facility
3. YEAR BUILT: 1968 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Colonial Revival
5. INTEGRITY: original site x moved  
if moved, when and from where \_\_\_\_\_

list major alterations and dates (if known)

windows and door replaced; first floor windows on north elevation shortened

6. CONDITION: excellent good x fair poor

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

- a) Overall shape Gable - T  
stories 2  
bays 7  
wings none

- b) Structural system masonry

- c) Foundation  
basement none  
materials brick

- d) Exterior walls (modern over original)

materials brick, English bond  
color(s) red

- e) Roof

shape; materials cross gable; asphalt shingles  
cornice wood with dentils; slight return at eave  
dormers none  
chimney location(s) paired gable end with corbelling at rim and at gable end on T extension; both brick

8. DESCRIPTION OF ELEVATIONS:

- a. Facade: Direction: North

1) Bays 7

2) Windows

fenestration symmetrical

type 8/8 replacement dhs windows with wood sash

trim wood with stone keystone and sill; wood panel fill under first floor windows

shutters none

## Facade (cont'd)

- 3) Door(s)  
     location centrally located on main facade  
     type multi-panels with 4-pane sidelights  
     trim wood
- 4) Porches 1-story entrance portico; wood with an iron-roof balustrade; 4 wood doric columns with wood trim

## b. Side: Direction: West

- 1) Bays 2
- 2) Windows  
     fenestration symmetrical  
     type 8/8 replacement dhs windows with wood sash  
     trim aluminum, wood  
     shutters none
- 3) Door(s)  
     location n/a  
     type n/a  
     trim n/a
- 4) Porches n/a

## c. Side: Direction: East

- 1) Bays 2
- 2) Windows  
     fenestration symmetrical  
     type 8/8 replacement dhs windows with wood sash  
     trim aluminum, wood  
     shutters none
- 3) Door(s)  
     location n/a  
     type n/a  
     trim n/a
- 4) Porches n/a

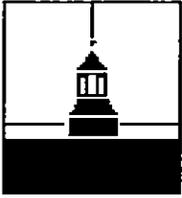
## d. Rear: Direction: South

- 1) Bays 7
- 2) Windows  
     fenestration symmetrical  
     type 8/8 replacement dhs windows with wood sash  
     trim aluminium, wood  
     shutters none
- 3) Door(s)  
     location one at south west corner, two on west facade of gable end  
     type metal with glass panes  
     trim metal
- 4) Porches n/a

9. INTERIOR: not accessible at time of survey

10. LANDSCAPING: some small bushes around building, some coniferous trees

11. OTHER COMMENTS: currently serves as housing for male juvenile offenders



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-497 .007

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Snowden Cottage

2. FUNCTION(S): historic school / correctional current school / correctional facility

3. YEAR BUILT: 1968 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Colonial Revival

5. INTEGRITY: original site x moved  
if moved, when and from where

list major alterations and dates (if known)  
first floor windows on north elevation shortened

6. CONDITION: excellent good x fair poor

7. DESCRIPTION: (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).

a) Overall shape gable-T  
stories 2  
bays 7  
wings none

b) Structural system masonry

c) Foundation  
basement brick  
materials n/a

d) Exterior walls (modern over original)

materials brick, English Bond  
color(s) red

e) Roof

shape; materials cross-gable roof with asphalt shingles  
cornice wood with dentils; slight return at eaves  
dormers none  
chimney location(s) paired gable end with corbelling at rim and at gable end on T-extension; both brick

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: north

1) Bays 7

2) Windows

fenestration symmetrical

type 2/2 replacement windows, fixed,

trim wood with a stone keystone and sill; brick fill under first floor windows

shutters none

## Facade (cont'd)

- 3) Door(s)  
 location centrally located on main facade  
 type glass, single light with 2-pane sidelights  
 trim aluminum
- 4) Porches 1-story entrance porch, wood, with an iron roof-line balustrade; 4 doric columns and wood trim

## b. Side: Direction: West

- 1) Bays 2
- 2) Windows  
 fenestration symmetrical  
 type 2/2 replacement windows, fixed  
 trim aluminum  
 shutters none
- 3) Door(s)  
 location n/a  
 type n/a  
 trim n/a
- 4) Porches n/a

## c. Side: Direction: East

- 1) Bays 2
- 2) Windows  
 fenestration symmetrical  
 type 2/2 replacement windows, fixed  
 trim aluminum  
 shutters none
- 3) Door(s)  
 location n/a  
 type n/a  
 trim n/a
- 4) Porches n/a

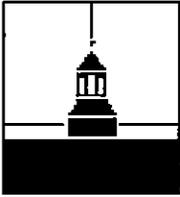
## d. Rear: Direction: South

- 1) Bays 6
- 2) Windows  
 fenestration symmetrical  
 type 2/2 replacement windows, fixed  
 trim aluminum  
 shutters none
- 3) Door(s)  
 location n/a  
 type n/a  
 trim n/a
- 4) Porches n/a

9. INTERIOR: inaccessible at time of survey

10. LANDSCAPING: some small bushes along front and sides of building, coniferous trees at sides

11. OTHER COMMENTS: currently used as housing for male juvenile offenders



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N497 .008

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Grace Cottage

2. FUNCTION(S): historic school/correctional current school/correctional facility

3. YEAR BUILT: c. 1950 ARCHITECT/BUILDER: unknown

4. STYLE/FLOOR PLAN: Vernacular Colonial Revival

5. INTEGRITY: original site  moved   
if moved, when and from where

list major alterations and dates (if known)

one-story sunroom added to south facade; one-story brick addition to north facade.

6. CONDITION: excellent  good  fair  poor

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape rectangular  
stories 2  
bays 4  
wings small addition on each end (north and south facades)

b) Structural system masonry

c) Foundation  
basement none  
materials concrete; brick soldier course above basement level

d) Exterior walls (modern over original)

materials brick, 5 course common bond  
color(s) red

e) Roof

shape; materials side gable rood with asphalt shingles  
cornice wood  
dormers none  
chimney location(s) brick, exterior, at rear of building

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: East

1) Bays 4

2) Windows

fenestration symmetrical

type paired 2-light fixed

trim brick belt course above

shutters none

## Facade (cont'd)

- 3) Door(s)  
     location centrally located  
     type full glass replacement entry door, with 2 side lights and flat hood  
     trim n/a
- 4) Porches center gable portico

## b. Side: Direction: South

- 1) Bays
- 2) Windows  
     fenestration sunroom addition  
     type aluminum  
     trim n/a  
     shutters none
- 3) Door(s)  
     location none  
     type none  
     trim none
- 4) Porches none

## c. Side: Direction: n/a

- 1) Bays n/a
- 2) Windows  
     fenestration n/a  
     type n/a  
     trim n/a  
     shutters n/a
- 3) Door(s)  
     location n/a  
     type n/a  
     trim n/a
- 4) Porches n/a

## d. Rear: Direction: n/a

- 1) Bays n/a
- 2) Windows  
     fenestration n/a  
     type n/a  
     trim n/a  
     shutters n/a
- 3) Door(s)  
     location n/a  
     type n/a  
     trim n/a
- 4) Porches n/a

9. INTERIOR: not accessed at time of survey

10. LANDSCAPING:

11. OTHER COMMENTS: Currently serves as housing for female juvenile offenders



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N497 .009

1. ADDRESS OF PROPERTY: 1825 Faulkland Road Administration Bldg (Murphy Cottage)

2. FUNCTION(S): historic school/correctional current school/correctional facility

3. YEAR BUILT: c. 1968 ARCHITECT/BUILDER: unknown

4. STYLE/FLOOR PLAN: Colonial Revival vernacular

5. INTEGRITY: original site  moved \_\_\_\_\_  
if moved, when and from where

list major alterations and dates (if known)

wing added to south west side

6. CONDITION: excellent  good \_\_\_\_\_ fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape irregular  
stories 2  
bays main block - 7 bays  
wings 2

b) Structural system masonry

c) Foundation  
basement none  
materials concrete

d) Exterior walls (modern over original)

materials brick  
color(s) red

e) Roof

shape; materials side gable, asphalt shingles  
cornice wood, partial cornice returns on main block  
dormers none  
chimney location(s) southeast and northwest facades; brick

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: northeast

1) Bays 7

2) Windows

fenestration symmetrical

type 1/1 dhs

trim cement keystones above first floor windows; 2nd floor has poured cement sills

shutters none

## Facade (cont'd)

- 3) Door(s)  
     location centrally accessed on main block  
     type n/a  
     trim n/a
- 4) Porches Doric columns supporting flat portico roof entry way with metal pipe iron balustrade

## b. Side: Direction:

- 1) Bays
- 2) Windows  
     fenestration n/a  
     type n/a  
     trim n/a  
     shutters n/a
- 3) Door(s)  
     location n/a  
     type n/a  
     trim n/a
- 4) Porches n/a

## c. Side: Direction: n/a

- 1) Bays n/a
- 2) Windows  
     fenestration n/a  
     type n/a  
     trim n/a  
     shutters n/a
- 3) Door(s)  
     location n/a  
     type n/a  
     trim n/a
- 4) Porches n/a

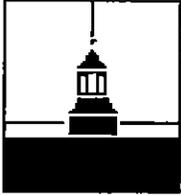
## d. Rear: Direction: n/a

- 1) Bays n/a
- 2) Windows  
     fenestration n/a  
     type n/a  
     trim n/a  
     shutters n/a
- 3) Door(s)  
     location n/a  
     type n/a  
     trim n/a
- 4) Porches n/a

9. INTERIOR: not accessed at time of survey

10. LANDSCAPING:

11. OTHER COMMENTS: Also connected to more recent Administration Building, creating T-shaped plan.



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N497 .001

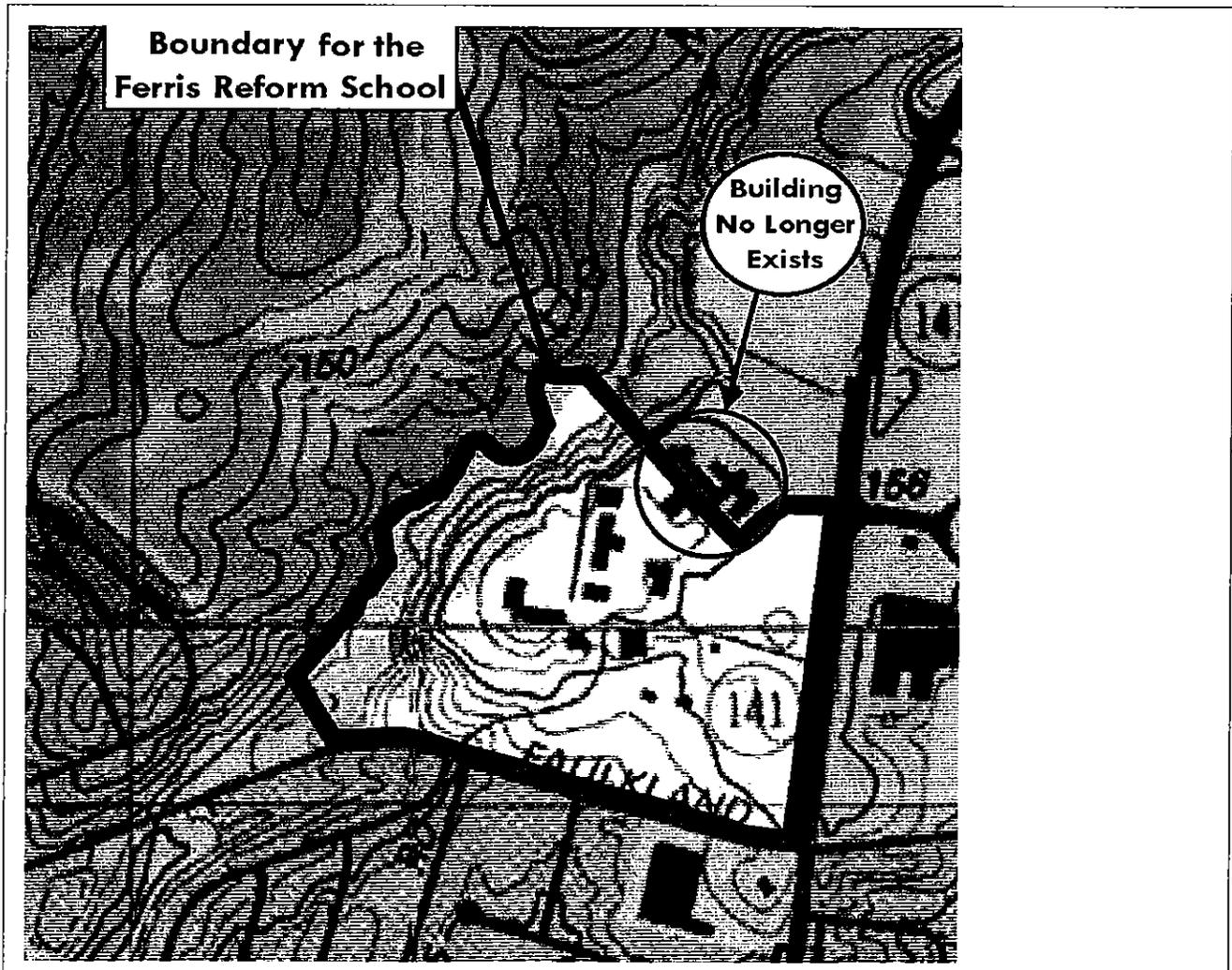
1. ADDRESS/LOCATION: 1825 Faulkland Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical andmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**

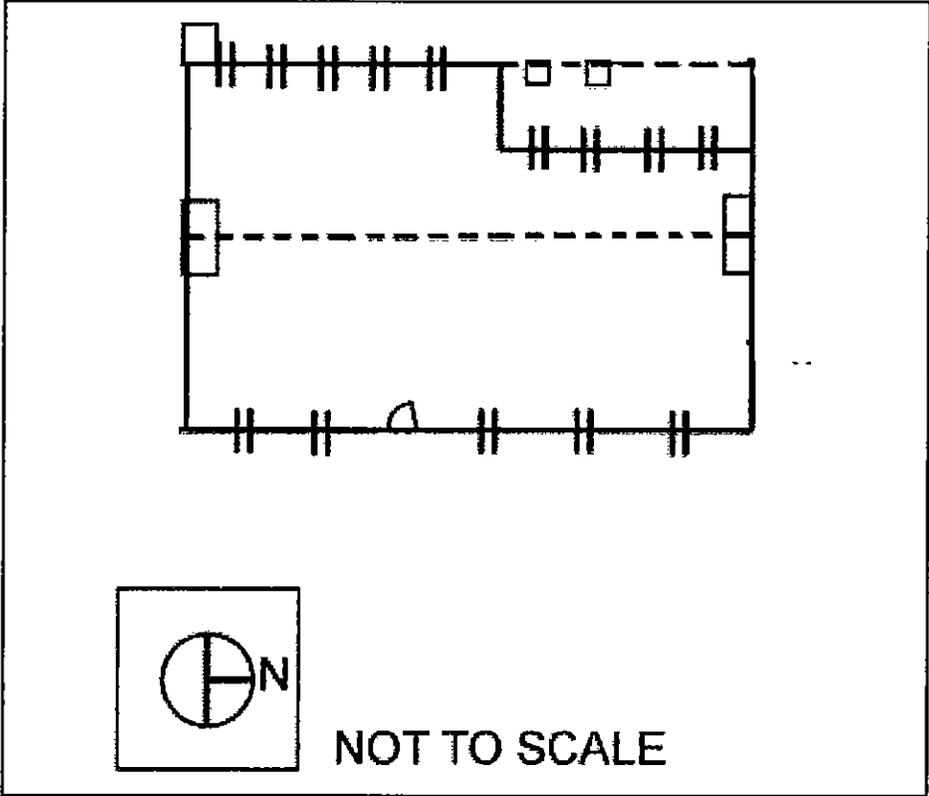


4. SITE PLAN:

CRS # N497.001

INDICATE NORTH ON PLAN

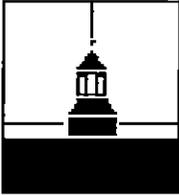
Sketch Plan



NOT TO SCALE

First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N497 .002

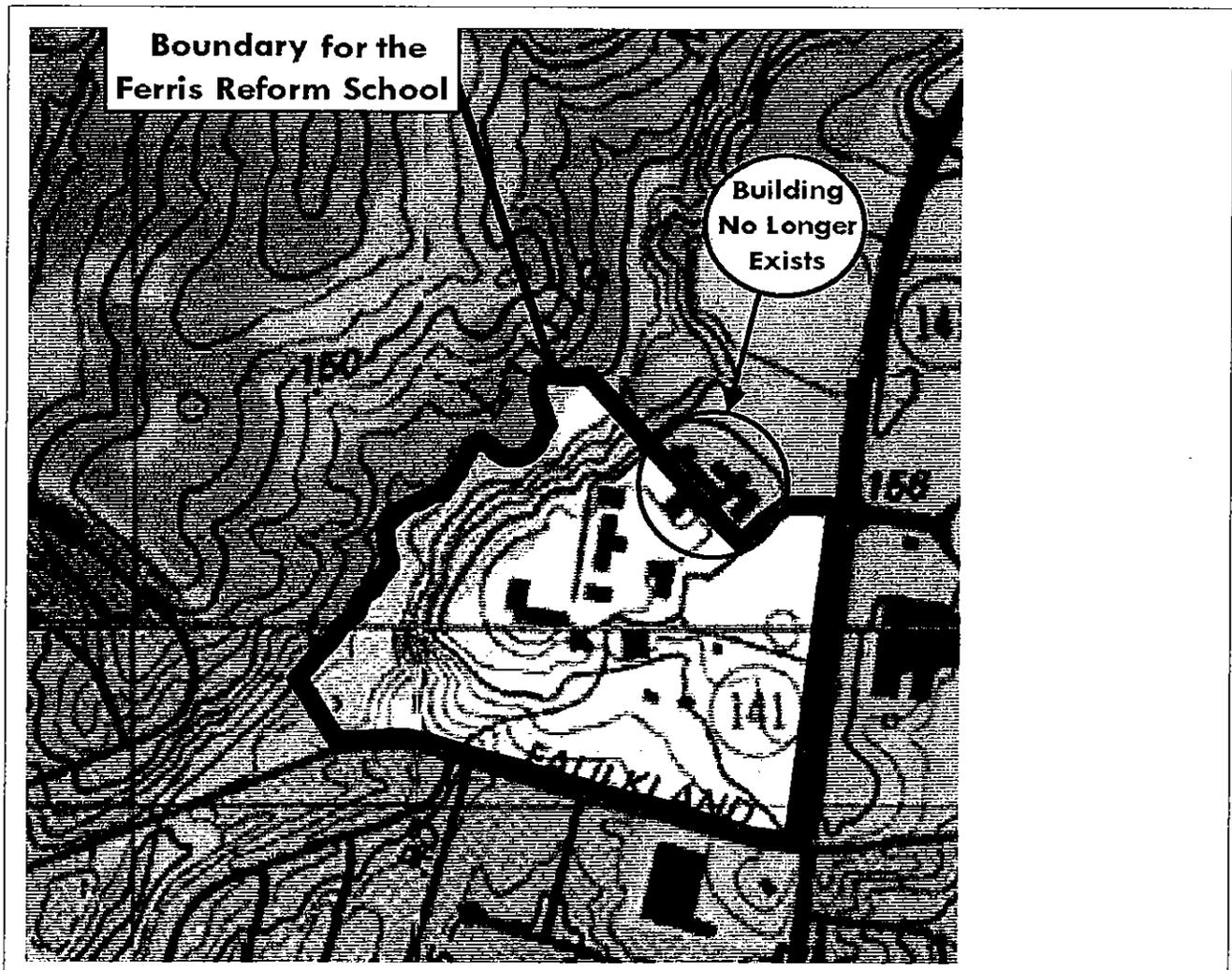
1. ADDRESS/LOCATION: 1825 Faulkland Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**



4. SITE PLAN:

CRS # N497 .002

INDICATE NORTH ON PLAN

Sketch Plan

NOT TO SCALE

First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N497 .003

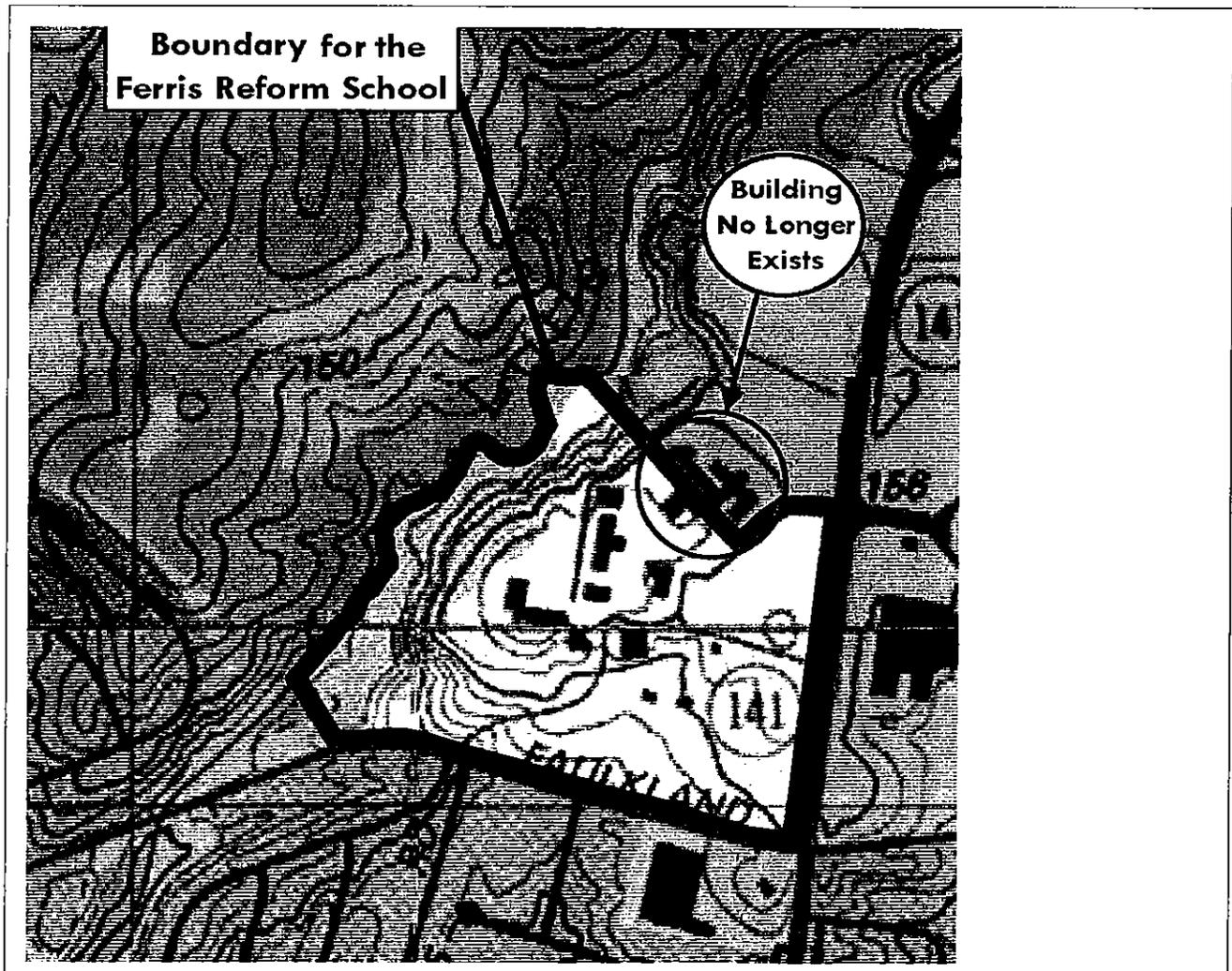
1. ADDRESS/LOCATION: 1825 Faulkland Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical andmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**

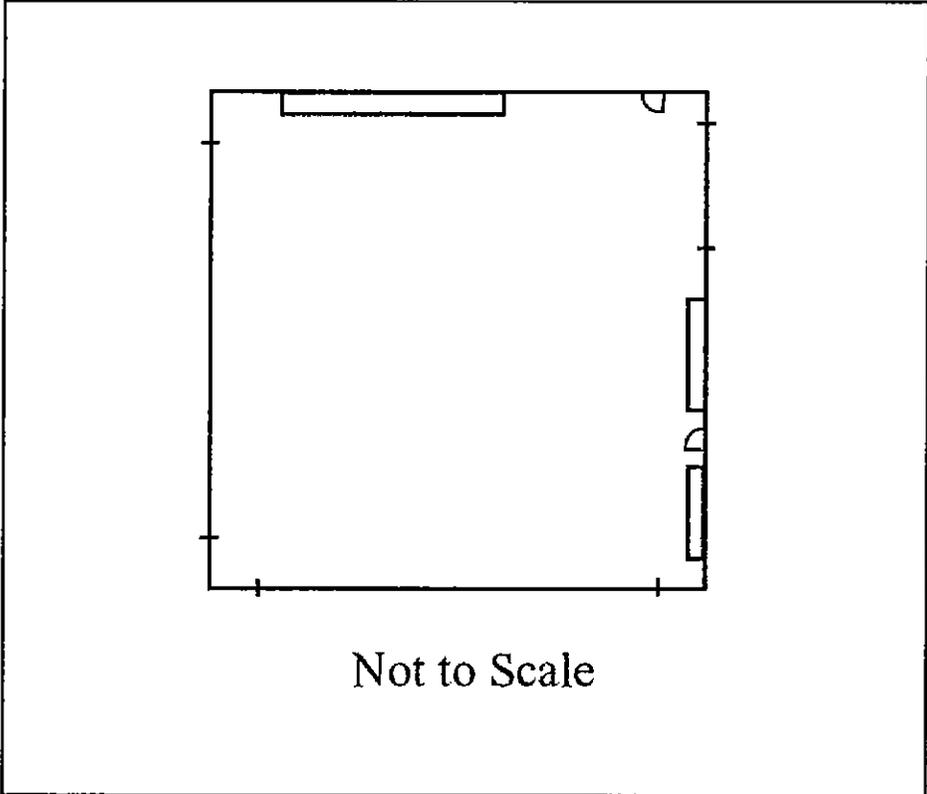


4. SITE PLAN:

CRS # N497.003

INDICATE NORTH ON PLAN

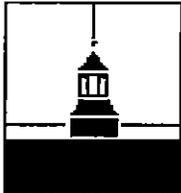
Sketch Plan



Not to Scale

First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N497 .004

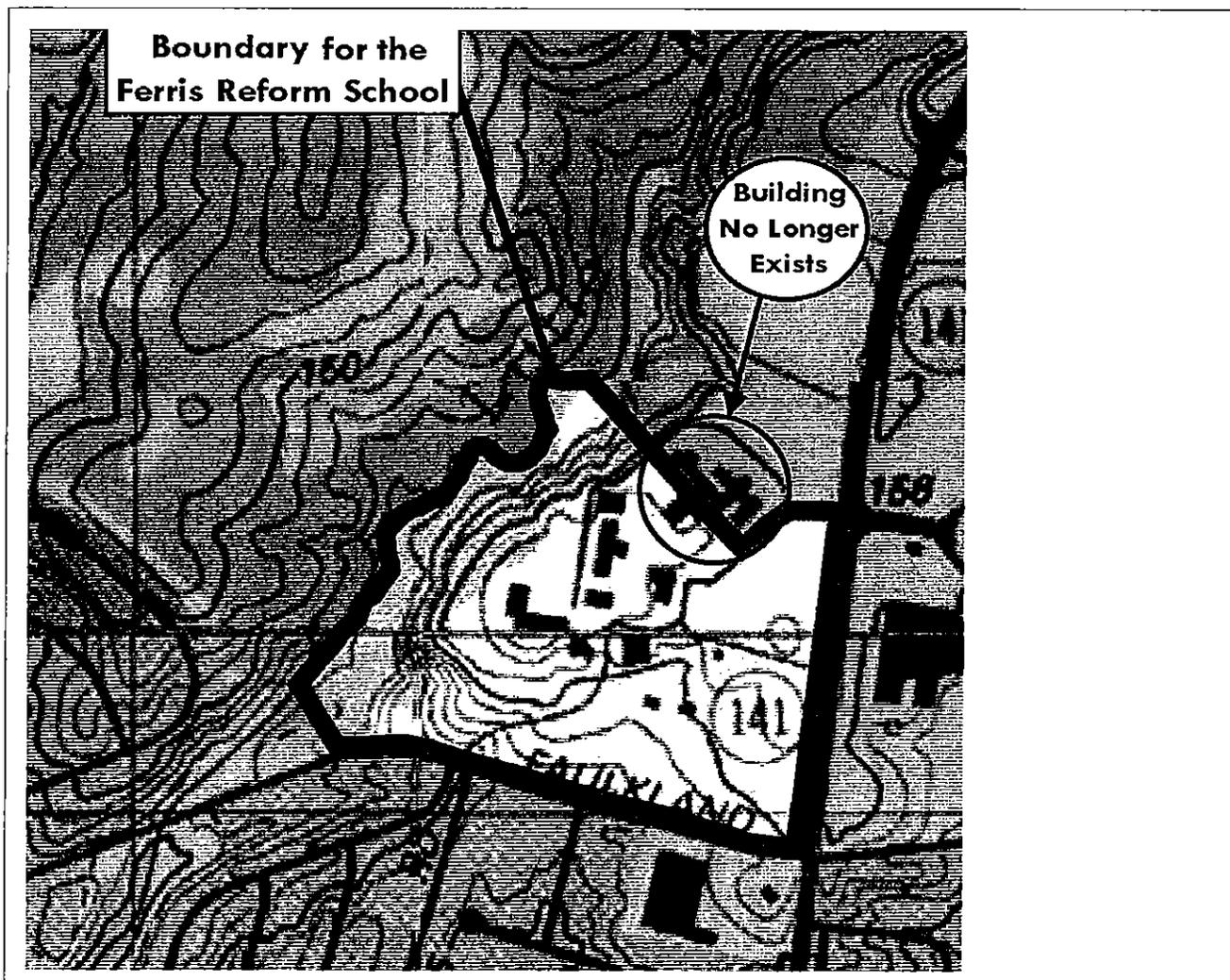
1. ADDRESS/LOCATION: 1825 Faulkland Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

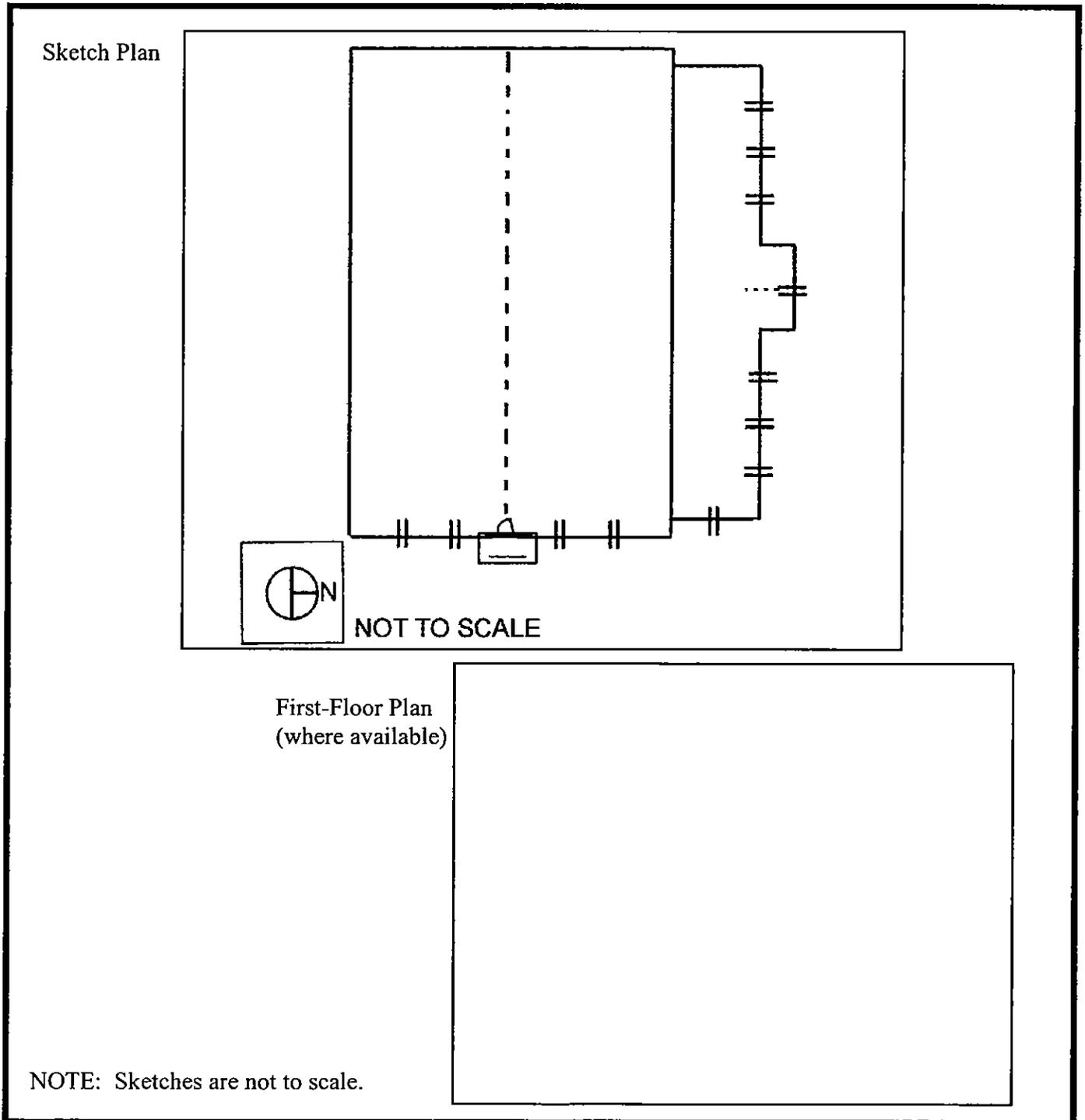
**INDICATE NORTH ON SKETCH**

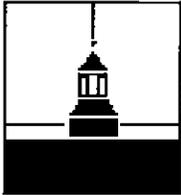


4. SITE PLAN:

CRS # N497.004

INDICATE NORTH ON PLAN





**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N497 .005

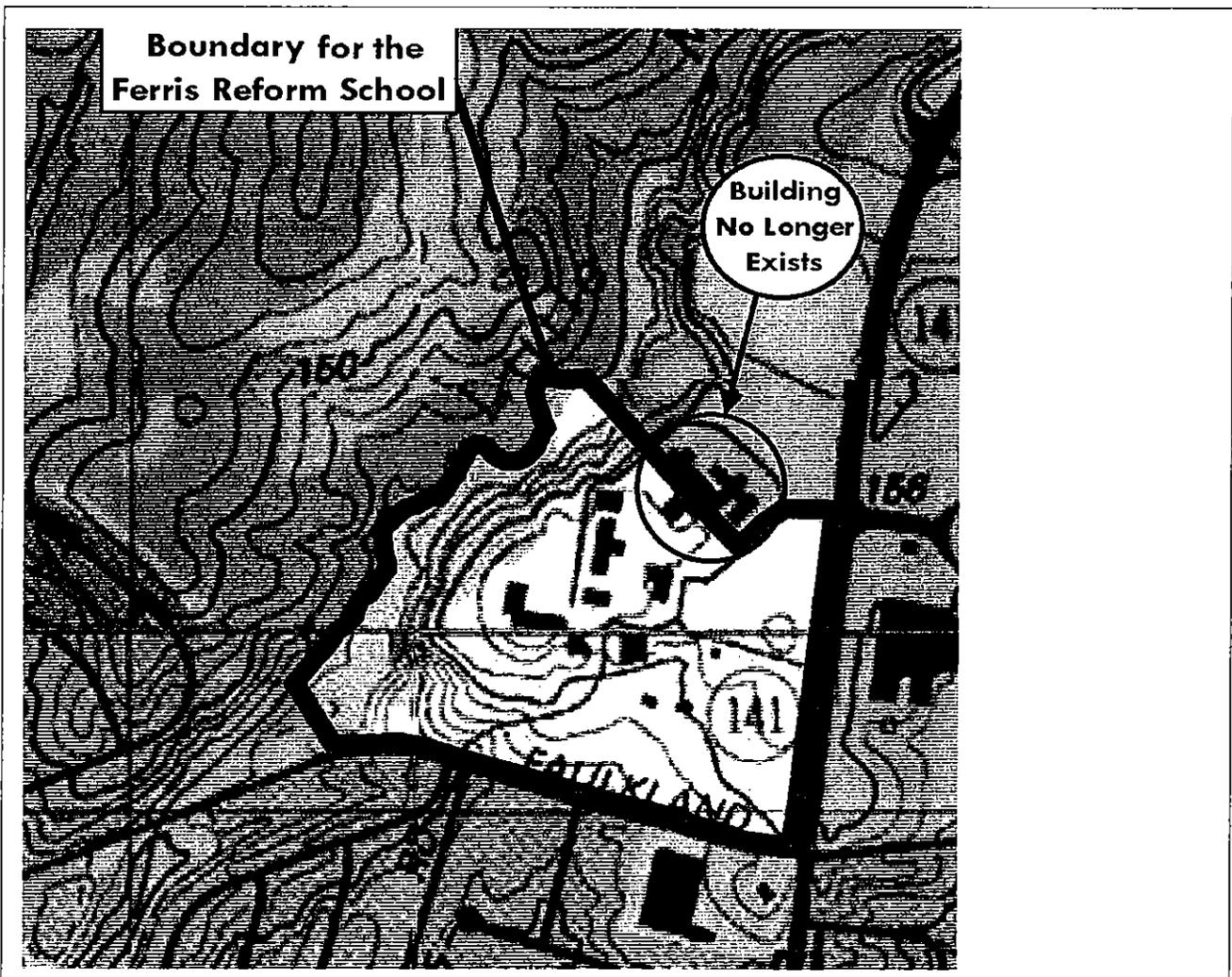
1. ADDRESS/LOCATION: 1825 Faulkland Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**



4. SITE PLAN:

CRS # N497.005

INDICATE NORTH ON PLAN

Sketch Plan

NOT TO SCALE

First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N497 .006

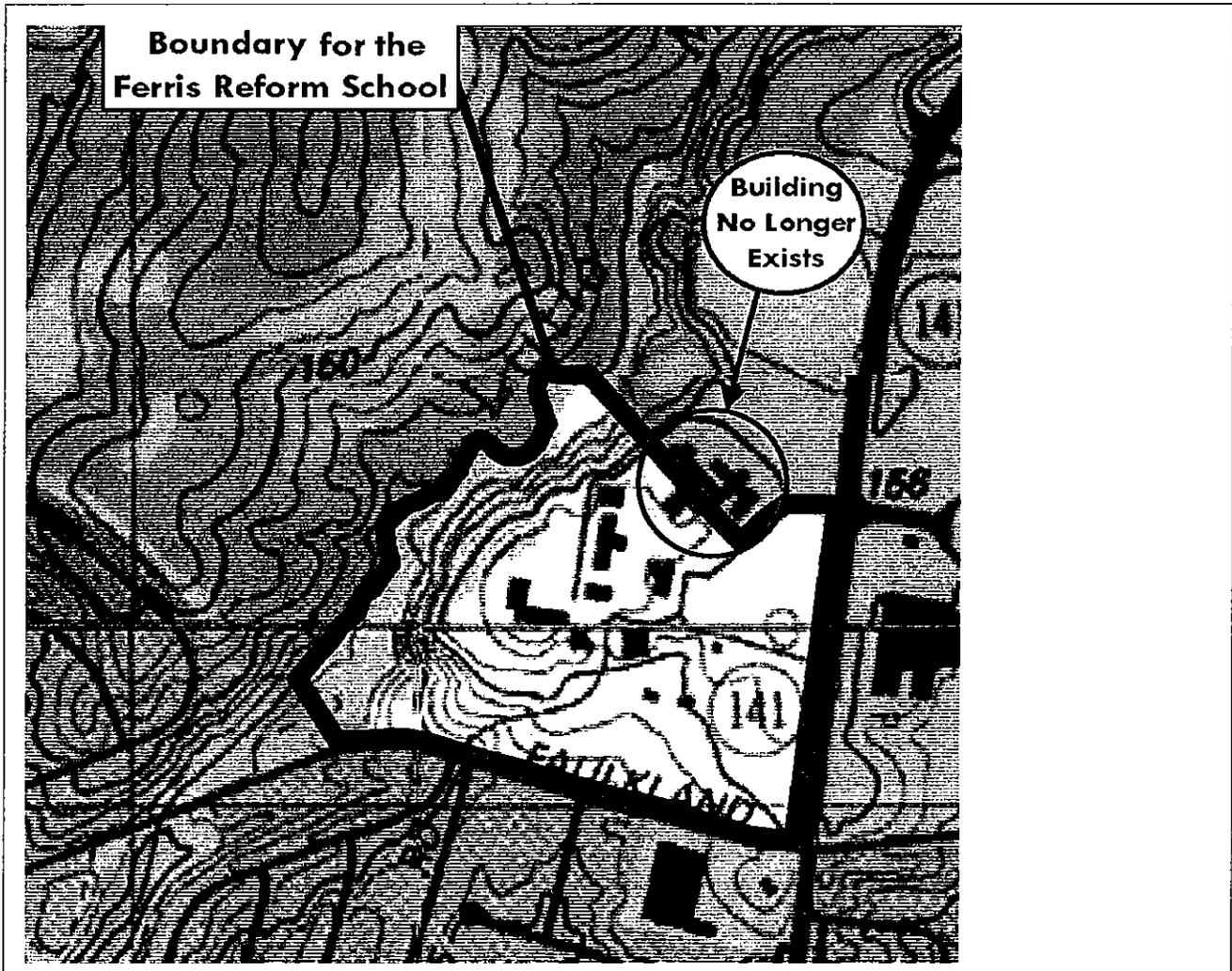
1. ADDRESS/LOCATION: 1825 Faulkland Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

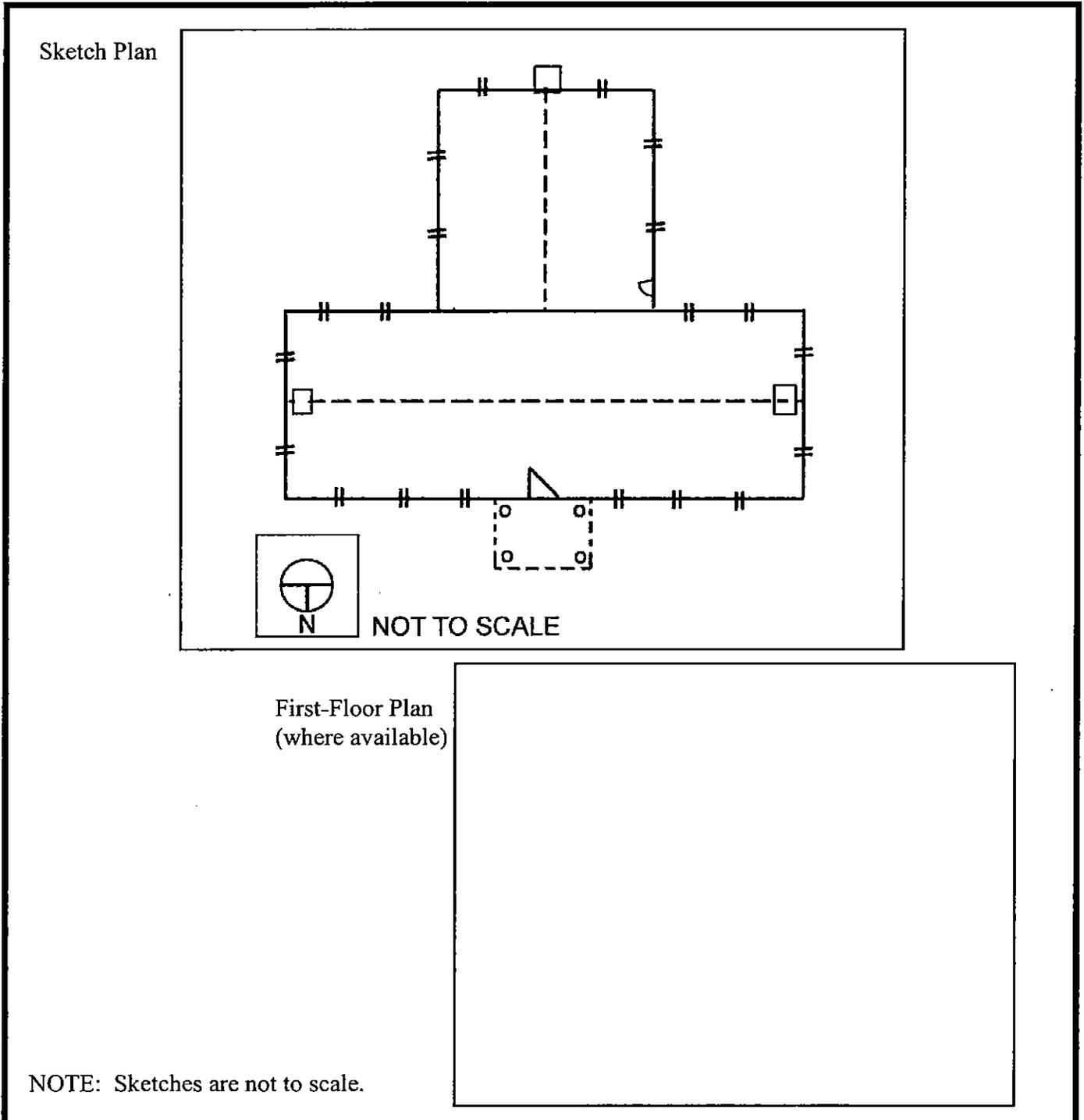
**INDICATE NORTH ON SKETCH**



4. SITE PLAN:

CRS # N497 .006

INDICATE NORTH ON PLAN





**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-497 .007

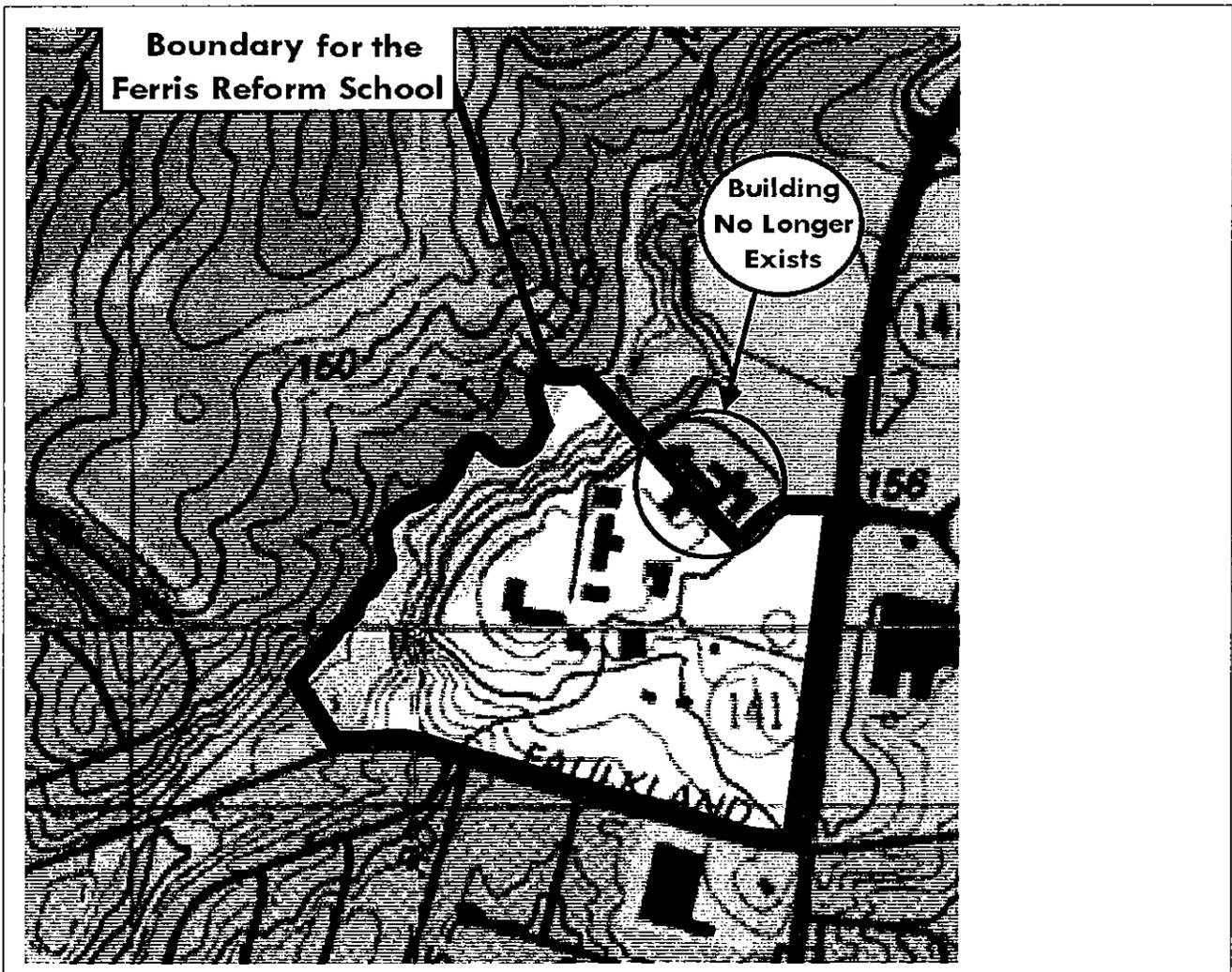
1. ADDRESS/LOCATION: 1825 Faulkland Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical andmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

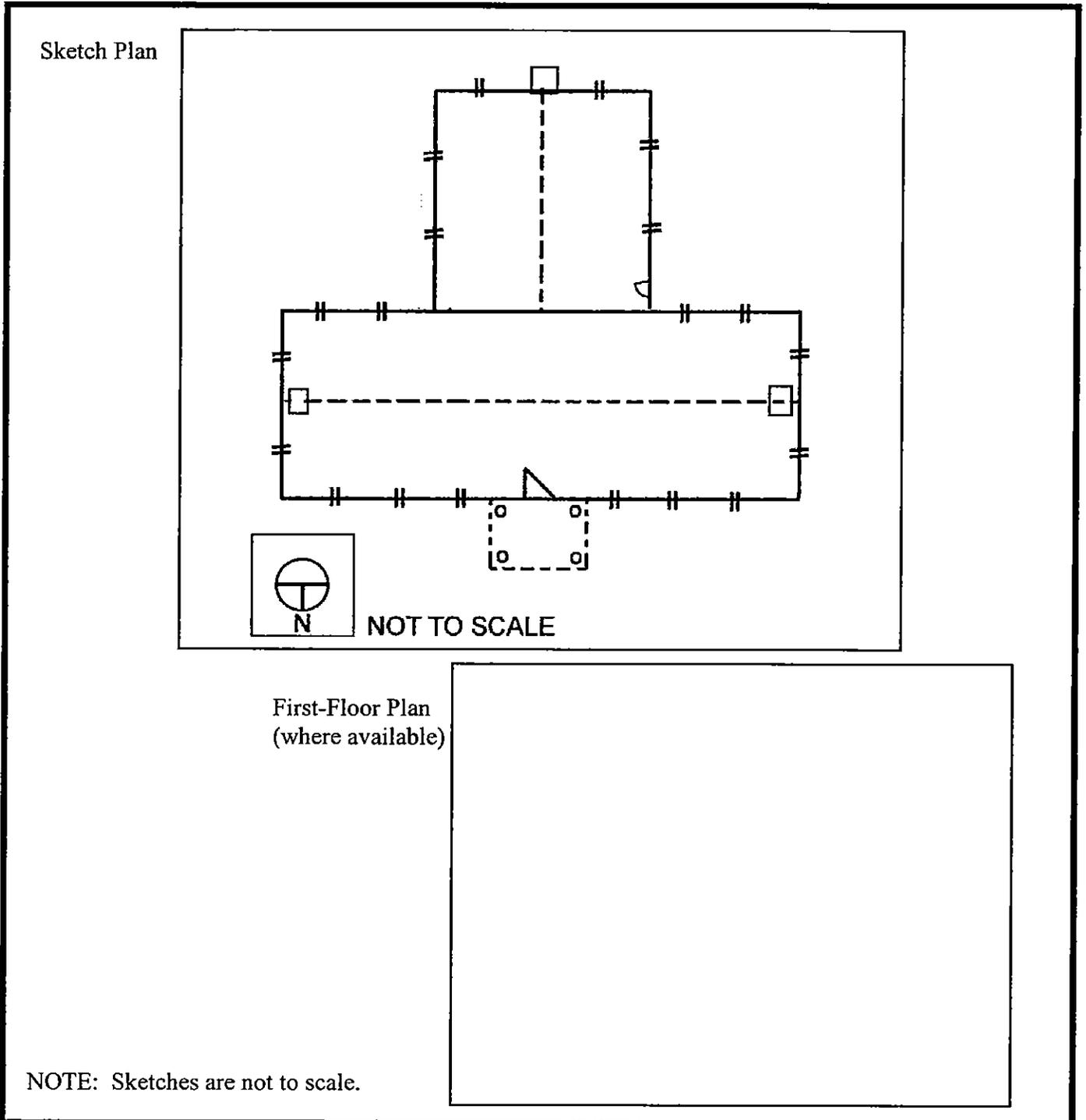
**INDICATE NORTH ON SKETCH**

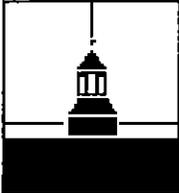


4. SITE PLAN:

CRS # N-497 .007

INDICATE NORTH ON PLAN





**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N497 .008

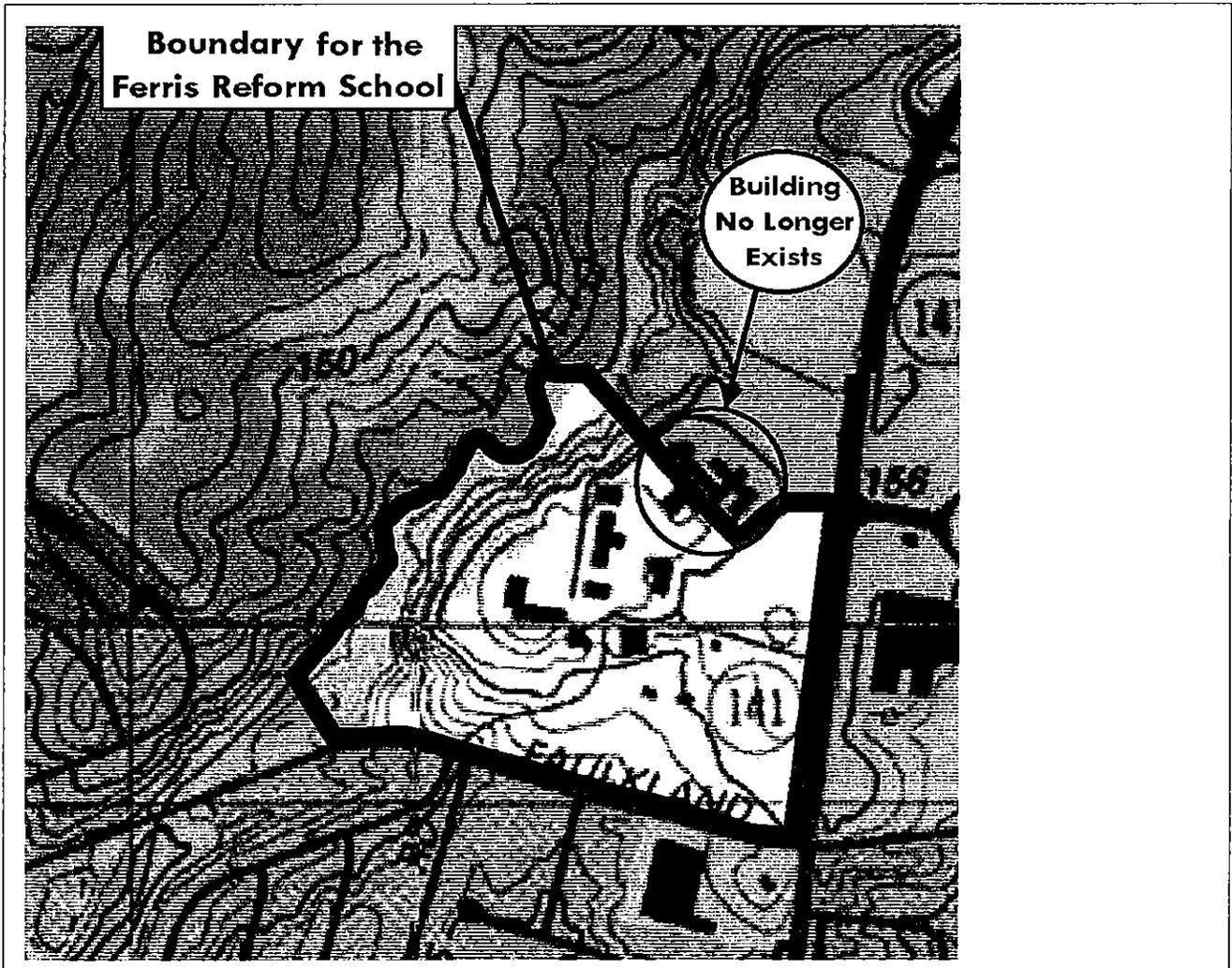
1. ADDRESS/LOCATION: 1825 Faulkland Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**

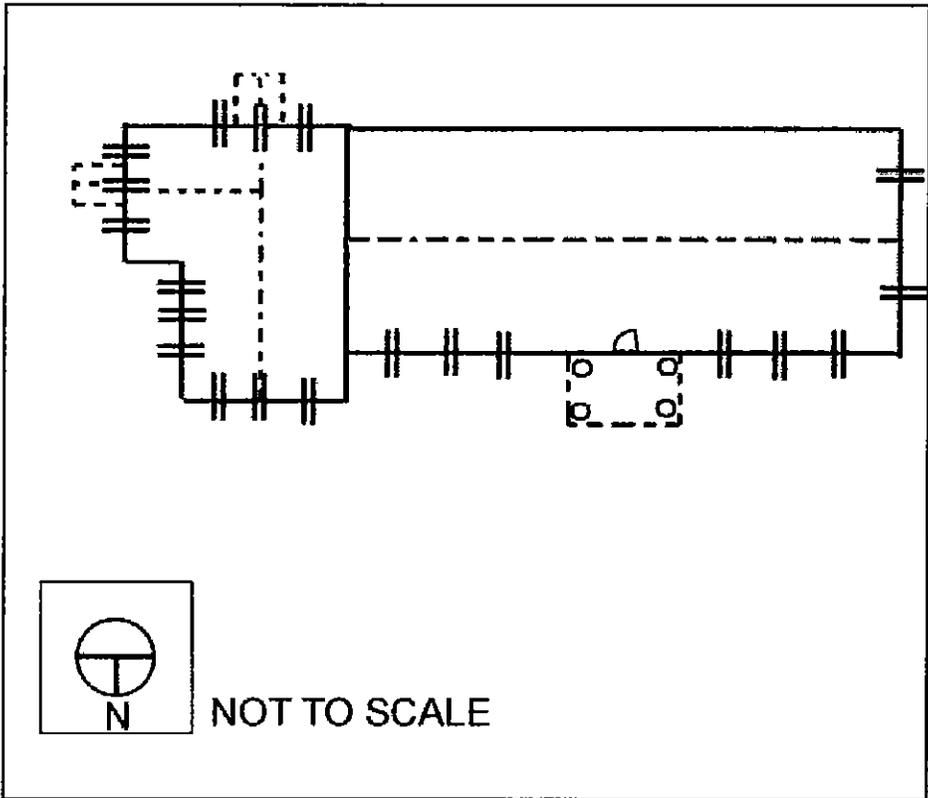


4. SITE PLAN:

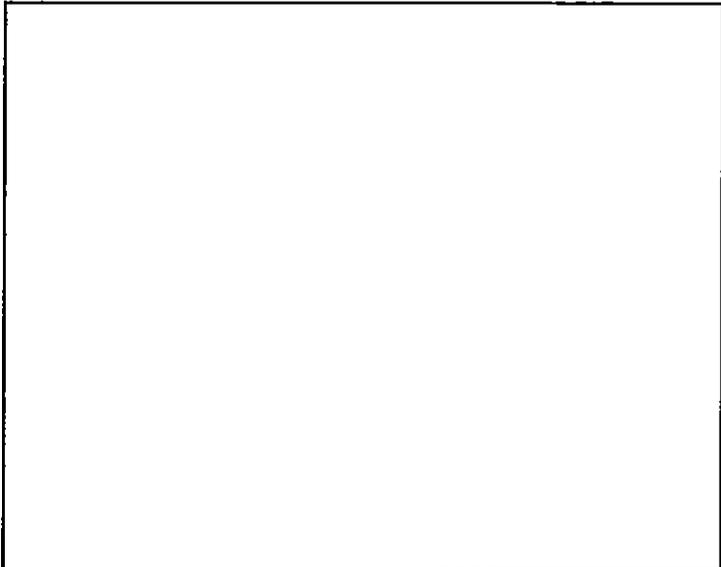
CRS # N497 .008

INDICATE NORTH ON PLAN

Sketch Plan



First-Floor Plan  
(where available)



NOTE: Sketches are not to scale.

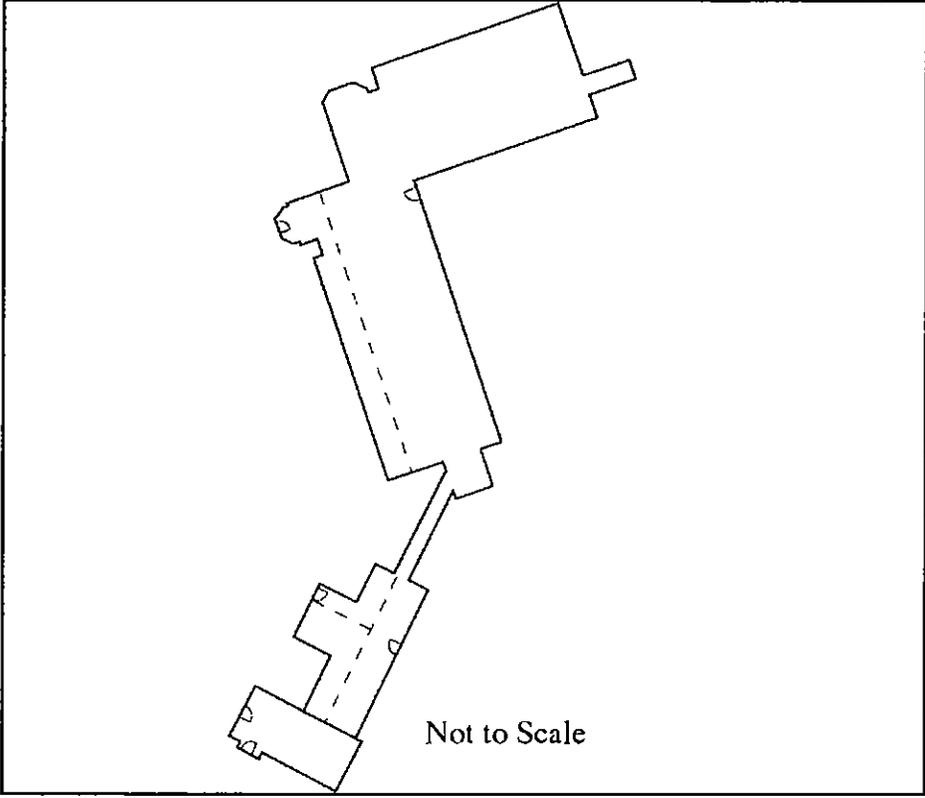


4. SITE PLAN:

CRS # N497.009

INDICATE NORTH ON PLAN

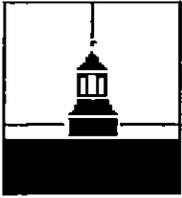
Sketch Plan



Not to Scale

First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS # N-14247  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.37

1. NAME OF PROPERTY: 2405 Ferris Road

2. STREET ADDRESS: 2405 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY AND HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14247  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.37

1. ADDRESS OF PROPERTY: 2405 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1932
3. STYLE/FLOOR PLAN: Tudor Revival
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_  
list major alterations and dates (if known)  
enclosed front entrance, 1-story rear addition

6. CONDITION: excellent  good   
fair  poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape irregular  
stories 2  
bays 2  
wings 1-story rear addition
- b) Structural system masonry
- c) Foundation materials concrete  
basement full
- d) Exterior walls (modern over original)  
materials stucco  
color(s) white
- e) Roof  
shape; materials cross gable  
cornice wood  
dormers steeply pitched wood shed dormer on the northeast elevation  
chimney location(s) exterior brick on southeast elevation

7. DESCRIPTION (cont'd):

CRS # N-14247

f) Windows

spacing 6/1; single on front facade, pairs on northeast side, triples on southwest side

type double hung wood

trim wood

shutters none

g) Door

spacing 6-light paneled

type wood

trim wood

h) Porches

location(s) enclosed entrance porch

materials stucco

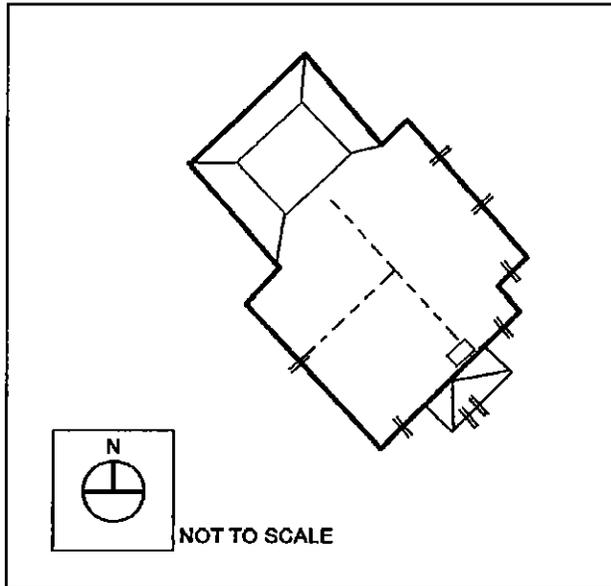
supports N/A

trim N/A

i) Interiors details (if accessible)

Not Accessible

8. SKETCH PLAN OF BUILDING:

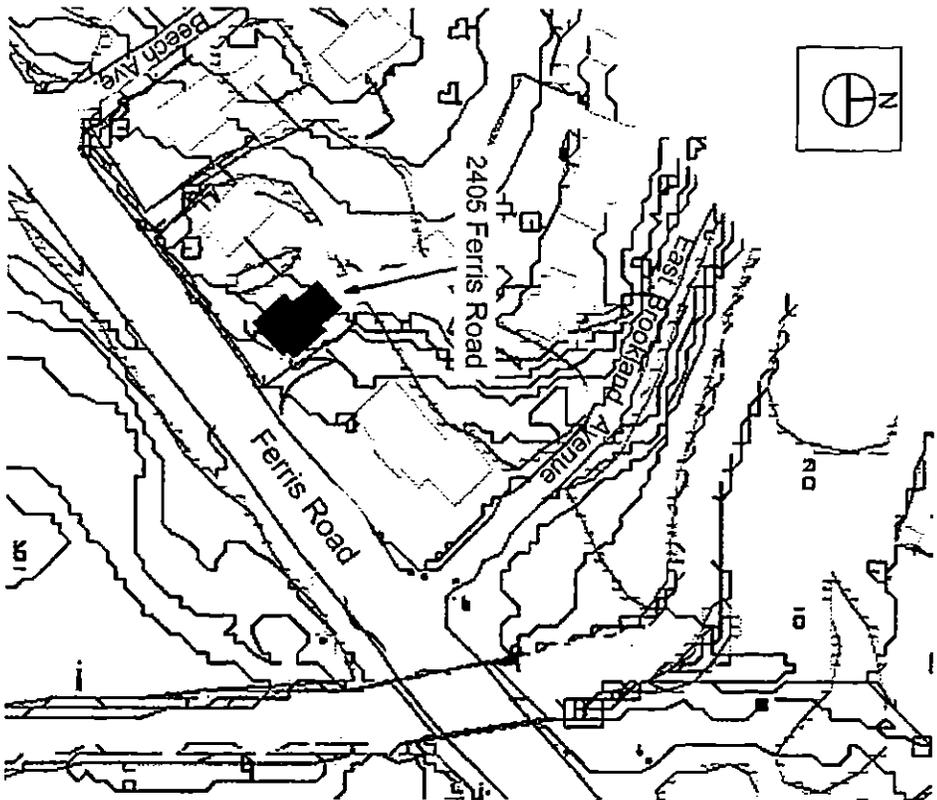


INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli

Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2405 Ferris Road was built circa 1932. Alterations such as the enclosed front entrance and rear addition compromise its integrity. The house does not appear eligible for the National Register either individually or within the context of a historic district.

11. Comprehensive Planning:

a. Time Period(s)

1940-1960 Suburbanization and Early Ex-urbanization

b. Historic Themes(s)

Settlement Patterns and Demographic Changes

12. Evaluation:

Eligible? Yes ( ) No ( X ) Potential ( )

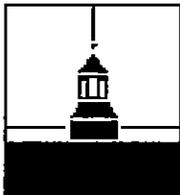
a. Area(s) of significance

b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01

PI: Judith F. Kennedy Date 6/5/02



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS #	<u>N-14248</u>
SPO Map	<u>08-09-35</u>
Hundred	<u>Christiana</u>
Quad	<u>Wilmington South</u>
Zone	<u>II</u>
Acreage	<u>0.16</u>

1. NAME OF PROPERTY: 2407 Ferris Road

2. STREET ADDRESS: 2407 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

7. LIST ADDITIONAL SHEETS USED

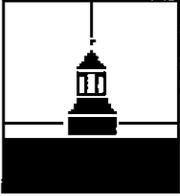
Main Building Form

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14248  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.16

1. ADDRESS OF PROPERTY: 2407 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1930
3. STYLE/FLOOR PLAN: Tudor Revival
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_

list major alterations and dates (if known)

Vinyl siding

6. CONDITION: excellent \_\_\_\_\_ good   
fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape irregular  
stories 2  
bays 2  
wings none
- b) Structural system wood frame
- c) Foundation materials concrete  
basement full
- d) Exterior walls (modern over original)  
materials vinyl and stone  
color(s) brown
- e) Roof  
shape; materials side gable, asphalt shingles  
cornice aluminum  
dormers none  
chimney location(s) stone, above entrance on southeast elevation

7. DESCRIPTION (cont'd):

CRS # N-14248

f) Windows

spacing	8/8, 6/6
type	aluminum
trim	not available
shutters	none

g) Door

spacing	not available
type	not available
trim	not available

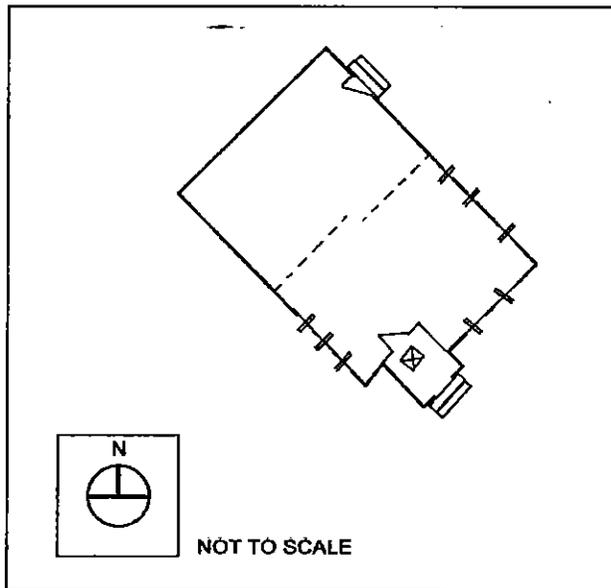
h) Porches

location(s)	stone entrance portico with arched doorway on southeast elevation
materials	stone
supports	stone
trim	none

i) Interiors details (if accessible)

Not Accessible

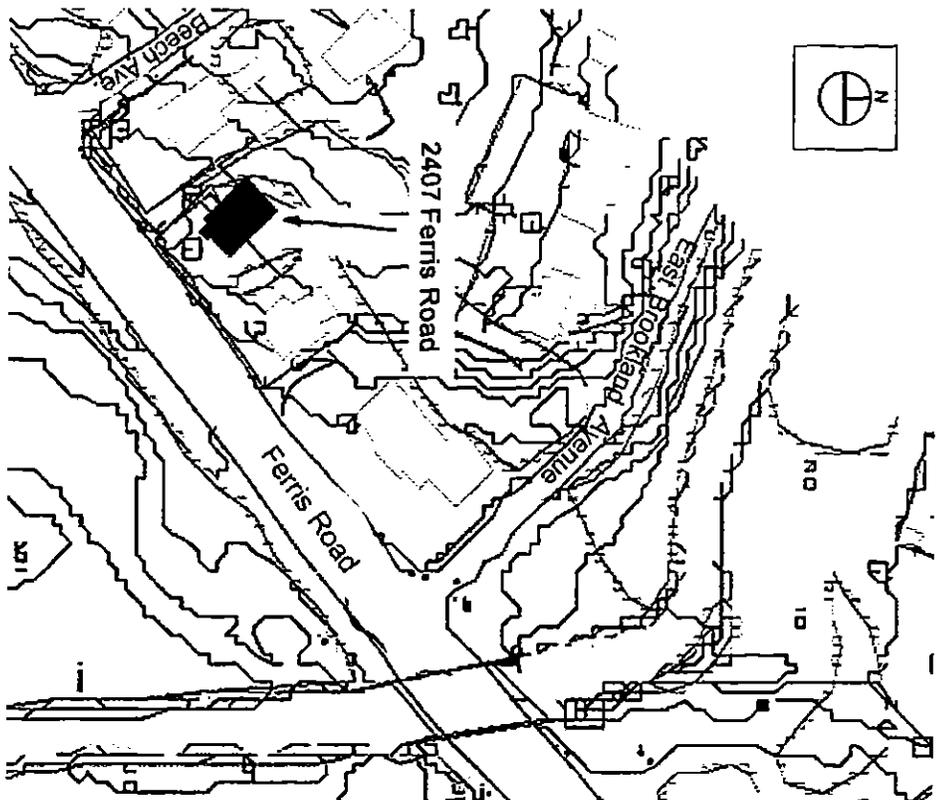
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkwood Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2407 Ferris Road was built circa 1930. The replacement windows and vinyl siding compromise the building's architectural integrity. The house does not appear eligible for the National Register either individually or within the context of a historic district.

11. Comprehensive Planning:

a. Time Period(s)

1940-1960 Suburbanization and Early Ex-urbanization

b. Historic Themes(s)

Architecture

12. Evaluation:

Eligible? Yes ( ) No ( X ) Potential ( )

a. Area(s) of significance

b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01

PI: Judith F. Kennedy Date 6/5/02



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS # N-14249  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone H  
Acreage 0.15

1. NAME OF PROPERTY: 2409 Ferris Road

2. STREET ADDRESS: 2409 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY AND HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14249  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.15

1. ADDRESS OF PROPERTY: 2409 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1950
3. STYLE/FLOOR PLAN: Tudor Revival
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_

list major alterations and dates (if known)  
rear addition

6. CONDITION: excellent \_\_\_\_\_ good   
fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

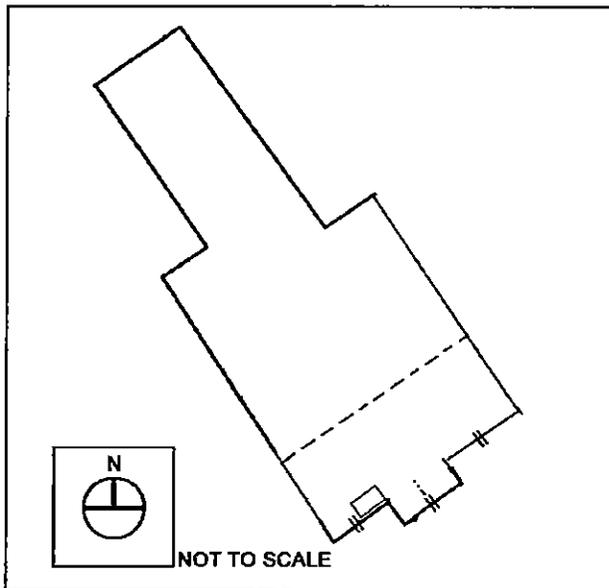
- a) Overall shape irregular  
stories 1  
bays 3  
wings one-story rear addition
- b) Structural system masonry
- c) Foundation  
materials concrete  
basement full
- d) Exterior walls (modern over original)  
materials stone and aluminum  
color(s) variagated
- e) Roof  
shape; materials side gable, asphalt shingles  
cornice aluminum  
dormers none  
chimney location(s) stone on southeast elevation

7. DESCRIPTION (cont'd):

CRS # N-14249

- f) Windows
- |          |               |
|----------|---------------|
| spacing  | 8/8 or 12/12  |
| type     | double hung   |
| trim     | not available |
| shutters | none          |
- g) Door
- |         |               |
|---------|---------------|
| spacing | not available |
| type    | not available |
| trim    | not available |
- h) Porches
- |             |      |
|-------------|------|
| location(s) | none |
| materials   |      |
| supports    |      |
| trim        |      |
- i) Interiors details (if accessible)
- Not Accessible

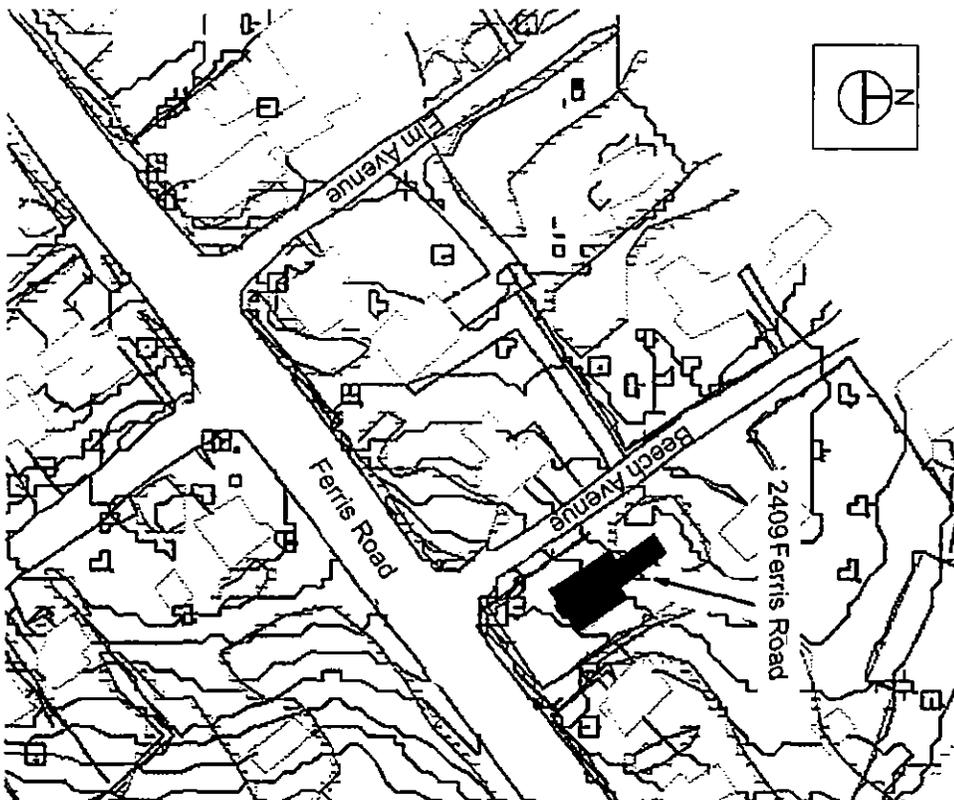
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2409 Ferris Road was built circa 1950. Although this resource retains many original architectural features, it is not a distinctive or unique example of the Tudor Revival style. It is a typical rather than innovative example of residential architecture in this area and better illustrations exist throughout the county. The house does not appear eligible for the National Register.

11. Comprehensive Planning:

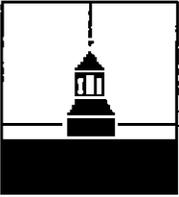
- a. Time Period(s)  
1940-1960 Suburbanization and Early Ex-urbanization
- b. Historic Themes(s)  
Architecture

12. Evaluation:

- a. Eligible? Yes ( ) No ( X ) Potential ( )
- a. Area(s) of significance
- b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01  
 PI: Judith F. Kennedy Date 6/5/02



CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS #	<u>N-14250</u>
SPO Map	<u>08-09-35</u>
Hundred	<u>Christiana</u>
Quad	<u>Wilmington South</u>
Zone	<u>II</u>
Acreage	<u>0.24</u>

1. NAME OF PROPERTY: 2501 Ferris Road

2. STREET ADDRESS: 2501 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

7. LIST ADDITIONAL SHEETS USED  
Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY AND HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14250  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.24

1. ADDRESS OF PROPERTY: 2501 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1952
3. STYLE/FLOOR PLAN: Colonial Revival
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_  
list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION: excellent  good   
fair  poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

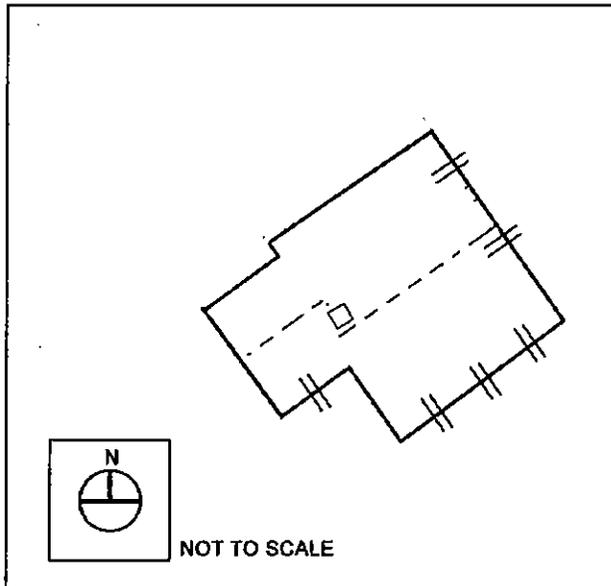
- a) Overall shape rectangular  
stories 1.5  
bays 3  
wings 1-story addition on southwest elevation
- b) Structural system masonry
- c) Foundation  
materials concrete  
basement full
- d) Exterior walls (modern over original)  
materials stone and aluminum siding  
color(s) grey
- e) Roof  
shape; materials side gable with asphalt shingles  
cornice aluminum  
dormers wood gable covered in aluminum siding  
chimney location(s) stone interior on the southwest side

7. DESCRIPTION (cont'd):

CRS # N-14250

- f) Windows  
spacing 6/6  
type double hung  
trim wood  
shutters black
- g) Door  
spacing not available  
type  
trim
- h) Porches  
location(s) none  
materials  
supports  
trim
- i) Interiors details (if accessible)  
Not Accessible

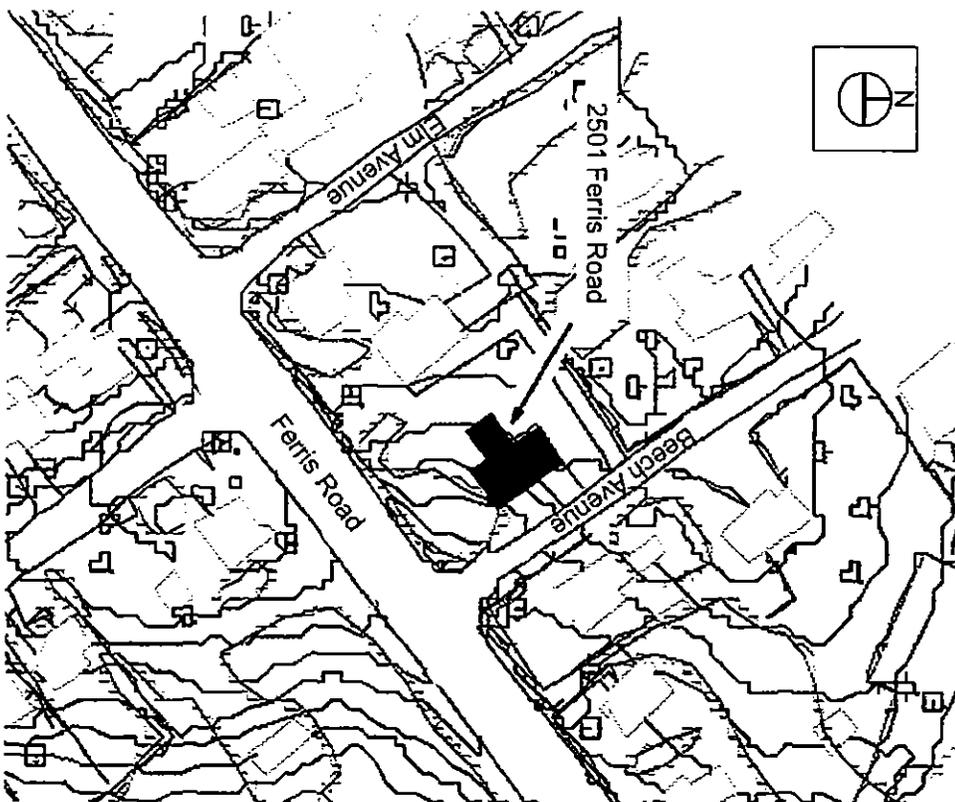
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2501 Ferris Road was built circa 1952. Although this resource retains many original architectural features and remains relatively unaltered, it is not a distinctive or unique example of the Colonial Revival style. It is a typical rather than innovative example of residential architecture in this area and better illustrations exist throughout the county. The house does not appear eligible for the National Register.

11. Comprehensive Planning:

a. Time Period(s)

1940-1960 Suburbanization and Early Ex-urbanization

b. Historic Themes(s)

Architecture

12. Evaluation:

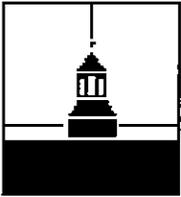
Eligible? Yes ( ) No ( X ) Potential ( )

a. Area(s) of significance

b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date: 12/7/01  
 PI: Judith F. Kennedy Date: 6/5/02



CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS # N-14251  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.25

1. NAME OF PROPERTY: 2503 Ferris Road

2. STREET ADDRESS: 2503 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

7. LIST ADDITIONAL SHEETS USED  
Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY AND HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14251  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.25

1. ADDRESS OF PROPERTY: 2503 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1940
3. STYLE/FLOOR PLAN: Minimal Traditional
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_

list major alterations and dates (if known)

2-story rear addition

6. CONDITION: excellent \_\_\_\_\_ good   
fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

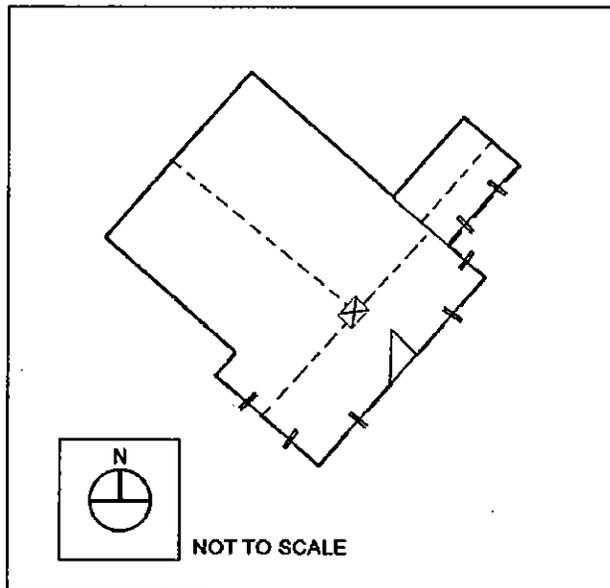
- a) Overall shape irregular  
stories 1  
bays 3  
wings 1-story addition on southwest elevation, 2-story rear addition
- b) Structural system wood frame
- c) Foundation materials concrete  
basement full
- d) Exterior walls (modern over original) materials vinyl siding  
color(s) grey
- e) Roof shape; materials cross gable, wood shake shingles  
cornice wood  
dormers none  
chimney location(s) centered brick interior

7. DESCRIPTION (cont'd):

CRS # N-14251

- f) Windows
- |          |                      |
|----------|----------------------|
| spacing  | 8/8                  |
| type     | double hung aluminum |
| trim     | aluminum             |
| shutters | black                |
- g) Door
- |         |                  |
|---------|------------------|
| spacing | 6-light, paneled |
| type    | wood             |
| trim    | wood             |
- h) Porches
- |             |                                 |
|-------------|---------------------------------|
| location(s) | entrance portico with shed hood |
| materials   | wood                            |
| supports    | wood or aluminum                |
| trim        | wood                            |
- i) Interiors details (if accessible)
- Not Accessible

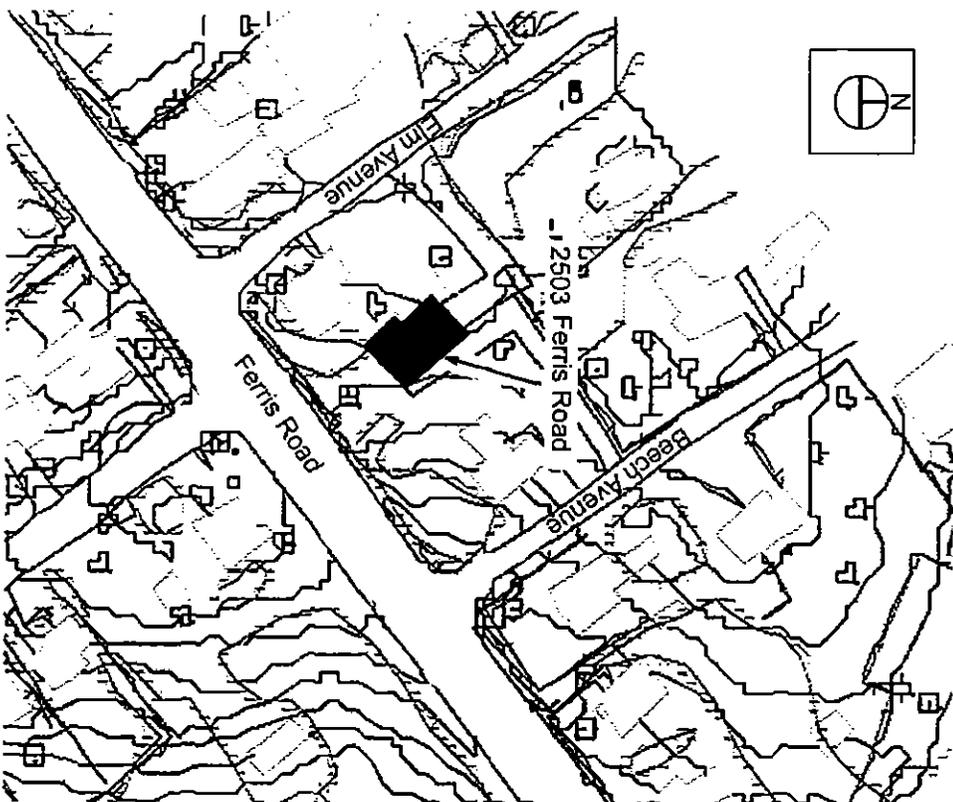
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-505, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2503 Ferris Road was built circa 1940. Alterations and renovations such as the vinyl siding and the 2-story rear addition severely compromise the architectural integrity. The house does not appear eligible for the National Register either individually or within the context of a historic district.

11. Comprehensive Planning:

a. Time Period(s)

1940-1960 Suburbanization and Early Ex-urbanization

b. Historic Themes(s)

Architecture

12. Evaluation:

Eligible? Yes ( ) No ( X ) Potential ( )

a. Area(s) of significance

b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01

PI: Judith F. Kennedy Date 6/5/02



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS #	<u>N-14252</u>
SPO Map	<u>08-09-35</u>
Hundred	<u>Christiana</u>
Quad	<u>Wilmington South</u>
Zone	<u>II</u>
Acreage	<u>0.14</u>

1. NAME OF PROPERTY: 2505 Ferris Road

2. STREET ADDRESS: 2505 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

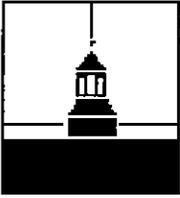
7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14252  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.14

1. ADDRESS OF PROPERTY: 2505 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1930
3. STYLE/FLOOR PLAN: Craftsman
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_  
list major alterations and dates (if known)  
1-story addition on northwest elevation

6. CONDITION: excellent \_\_\_\_\_ good   
fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape irregular  
stories 1.5  
bays 3  
wings 1-story addition on northwest elevation
- b) Structural system wood frame
- c) Foundation materials concrete block  
basement full
- d) Exterior walls (modern over original)  
materials vinyl siding  
color(s) yellow
- e) Roof  
shape; materials side gable, asphalt shingles  
cornice aluminum, slight overhang  
dormers central shed with exposed rafters  
chimney location(s) not available

7. DESCRIPTION (cont'd):

CRS # N-14252

f) Windows

spacing	6/6
type	double hung wood
trim	wood
shutters	none

g) Door

spacing	single-light with sidelights
type	wood
trim	wood

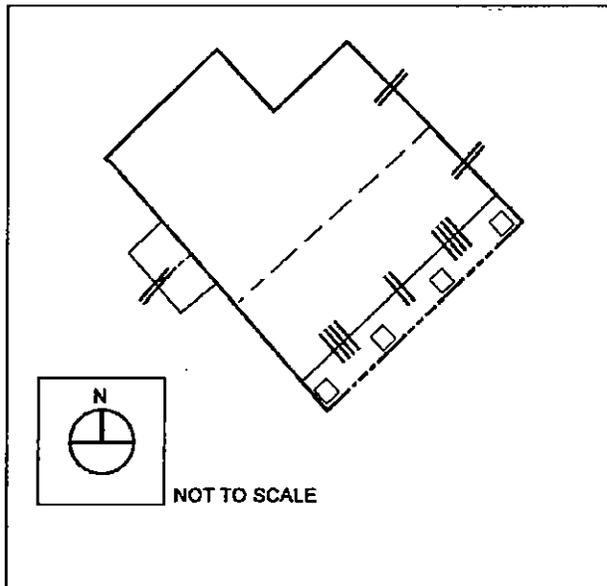
h) Porches

location(s)	1-story, full length facade on southeast elevation
materials	wood, concrete, brick stairs
supports	square wood columns on concrete block piers
trim	wood

i) Interiors details (if accessible)

Not Accessible

8. SKETCH PLAN OF BUILDING:

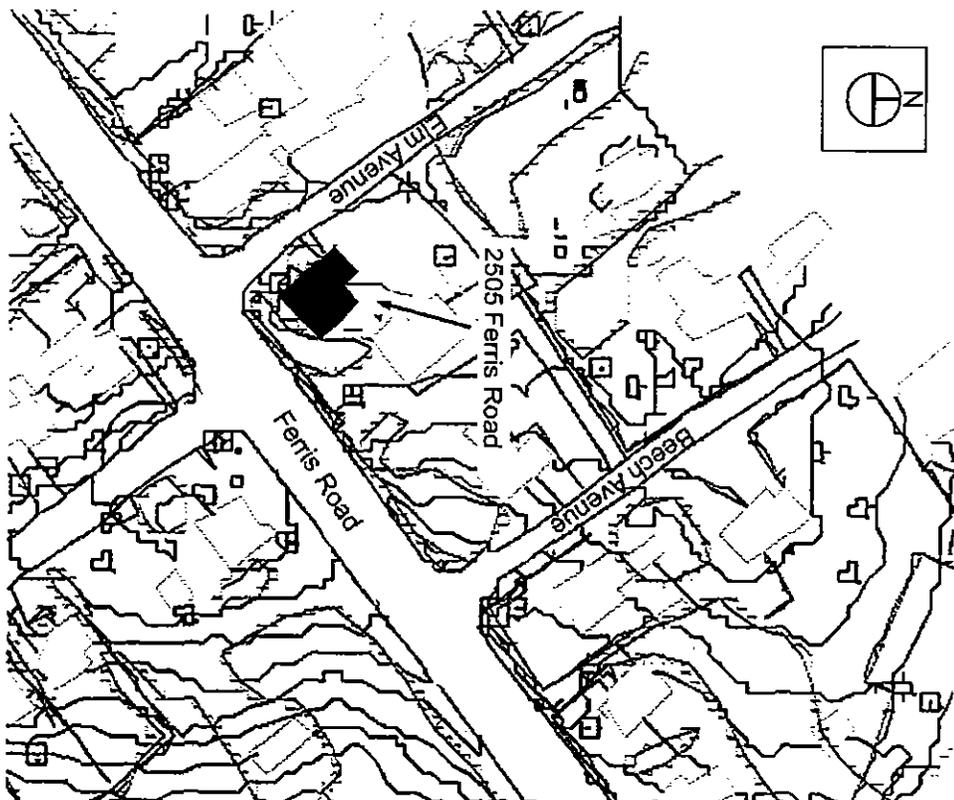


INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli

Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2505 Ferris Road was built circa 1930. Although this resource retains many original architectural features and remains relatively unaltered, it is not a distinctive or unique example of the Craftsman style. It is a typical rather than innovative example of residential architecture in this area and better illustrations exist throughout the county. The house does not appear eligible for the National Register.

11. Comprehensive Planning:

a. Time Period(s)

1940-1960 Suburbanization and Early Ex-urbanization

b. Historic Themes(s)

Architecture

12. Evaluation:

Eligible? Yes ( ) No ( X ) Potential ( )

a. Area(s) of significance

b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01

PI: Judith F. Kennedy Date 6/5/02

CRS-1



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14253  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 2600 Ferris Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

Impending demolition associated with roadway improvements

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: January 17, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14253 .001

1. ADDRESS OF PROPERTY: 2600 Ferris Road

2. FUNCTION(S):            historic    Residential            current    Vacant

3. YEAR BUILT: 1945            ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Colonial Revival

5. INTEGRITY:            original site            X            moved    \_\_\_\_\_

if moved, when and from where

list major alterations and dates (if known)

Garage converted to residential use; partially covered rear deck

6. CONDITION:            excellent    \_\_\_\_\_            good    X            fair    \_\_\_\_\_            poor    \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape            Rectangle  
   stories                    2  
   bays                        3  
   wings                      1

b) Structural system        Concrete block

c) Foundation  
   basement                Concrete block  
   materials                Yes

d) Exterior walls (modern over original)

   materials                Brick, common bond  
   color(s)                 Red

e) Roof

   shape; materials        Side gable; asphalt shingles  
   cornice                    Plain, vinyl  
   dormers                    None  
   chimney location(s)    Gable-end exterior

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction:    West

   1) Bays                    3

   2) Windows

     fenestration            Regular

     type                    6/6 vinyl double-hung sash

     trim                     Brick sills

     shutters                Modern non-functional paneled

## Facade (cont'd)

- 3) Door(s)  
     location Center  
     type Single leaf 4 pane, 4 panel door  
     trim Wood surround with keystone motif.
- 4) Porches Concrete stoop at front door, facing Ferris Road

## b. Side: Direction: North

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 6/6 vinyl double-hung sash  
     trim Brick sills  
     shutters Modern non-functional paneled and vertical board shutters
- 3) Door(s)  
     location Off-center  
     type Single leaf pane and panel wood door with full glass storm door  
     trim None
- 4) Porches Open porch with shed roof, square wood posts, concrete deck.

## c. Side: Direction: South

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 6/6 vinyl and 6/6 wood double-hung sash  
     trim Brick sills  
     shutters Modern non-functional paneled and vertical board shutters
- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

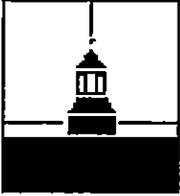
## d. Rear: Direction: East

- 1) Bays 3
- 2) Windows  
     fenestration Irregular  
     type 6/6 vinyl double-hung sash; paired 1-light casements  
     trim Brick sills  
     shutters None
- 3) Door(s)  
     location Off-center on side of former garage  
     type Modern single leaf  
     trim None
- 4) Porches Wood deck, partially covered by a shed roof.

9. INTERIOR: Concrete block gable ends visible in attic; brick tie-ins also visible; tongue and groove wood floors in attic.

10. LANDSCAPING: Asphalt driveway from Ferris Road and Lehigh, wood picket fence around rear yard

11. OTHER COMMENTS: Brick belt course below second-story windows.



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14253 .002

1. ADDRESS OF PROPERTY: 2600 Ferris Road
2. FUNCTION(S): Shed
3. YEAR BUILT: Unknown ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Vertical board
- d) Foundation Not visible
- e) Roof  
structural system Gambrel  
coverings Asphalt shingles  
openings None

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: West
- 1) bays: 1
- 2) windows: none
- 3) door(s): Double leaf vertical board door
- 4) other:

b) Side: direction: North

1) bays: 1

2) windows: none

3) door(s): none

4) other:

c) Side: direction: South

1) bays: 1

2) windows: none

3) door(s): none

4) other:

d) Rear: direction: East

1) bays: 1

2) windows: none

3) door(s): none

4) other:

9. INTERIOR (if accessible):

a) Floor plan

b) Partition/walls

c) Finishes

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14253 .001

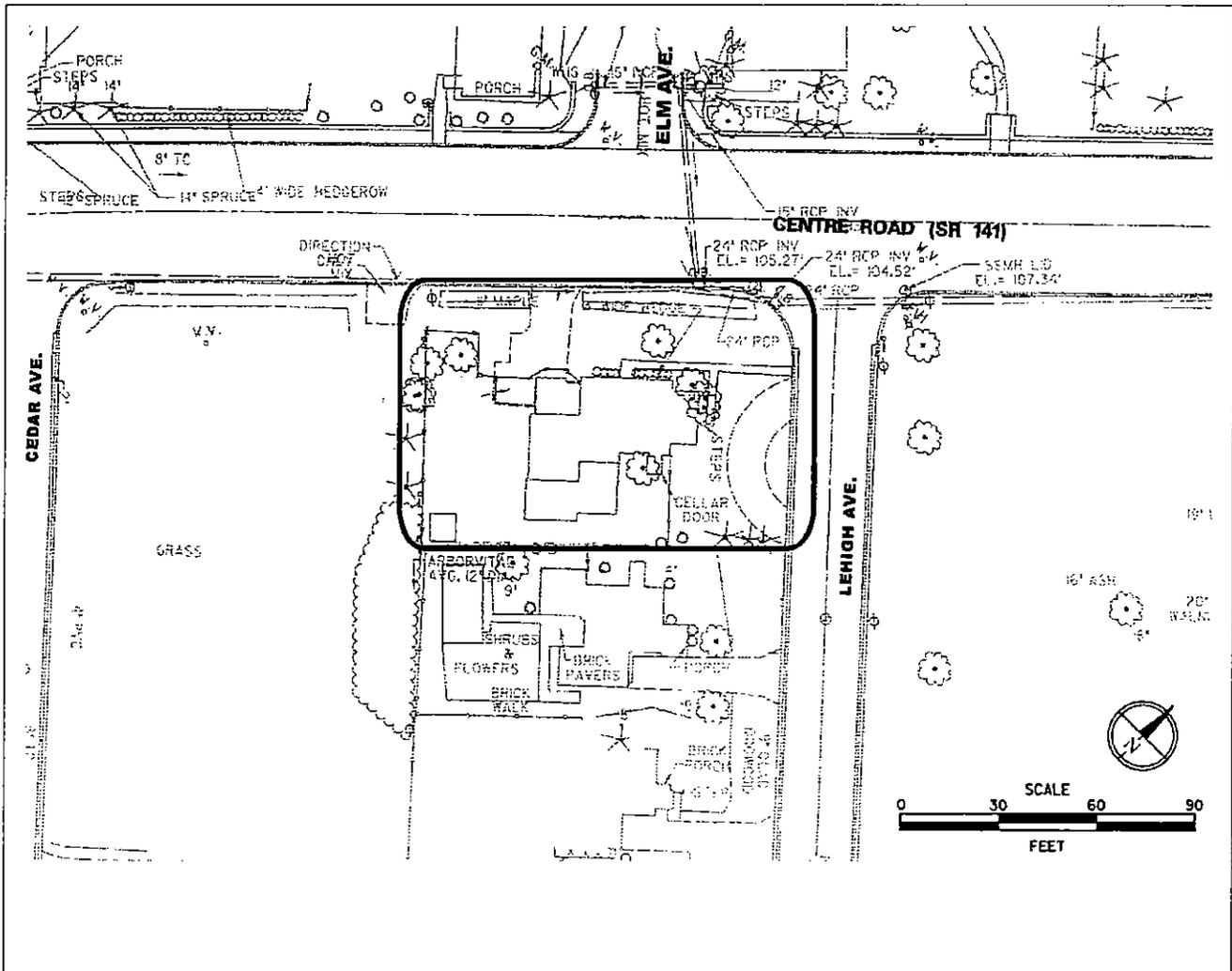
1. ADDRESS/LOCATION: 2600 Ferris Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

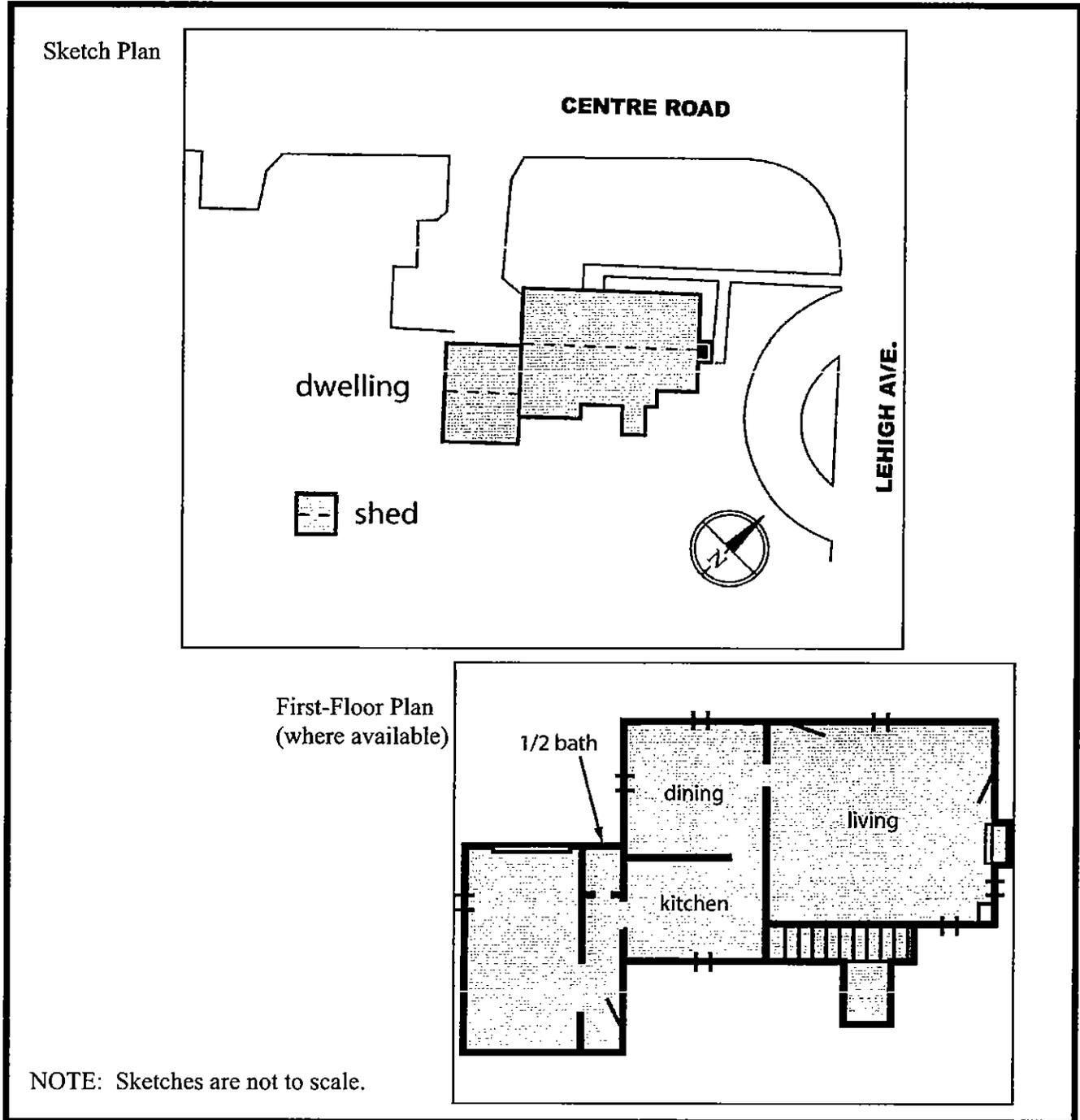
**INDICATE NORTH ON SKETCH**



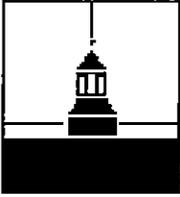
4. SITE PLAN:

CRS #   N-14253

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14253

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 2600 Ferris Road

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:

Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:

This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS # N-14254  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.11

1. NAME OF PROPERTY: Gainer Awnings

2. STREET ADDRESS: 2601 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present dwelling and business

7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14254  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.11

1. ADDRESS OF PROPERTY: 2601 Centre Avenue
2. DATE OF INITIAL CONSTRUCTION: c. 1925
3. STYLE/FLOOR PLAN: Craftsman
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_  
list major alterations and dates (if known)  
garage turned into storefront  
hyphen attaching house to garage/storefront added  
front porch enclosed

6. CONDITION: excellent  good   
fair  poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

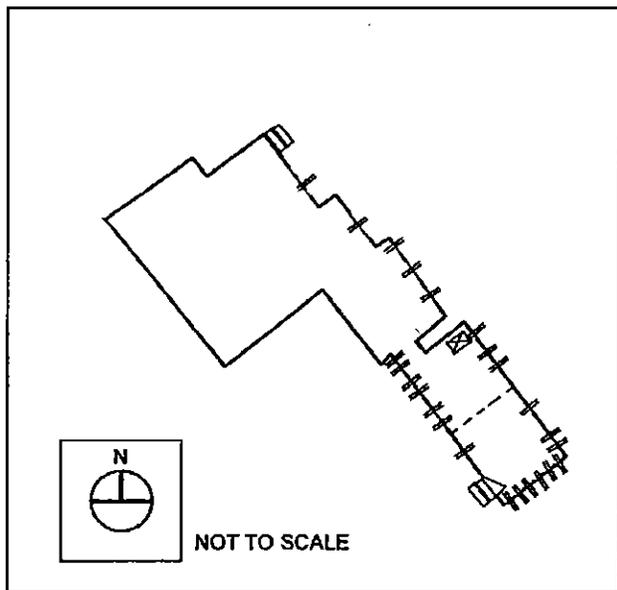
- a) Overall shape irregular  
stories 1  
bays 3  
wings hyphen attaching house to garage/storefront
- b) Structural system wood frame
- c) Foundation materials concrete block  
basement full
- d) Exterior walls (modern over original)  
materials asbestos siding  
color(s) green
- e) Roof  
shape; materials low pitched side gable, asphalt shingles  
cornice wood, wide overhang with exposed triangular knee braces at gables  
dormers low pitched, central shed dormer on east and west elevations  
chimney location(s) west elevation

7. DESCRIPTION (cont'd):

CRS # N-14254

- f) Windows
  - spacing                    6/1
  
  - type                        double hung
  - trim                        wood
  - shutters                  none
  
- g) Door
  - spacing                    not available
  - type
  - trim
  
- h) Porches
  - location(s)                1-story, enclosed full facade porch on east elevation
  - materials                 asbestos siding, windows with awnings
  - supports                  concrete block piers
  - trim                        wood
  
- i) Interiors details (if accessible)
  - Not Accessible

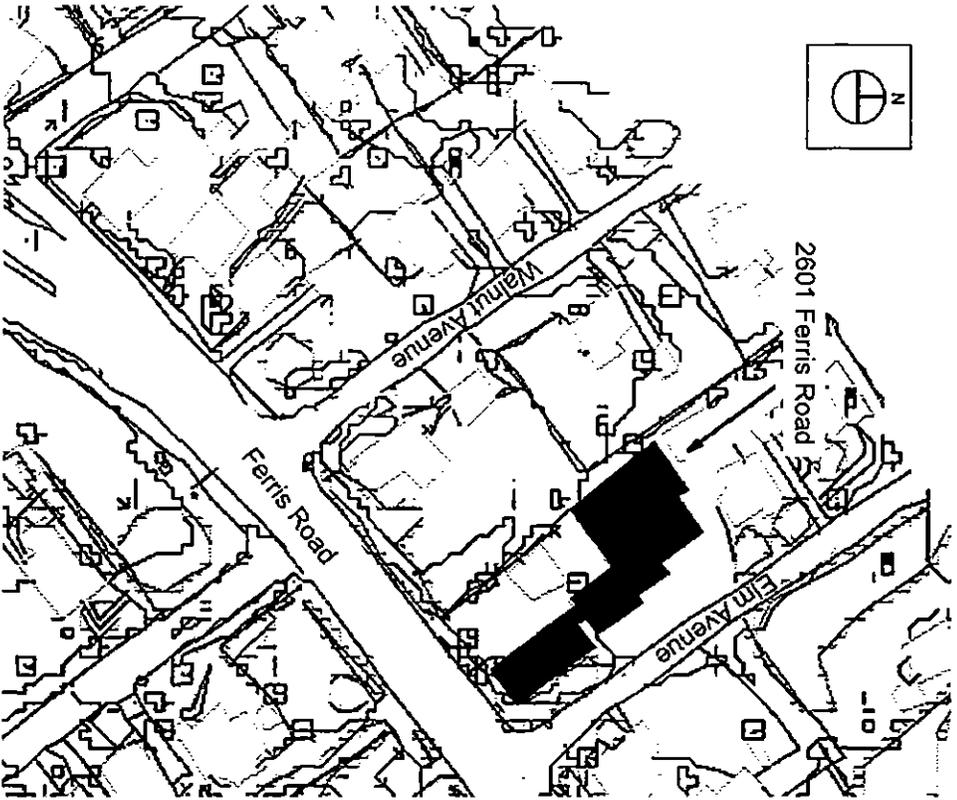
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2601 Ferris Road was built circa 1925. Significant alterations such as the enclosed front porch and asbestos siding compromise the architectural integrity of the resource. The building does not appear eligible for the National Register either individually or within the context of a historic district.

11. Comprehensive Planning:

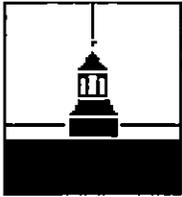
- a. Time Period(s)  
1940-1960 Suburbanization and Early Ex-urbanization
- b. Historic Themes (s)  
Architecture

12. Evaluation:

- Eligible? Yes ( ) No ( X ) Potential ( )
- a. Area(s) of significance
- b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01  
 PI: Judith F. Kennedy Date 6/5/02



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS #	<u>N-14255</u>
SPO Map	<u>08-09-35</u>
Hundred	<u>Christiana</u>
Quad	<u>Wilmington South</u>
Zone	<u>II</u>
Acreage	<u>0.35</u>

1. NAME OF PROPERTY: 2609 Ferris Road

2. STREET ADDRESS: 2609 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_

object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)

fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_

scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY AND HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no.	<u>N-14255</u>
SPO Map	<u>08-09-35</u>
Hundred	<u>Christiana</u>
Quad	<u>Wilmington South</u>
Zone	<u>II</u>
Acreage	<u>0.35</u>

1. ADDRESS OF PROPERTY: 2609 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1923
3. STYLE/FLOOR PLAN: Bungalow
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_

list major alterations and dates (if known)

2-story rear addition

6. CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_  
fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

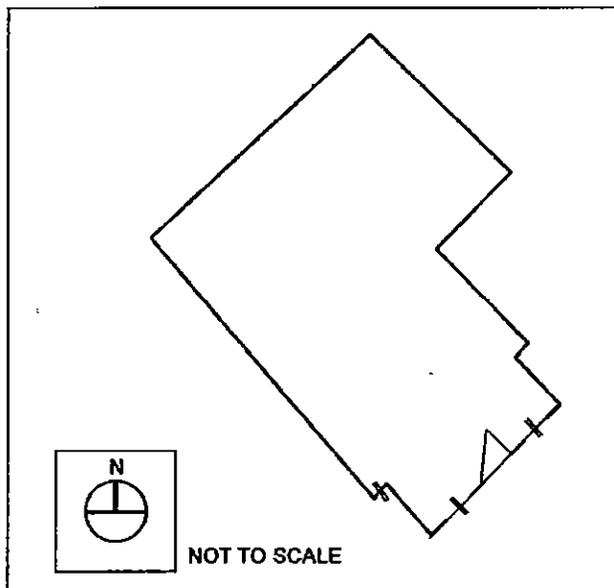
- a) Overall shape rectangular  
stories 1.5  
bays 3  
wings 2-story rear addition
- b) Structural system wood frame
- c) Foundation  
materials concrete block  
basement full
- d) Exterior walls (modern over original)  
materials vinyl siding  
color(s) green
- e) Roof  
shape; materials gable; asphalt shingle  
cornice  
dormers  
chimney location(s)

7. DESCRIPTION (cont'd):

CRS # N-14255

- f) Windows
  - spacing           not available
  
  - type               double hung
  - trim               wood
  - shutters          none
  
- g) Door
  - spacing           not available
  - type               not available
  - trim               wood
  
- h) Porches
  - location(s)       1-story full length of facade on southeast elevation
  - materials          wood
  - supports          wood, doric columns
  - trim               wood
  
- i) Interiors details (if accessible)  
Not Accessible

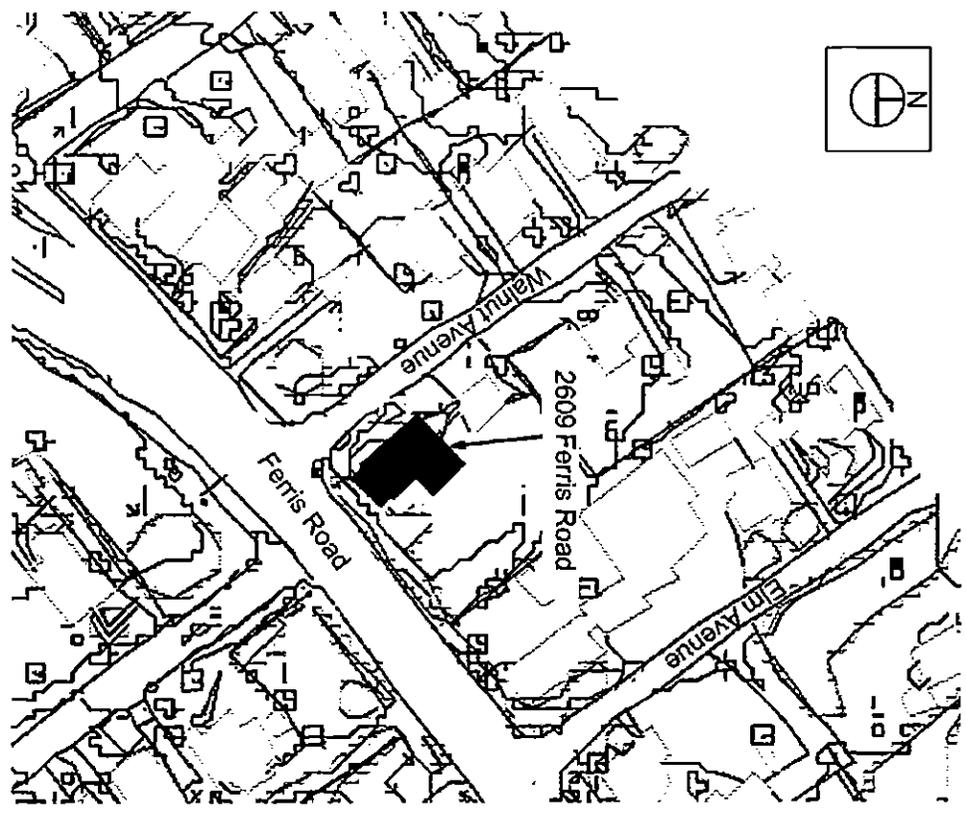
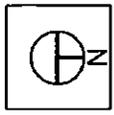
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli                      Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Eismere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Pricess Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2609 Ferris Road was built circa 1940. Alterations such as the 2-story rear addition and vinyl siding compromise the architectural integrity of the resource. The house does not appear eligible for the National Register either individually or within the context of a historic district.

11. Comprehensive Planning:

- a. Time Period(s)  
1940-1960 Suburbanization and Early Ex-urbanization
- b. Historic Themes(s)  
Architecture

12. Evaluation:

Eligible?	Yes ( )	No ( X )	Potential ( )
a. Area(s) of significance			
b. NR criteria			

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01  
 PI: Judith F. Kennedy Date 6/5/02  
**CRS-1**



CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS #	<u>N-14256</u>
SPO Map	<u>08-09-35</u>
Hundred	<u>Christiana</u>
Quad	<u>Wilmington South</u>
Zone	<u>II</u>
Acreage	<u>0.22</u>

1. NAME OF PROPERTY: 2703 Ferris Road

2. STREET ADDRESS: 2703 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

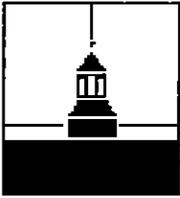
7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY AND HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14256  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.22

1. ADDRESS OF PROPERTY: 2703 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1895
3. STYLE/FLOOR PLAN: Colonial Revival
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_  
list major alterations and dates (if known)  
Projecting bay

6. CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_  
fair  poor \_\_\_\_\_

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

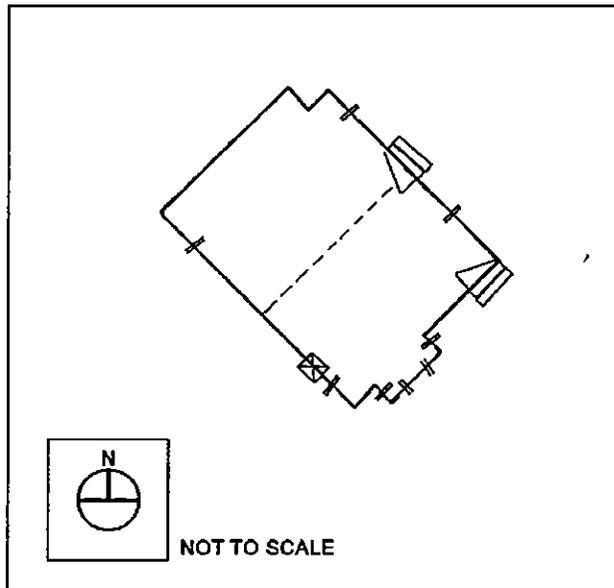
- a) Overall shape rectangular  
stories 2  
bays 2  
wings none
- b) Structural system wood frame
- c) Foundation  
materials brick  
basement full
- d) Exterior walls (modern over original)  
materials asbestos siding  
color(s) white
- e) Roof  
shape; materials side gable with 2-story front facade bay, asphalt shingles  
cornice wood  
dormers wood wall dormer on southeast elevation  
chimney location(s) exterior brick, southwest elevation

7. DESCRIPTION (cont'd):

CRS # N-14256

- f) Windows
  - spacing            6/6
  
  - type                double hung wood
  - trim                wood
  - shutters           none
  
- g) Door
  - spacing            6-light paneled
  - type                wood
  - trim                wood
  
- h) Porches
  - location(s)        entrance portico with hood, southeast elevation
  - materials          wood hood, brick steps and iron railings
  - supports          none
  - trim                wood
  
- i) Interiors details (if accessible)
  - Not Accessible

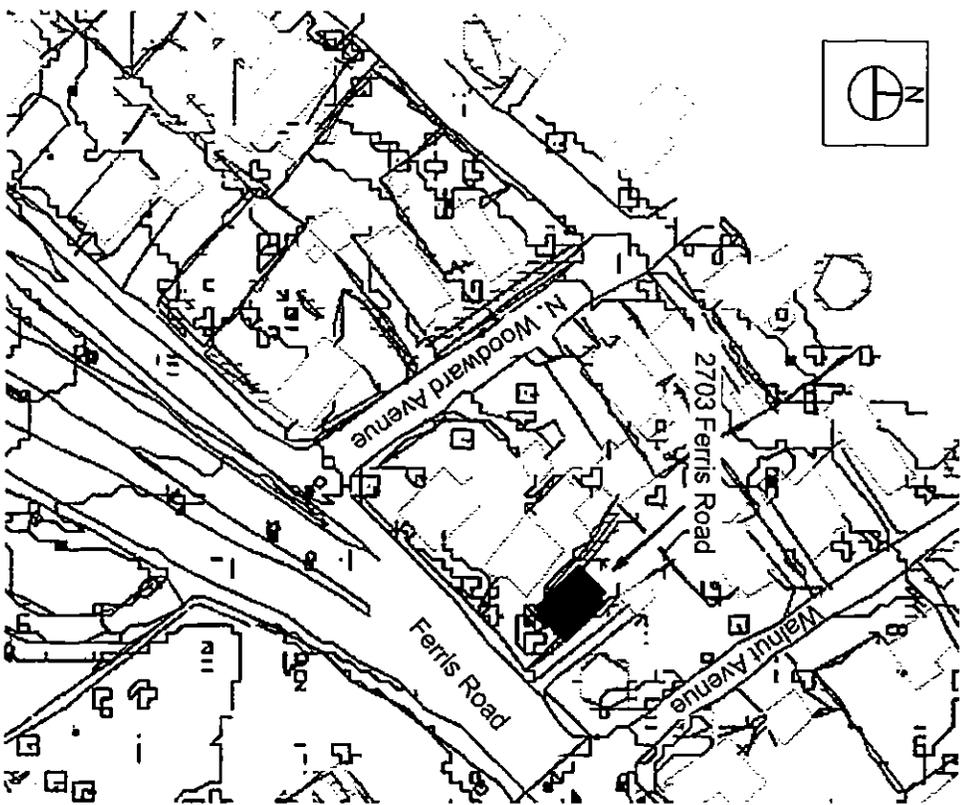
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli                      Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Eismere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Pricess Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of footage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as defined in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2703 Ferris Road was built circa 1895, however no house appears at this location on the 1906 and 1928 U.S.G.S. Stylistically the building appears to date from the 1930s. This building has been altered including changes to the fenestration, the addition of a projecting bay, and the introduction of asbestos siding. It does not appear eligible for the National Register.

11. Comprehensive Planning:

- a. Time Period(s)
  - 1940-1960 Suburbanization and Early Ex-urbanization
- b. Historic Themes(s)
  - Architecture

12. Evaluation:

- a. Eligible? Yes ( ) No (  ) Potential ( )
- a. Area(s) of significance
- b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date: 12/7/01  
 PI: Judith F. Kennedy Date: 6/5/02



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS # N-14257  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.09

1. NAME OF PROPERTY: 2705 Ferris Road

2. STREET ADDRESS: 2705 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

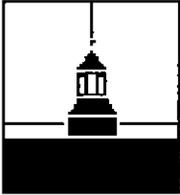
7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no.	<u>N-14257</u>
SPO Map	<u>08-09-35</u>
Hundred	<u>Christiana</u>
Quad	<u>Wilmington South</u>
Zone	<u>II</u>
Acreage	<u>0.09</u>

1. ADDRESS OF PROPERTY: 2705 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1940
3. STYLE/FLOOR PLAN: Cape Cod Cottage
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved
- if moved, when and from where \_\_\_\_\_
- list major alterations and dates (if known)  
partially enclosed front porch

6. CONDITION: excellent  good
- fair  poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

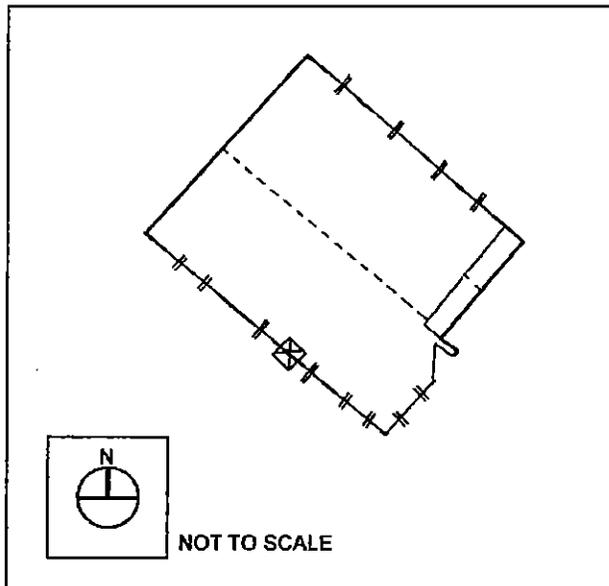
- a) Overall shape rectangular  
stories 1.5  
bays 2  
wings none
- b) Structural system wood frame
- c) Foundation  
materials concrete  
basement full
- d) Exterior walls (modern over original)  
materials aluminum siding  
color(s) yellow
- e) Roof  
shape; materials front gable, asphalt shingles  
cornice aluminum with slight overhang  
dormers gable dormer on northeast elevation  
chimney location(s) exterior brick on southwest elevation

7. DESCRIPTION (cont'd):

CRS # N-14257

- f) Windows
- |          |                     |
|----------|---------------------|
| spacing  | 1/1                 |
| type     | double hung wood    |
| trim     | wood                |
| shutters | only on attic level |
- g) Door
- |         |               |
|---------|---------------|
| spacing | not available |
| type    | not available |
| trim    | not available |
- h) Porches
- |             |   |
|-------------|---|
| location(s) | partial enclosure on left side of southeast elevation with louver windows |
| materials   | aluminum siding, aluminum windows   |
| supports    | N/A   |
| trim        | wood  |
- i) Interiors details (if accessible)
- Not Accessible

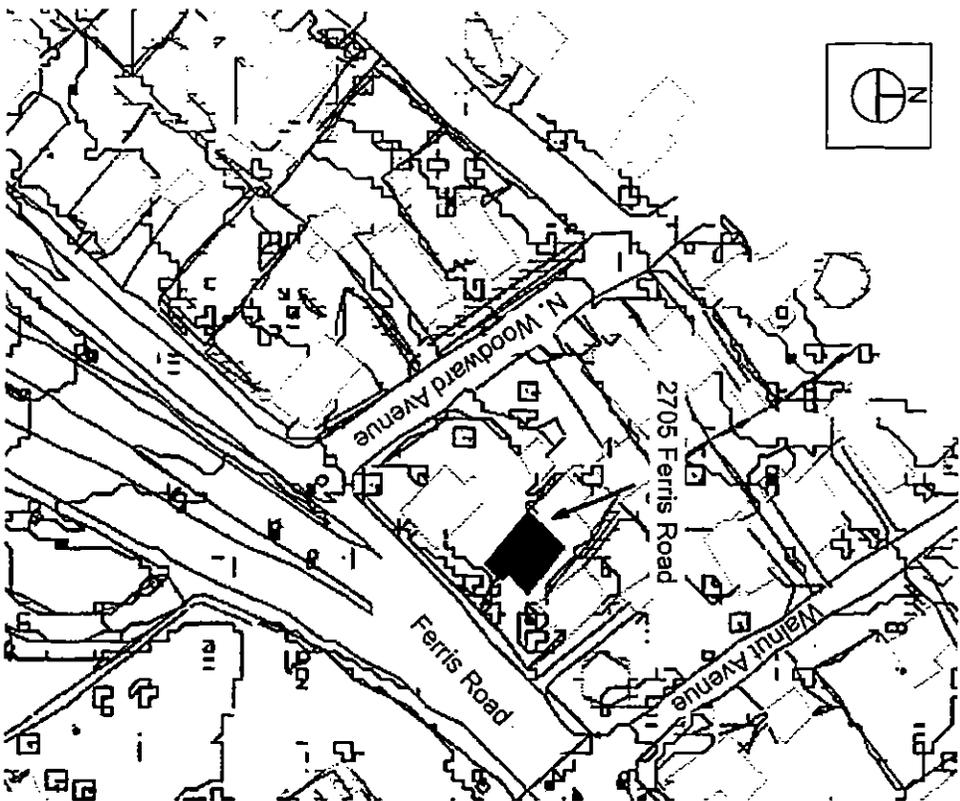
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Pricess Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2705 Ferris Road was built circa 1940. Alterations such as the partially enclosed front porch and aluminum siding compromise the architectural integrity of the resource. The house does not appear eligible for the National Register either individually or within the context of a historic district.

11. Comprehensive Planning:

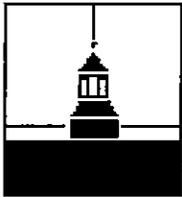
- a. Time Period(s)  
1940-1980 Suburbanization and Early Ex-urbanization
- b. Historic Themes(s)  
Architecture

12. Evaluation:

- Eligible? Yes ( ) No ( X ) Potential ( )
- a. Area(s) of significance
- b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli Date: 12/7/01  
 PI: Judith F. Kennedy Date: 6/5/02



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS #	<u>N-14258</u>
SPO Map	<u>08-09-35</u>
Hundred	<u>Christiana</u>
Quad	<u>Wilmington South</u>
Zone	<u>II</u>
Acreage	<u>0.13</u>

1. NAME OF PROPERTY: 2709 Ferris Road

2. STREET ADDRESS: 2709 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

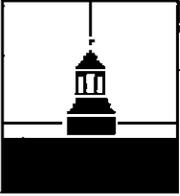
7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY AND HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14258  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.13

1. ADDRESS OF PROPERTY: 2709 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1930
3. STYLE/FLOOR PLAN: Craftsman Bungalow
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_  
list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION: excellent  good   
fair  poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape Rectangular  
stories 1.5  
bays 3  
wings none
- b) Structural system wood frame
- c) Foundation materials rusticated concrete block  
basement full
- d) Exterior walls (modern over original)  
materials wood shingles  
color(s) brown
- e) Roof  
shape; materials side gable with asphalt shingles  
cornice wood, wide overhanging eave with slight returns  
dormers central gable dormer with wide eave  
chimney location(s) exterior brick on southwest elevation

7. DESCRIPTION (cont'd):

CRS # N-14258

f) Windows

spacing	1/1
type	double hung wood
trim	wood
shutters	none

g) Door

spacing	6-light paneled
type	wood
trim	wood

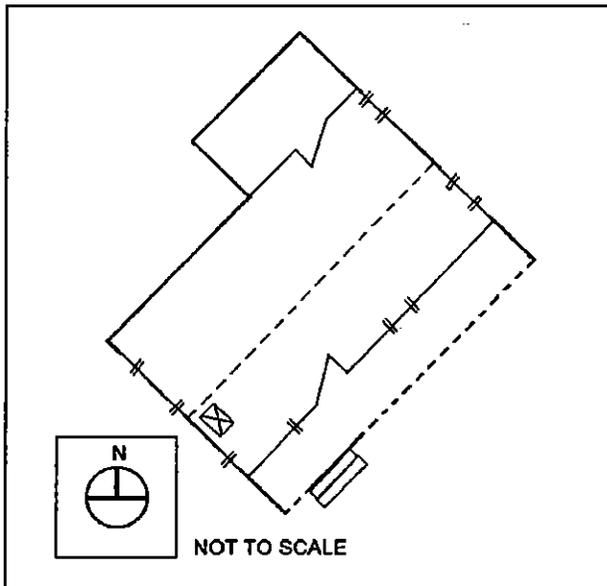
h) Porches

location(s)	1-story full length of facade on rusticated concrete piers on southeast elevation
materials	wood
supports	paired wood square columns, simple square wood balustrade
trim	wood

i) Interiors details (if accessible)

Not Accessible

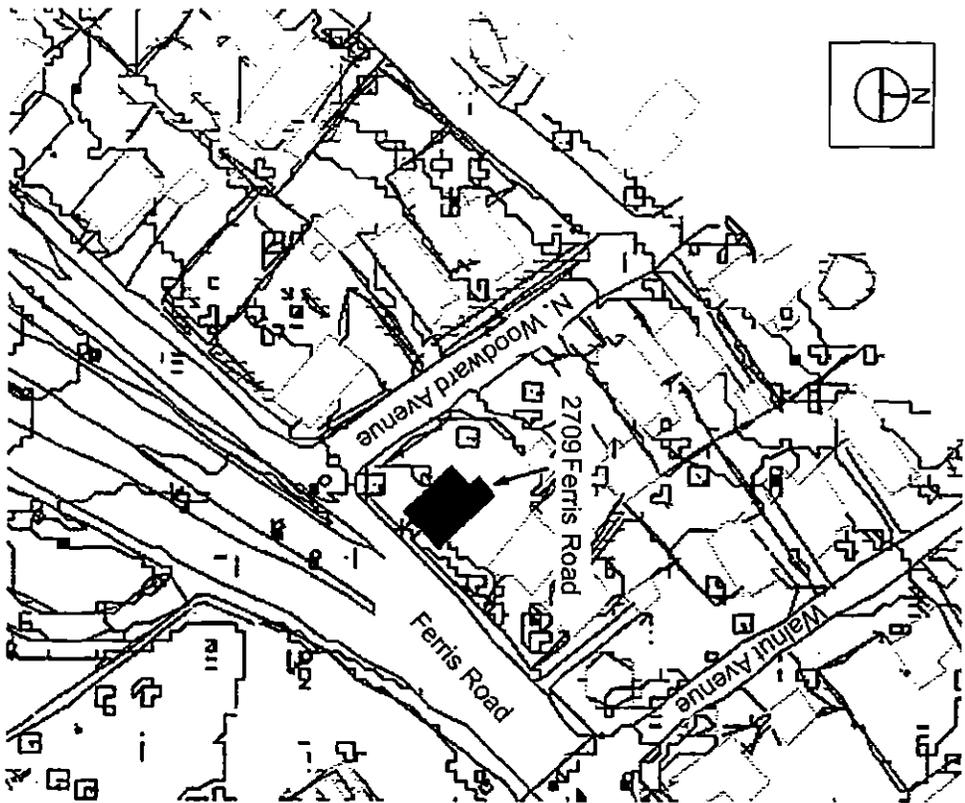
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli Date of Form 12/7/01

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Elsmere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to the New Castle County tax assessment, 2709 Ferris Road was built circa 1930. Although this resource retains many original architectural features and remains relatively unaltered, it is not a distinctive or unique example of the Craftsman style. Better illustrations exist throughout the county. The house does not appear eligible for the National Register either individually or within the context of a historic district.

11. Comprehensive Planning:

- a. Time Period(s)  
1940-1960 Suburbanization and Early Ex-urbanization
- b. Historic Themes (S)  
Architecture

12. Evaluation:
- |                            |         |          |               |
|----------------------------|---------|----------|---------------|
| Eligible?                  | Yes ( ) | No ( X ) | Potential ( ) |
| a. Area(s) of significance |         |          |               |
| b. NR criteria             |         |          |               |

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01  
 PI: Judith F. Kennedy Date 6/5/02



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS # N-14259  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.18

1. NAME OF PROPERTY: 2801 Ferris Road

2. STREET ADDRESS: 2801 Ferris Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building  structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)  
fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland \_\_\_\_\_  
scattered buildings \_\_\_\_\_ densely built up  other \_\_\_\_\_

6. FUNCTION: original Single-family dwelling present Single-family dwelling

7. LIST ADDITIONAL SHEETS USED

Main Building Form  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY AND HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM

CRS no. N-14259  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Zone II  
Acreage 0.18

1. ADDRESS OF PROPERTY: 2801 Ferris Road
2. DATE OF INITIAL CONSTRUCTION: c. 1925
3. STYLE/FLOOR PLAN: Bungalow
4. ARCHITECT/BUILDER: unknown

5. INTEGRITY: original site  moved   
if moved, when and from where \_\_\_\_\_  
list major alterations and dates (if known)  
partially enclosed front porch

6. CONDITION: excellent  good   
fair  poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

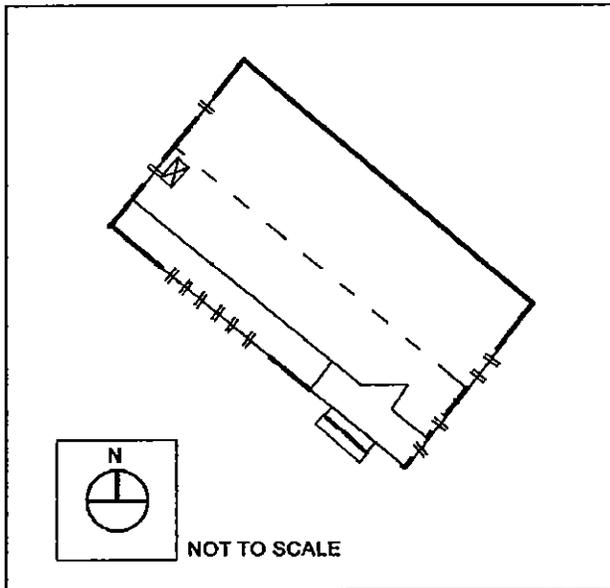
- a) Overall shape rectangular  
stories 1.5  
bays 3  
wings none
- b) Structural system wood frame
- c) Foundation materials rusticated concrete block  
basement full
- d) Exterior walls (modern over original)  
materials wood shingles, vinyl siding on enclosed porch and dormer  
color(s) brown shingles
- e) Roof  
shape; materials low pitched, side gable with asphalt shingles  
cornice wood, wide open eave with exposed triangular knee braces  
dormers central gable dormer with wide eaves and exposed knee braces  
chimney location(s) brick on southwest elevation

7. DESCRIPTION (cont'd):

CRS # N-14259

- f) Windows
- |          |                  |
|----------|------------------|
| spacing  | 1/1              |
| type     | double hung wood |
| trim     | wood             |
| shutters | none             |
- g) Door
- |         |               |
|---------|---------------|
| spacing | 15-light      |
| type    | not available |
| trim    | wood          |
- h) Porches
- |             |  |
|-------------|--|
| location(s) | partial porch enclosure on southeast elevation |
| materials   | vinyl siding                                   |
| supports    | wood   |
| trim        | wood   |
- i) Interiors details (if accessible)
- Not Accessible

8. SKETCH PLAN OF BUILDING:



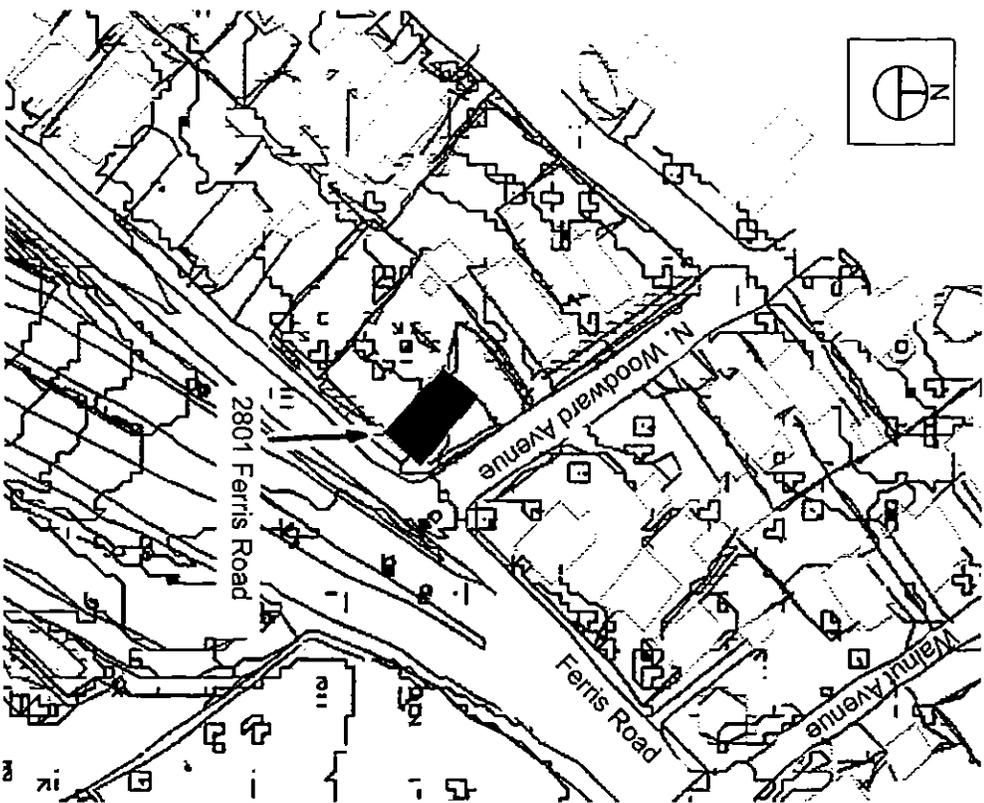
INDICATE NORTH ON SKETCH

9. Surveyor: Judith F. Kennedy, Vanessa Zeoli Date of Form 12/7/01

9. SKETCH MAP

CRS # N-14259

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

Suburban development surrounding Wilmington became possible due to the expansion of the trolley system. In 1891, the Peoples Railway Company built the first suburban line to Eismere, an industrial hub and the subsequent junction of the Baltimore and Ohio Railroad and the Wilmington and Northern Railroad. The model was an immediate success among Wilmington's working-class population. Forty-nine (49) additional subdivisions were created on the outskirts of Wilmington by 1920, thirty-seven (37) of them in Christiana Hundred.

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road and included the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Lots were platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. The development grew irregularly out from three pockets along Ferris and Centerville Road between 1930 and the early 1950s. House lots varied in size, combining between two and six original parcels. The greatest concentration of construction occurred in the 1930s. Due to significant deviations from the original design, and because the majority of houses lack integrity, the subdivision does not meet "Criteria for Evaluation" as listed in *Suburbanization in the Vicinity of Wilmington, DE*.

According to USGS maps and aerial photographs, 2801 Ferris Road was built circa 1925. Alterations such as the enclosed front porch and vinyl siding compromise the architectural integrity of the resource. The house does not appear eligible for the National Register either individually or within the context of a historic district.

11. Comprehensive Planning:

a. Time Period(s)

1940-1960 Suburbanization and Early Ex-urbanization

b. Historic Themes(s)

Architecture

12. Evaluation:

Eligible? Yes ( ) No ( X ) Potential ( )

a. Area(s) of significance

b. NR criteria

13. Certification

Surveyor: Vanessa Zeoli

Date 12/7/01

PI: Judith F. Kennedy

Date 6/5/02

CRS-1



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14261  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 2 Lehigh Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_

object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

Impending demolition associated with roadway improvements

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: January 17, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14261 .001

1. ADDRESS OF PROPERTY: 2 Lehigh Road

2. FUNCTION(S): historic Residential current Vacant

3. YEAR BUILT: 1939 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Colonial Revival

5. INTEGRITY: original site X moved \_\_\_\_\_  
if moved, when and from where

list major alterations and dates (if known)

2-story addition over garage; conversion of garage to residential space.

6. CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair X poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape Irregular  
stories 2  
bays 2  
wings 1

b) Structural system Frame

c) Foundation  
basement Concrete block  
materials Yes

d) Exterior walls (modern over original)

materials Asbestos shingles  
color(s) White

e) Roof

shape; materials Front gable; asphalt shingles  
cornice None  
dormers None  
chimney location(s) Concrete block, exterior gable-end

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: North

1) Bays 3  
2) Windows

fenestration Regular  
type 6/6 wood double-hung sash

trim Flat wood  
shutters Modern non-functional louvered

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Single leaf wood pane and panel with aluminum storm door; pane and panel door on former garage  
     trim Wood surround with pilasters and entablature
- 4) Porches Concrete stoop at door

## b. Side: Direction: East

- 1) Bays 2
- 2) Windows  
     fenestration Irregular  
     type 6/6 wood double-hung sash and 1-light awning windows  
     trim Flat  
     shutters None
- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

## c. Side: Direction: West

- 1) Bays 3
- 2) Windows  
     fenestration Regular  
     type 6/6 wood double-hung sash  
     trim Flat  
     shutters Modern non-functional louvered
- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

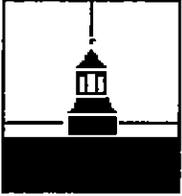
## d. Rear: Direction: South

- 1) Bays 3
- 2) Windows  
     fenestration Regular  
     type 1/1 and 6/6 wood double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location Off-center; door on side of eastern addition  
     type Wood pane and panel with aluminum storm door  
     trim None
- 4) Porches 1-story shed roof porch, enclosed with plastic

9. INTERIOR: n/a

10. LANDSCAPING: Asphalt drive, picket fence at rear yard, rear brick patio and path to barn.

11. OTHER COMMENTS: Former 1-story garage converted to residential space, with extension to rear and second-story addition.



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14261 .002

1. ADDRESS OF PROPERTY: 2 Lehigh Road
2. FUNCTION(S): Barn
3. YEAR BUILT: Possibly 1980s ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site \_\_\_\_\_ X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair X poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Vertical board siding
- d) Foundation Poured concrete
- e) Roof  
structural system Irregular  
coverings Asphalt shingles  
openings None

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: North
- 1) bays: 1
- 2) windows: none
- 3) door(s): Double leaf wood plank doors
- 4) other: \_\_\_\_\_

b) Side: direction: East

1) bays:

2) windows: none

3) door(s): none

4) other: Portion of building appears to have been removed in order to remove rabbit hutches and other materials.

c) Side: direction: West

1) bays: 1

2) windows: none

3) door(s): none

4) other:

d) Rear: direction:

1) bays:

2) windows:

3) door(s):

4) other:

9. INTERIOR (if accessible):

a) Floor plan

b) Partition/walls

c) Finishes

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14261 .001

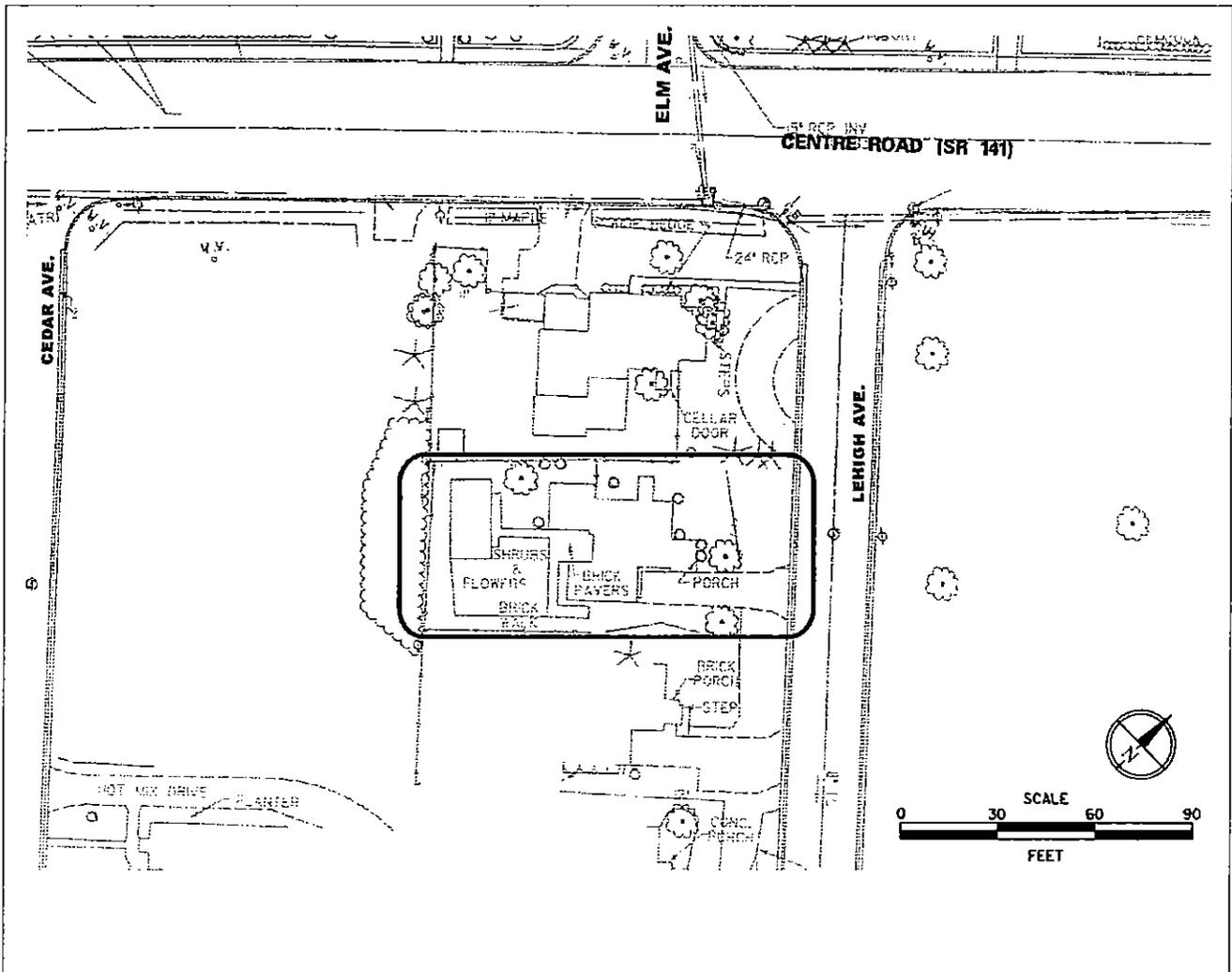
1. ADDRESS/LOCATION: 2 Lehigh Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

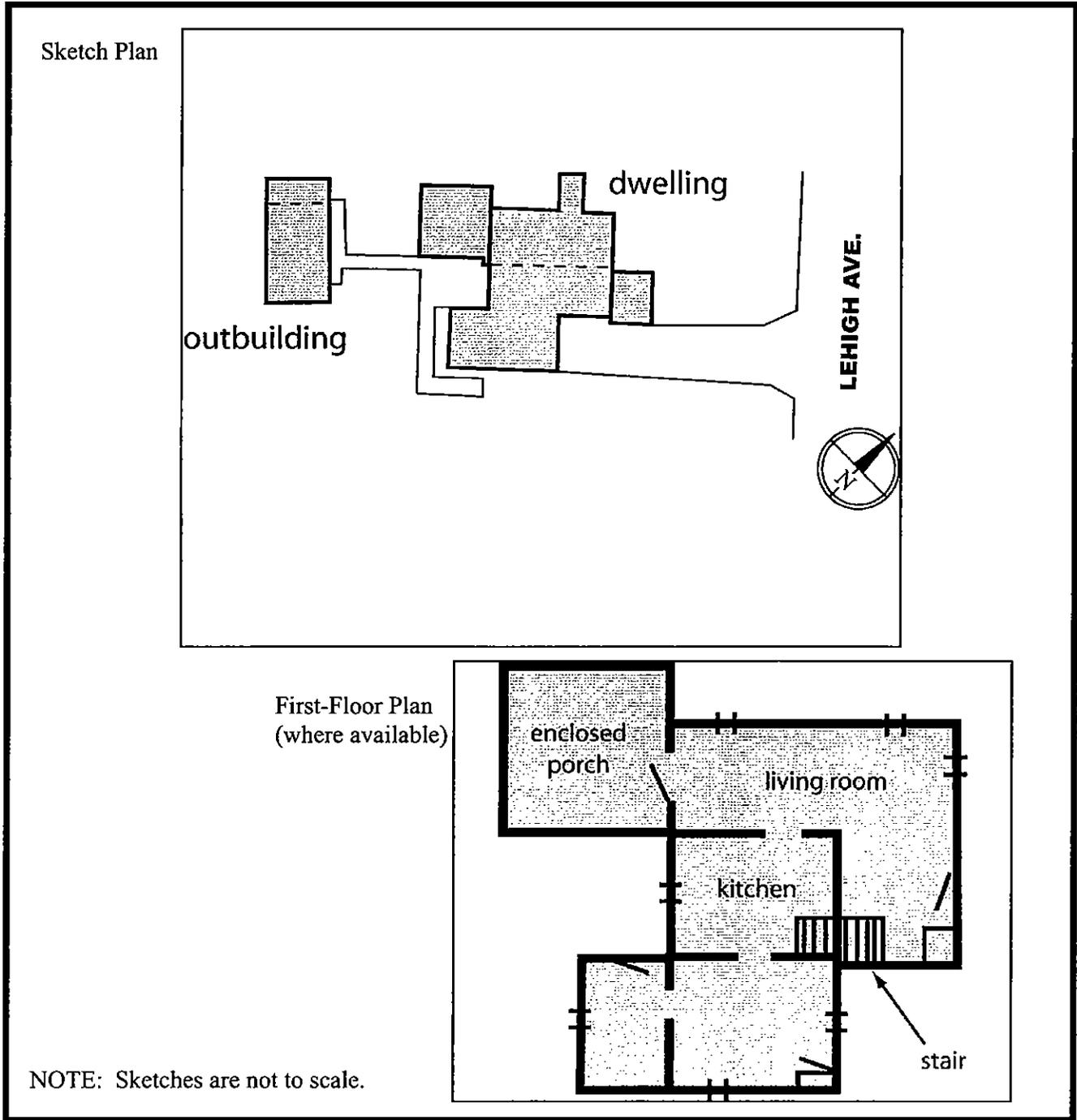
**INDICATE NORTH ON SKETCH**

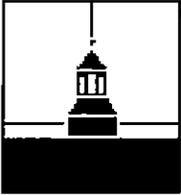


4. SITE PLAN:

CRS # N-14261

INDICATE NORTH ON PLAN





**CULTURAL RESOURCE SURVEY  
SURVEY UPDATE FORM**

CRS # N-14261

1. HISTORIC NAME/FUNCTION: Residential

2. ADDRESS/LOCATION: 2 Lehigh Road

3. CURRENT CONDITION: excellent  good  fair  poor  demolished

4. INTEGRITY:  
Buildings on this property were demolished in 2005 in preparation for a roadway improvement project.

5. SETTING INTEGRITY:  
This property is in the Willow Run I subdivision. Neighboring properties have also been demolished.

6. FORMS ADDED (give number of forms completed for each):

#:	Form:	List property types:
	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: July 29, 2005



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14262  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 4 Lehigh Avenue

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 26, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14262 .001

1. ADDRESS OF PROPERTY: 4 Lehigh Avenue

2. FUNCTION(S): historic Residential current Residential

3. YEAR BUILT: 1939 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Colonial Revival

5. INTEGRITY: original site X moved \_\_\_\_\_  
if moved, when and from where

list major alterations and dates (if known)

Conversion of garage into residential space; second story addition on former garage.

6. CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape Irregular  
stories 2  
bays 2  
wings none

b) Structural system Frame

c) Foundation  
basement Yes  
materials Not visible

d) Exterior walls (modern over original)

materials Vinyl siding  
color(s) White

e) Roof

shape; materials Front gable; asphalt shingles  
cornice Flat  
dormers Gable, wall dormers on 2nd story of former garage  
chimney location(s) Gable-end exterior, stuccoed brick

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: Northwest

1) Bays 2  
2) Windows

fenestration Regular  
type 1/1 vinyl double-hung sash

trim Flat  
shutters Louvered, modern non-functional

## Facade (cont'd)

- 3) Door(s)  
     location Off-center; also a centered modern door on former garage  
     type Single leaf wood panel with 1 light  
     trim Flat surround with entablature cornice
- 4) Porches brick stoop

## b. Side: Direction: Northeast

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 1/1 vinyl double-hung sash  
     trim flat  
     shutters Louvered, modern non-functional
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

## c. Side: Direction: Southwest

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 1/1 vinyl double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

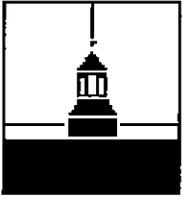
## d. Rear: Direction: South

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 1/1 vinyl double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location Off-center, on addition  
     type Single leaf, modern  
     trim flat
- 4) Porches Wood deck

9. INTERIOR: Not accessible.

10. LANDSCAPING: Concrete driveway, tall white picket fence around rear yard.

11. OTHER COMMENTS: Pent roof above first story of former garage.



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14262 .002

1. ADDRESS OF PROPERTY: 4 Lehigh Avenue
2. FUNCTION(S): Shed
3. YEAR BUILT: Unknown ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: No style
5. INTEGRITY: original site Unknown moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system frame
- b) Number of stories 1
- c) Wall Coverings Vertical plank siding
- d) Foundation Not visible
- e) Roof  
structural system Gable roof  
coverings  
openings

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: Northwest
- 1) bays: 1
- 2) windows: none
- 3) door(s): Double leaf, modern panel doors
- 4) other:

b) Side: direction: Southwest

1) bays: 1

2) windows: None

3) door(s): None

4) other:

c) Side: direction: Northeast

1) bays: 1

2) windows: None

3) door(s): None

4) other:

d) Rear: direction: Southeast

1) bays: 1

2) windows: None

3) door(s): None

4) other:

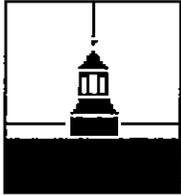
9. INTERIOR (if accessible):

a) Floor plan

b) Partition/walls

c) Finishes

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14262 .001

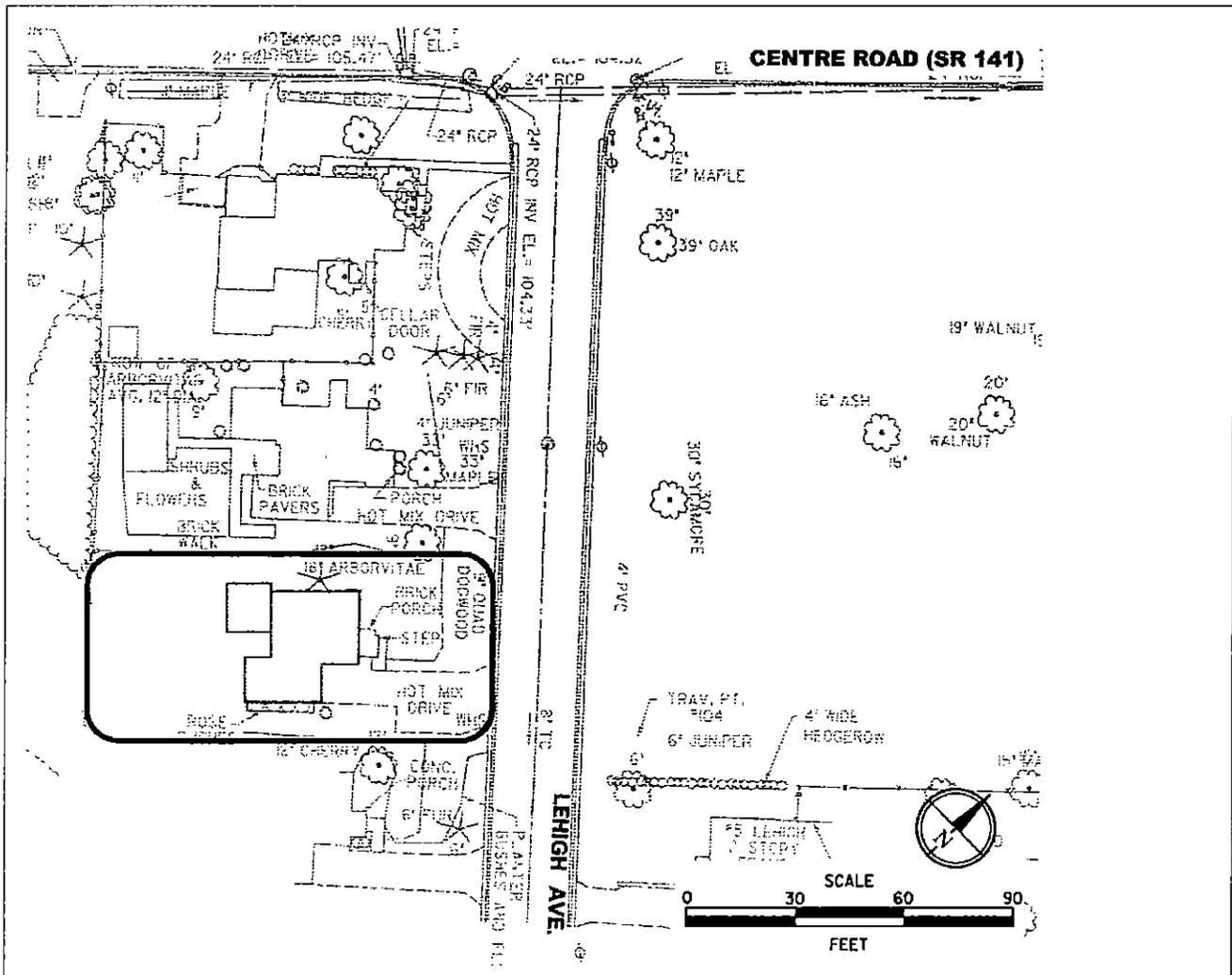
1. ADDRESS/LOCATION: 4 Lehigh Avenue

2. NOT FOR PUBLICATION                      reason:                     

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**



4. SITE PLAN:

CRS #   N-14262

INDICATE NORTH ON PLAN

Sketch Plan

First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14263  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 5 Lehigh Avenue

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_

object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R. 141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 26, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14263 .001

1. ADDRESS OF PROPERTY: 5 Lehigh Avenue

2. FUNCTION(S): historic Residential current Residential

3. YEAR BUILT: 1940 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Colonial Revival

5. INTEGRITY: original site X moved \_\_\_\_\_

if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape Irregular  
stories 2  
bays 2  
wings none

b) Structural system Frame

c) Foundation  
basement Yes  
materials Concrete

d) Exterior walls (modern over original)

materials Vinyl siding  
color(s) White

e) Roof

shape; materials Front gable; asphalt shingles  
cornice Flat  
dormers None  
chimney location(s) Gable end exterior, stuccoed brick at rear gable end.

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: Southwest

1) Bays 2  
2) Windows

fenestration Regular  
type Wood 6/6 and 1/1 double-hung sash

trim Flat  
shutters Louvered, non-functional

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Single leaf pane and panel wood  
     trim Surround with wrapped pilasters and entablature
- 4) Porches Brick stoop

## b. Side: Direction: Southeast

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 6/6 wood double hung sash  
     trim Flat  
     shutters Louvered, modern non-functional
- 3) Door(s)  
     location none  
     type n/a  
     trim n/a
- 4) Porches None

## c. Side: Direction: Northwest

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 1/1 and 6/6 wood double hung sash  
     trim Flat  
     shutters Louvered non-functional
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

## d. Rear: Direction: Northeast

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 6/6 wood double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location Not visible  
     type n/a  
     trim n/a
- 4) Porches Full width screened porch with wood deck, shed roof, wood supports.

9. INTERIOR: Not accessible

10. LANDSCAPING: Asphalt driveway with brick retaining wall, chain link fence at rear yard.

11. OTHER COMMENTS: Attached (1-car) garage w/ side gable and folding overhead garage door, on East facade. Style matches main building.

CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM

CRS # N-14263 .001

1. ADDRESS OF PROPERTY: 5 Lehigh Avenue
2. FUNCTION(S): Shed
3. YEAR BUILT: Unknown
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site \_\_\_\_\_ moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair X poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system      Frame
- b) Number of stories      1
- c) Wall Coverings      Vertical plank siding
- d) Foundation      Not visible
- e) Roof  
    structural system      Gambrel roof  
    coverings      Asphalt shingles  
    openings

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction:      Northeast
- 1) bays:
- 2) windows:
- 3) door(s):      Double leaf wood plank door
- 4) other:



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14263 .001

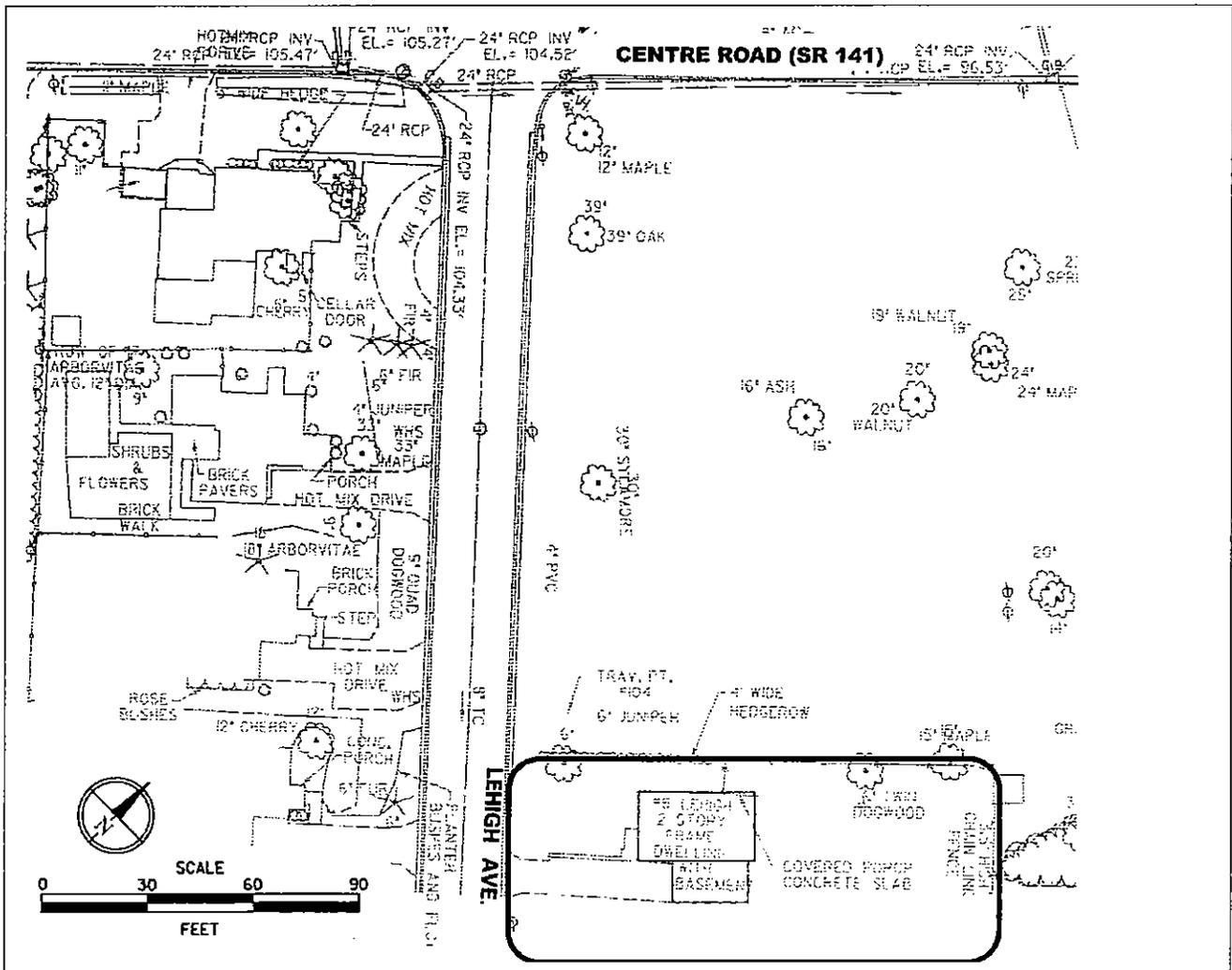
1. ADDRESS/LOCATION: 5 Lehigh Avenue

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

3. LOCATION MAP:

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

INDICATE NORTH ON SKETCH

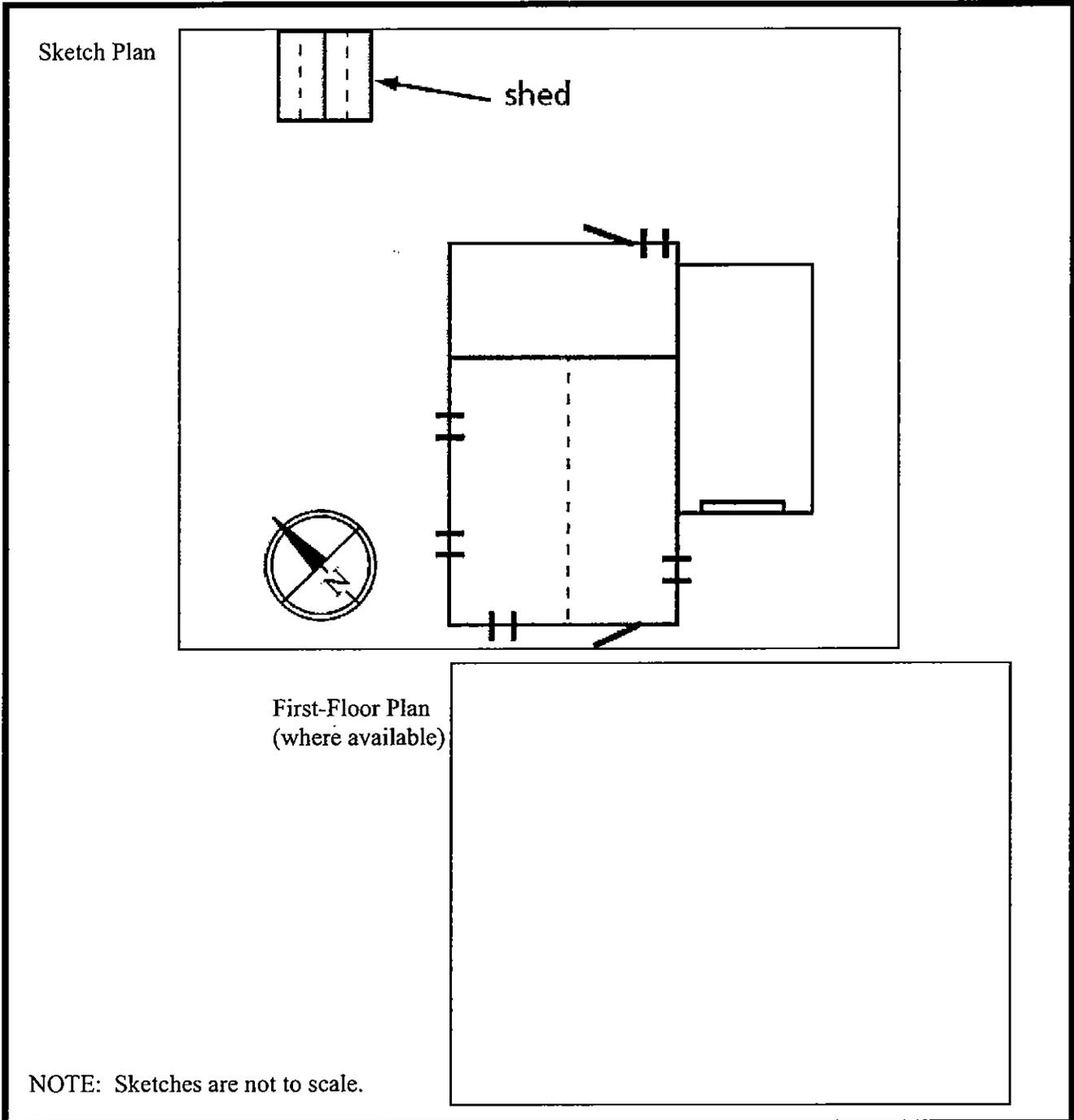


USE BLACK INK ONLY

4. SITE PLAN:

CRS # N-14263

INDICATE NORTH ON PLAN



NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14264  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 6 Lehigh Avenue

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 26, 2005

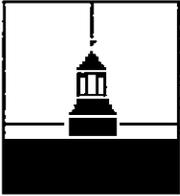
9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14264

1. ADDRESS OF PROPERTY: 6 Lehigh Avenue

2. FUNCTION(S): historic Residential current Residential

3. YEAR BUILT: 1940 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Colonial Revival

5. INTEGRITY: original site X moved \_\_\_\_\_

if moved, when and from where

list major alterations and dates (if known)

Rear addition, replacement windows

6. CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape Rectangular  
stories 2  
bays 2  
wings none

b) Structural system Frame

c) Foundation  
basement yes  
materials Not visible

d) Exterior walls (modern over original)

materials Aluminum siding  
color(s) White

e) Roof

shape; materials Front gable; asphalt shingles  
cornice Flat  
dormers None  
chimney location(s) Gable-end exterior chimney, stuccoed brick chimney at rear

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: Northwest

1) Bays 2  
2) Windows

fenestration Regular  
type 6/6 vinyl double hung sash

trim Flat  
shutters Louvered non-functional

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Single leaf wood panel door  
     trim Surround with pilasters and entablature
- 4) Porches Concrete stoop

## b. Side: Direction: Southwest

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 6/6 vinyl double hung sash  
     trim Flat  
     shutters Louvered non-functional
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

## c. Side: Direction: Northeast

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 2/2 vinyl double hung sash; 6/6 wood double-hung sash on side of garage  
     trim Flat  
     shutters Louvered modern non-functional
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches

## d. Rear: Direction: Southeast--Not visible for survey

- 1) Bays n/a
- 2) Windows  
     fenestration n/a  
     type n/a  
     trim n/a  
     shutters n/a
- 3) Door(s)  
     location n/a  
     type n/a  
     trim n/a
- 4) Porches n/a

9. INTERIOR: Not accessible

10. LANDSCAPING: Asphalt driveway, chain link fence at rear yard

11. OTHER COMMENTS: 1-car attached garage with replacement door on Northwest facade.

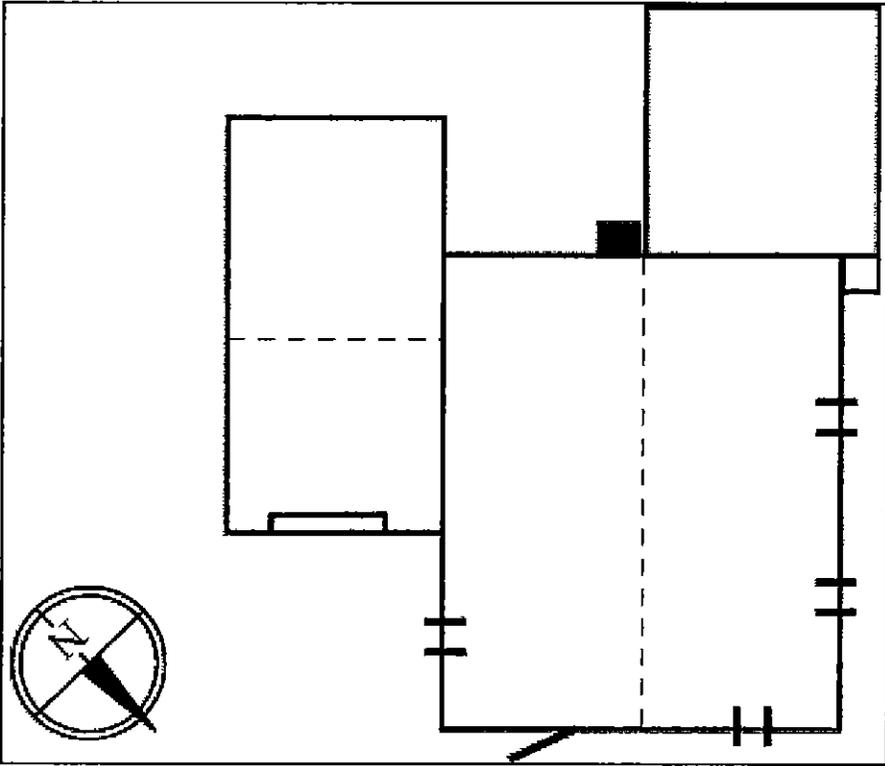


4. SITE PLAN:

CRS # N-14264

INDICATE NORTH ON PLAN

Sketch Plan



First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.

USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14265  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1730 Montgomery Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 26, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14265 .001

1. ADDRESS OF PROPERTY: 1730 Montgomery Road

2. FUNCTION(S): historic Residential current Residential

3. YEAR BUILT: 1954 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: \_\_\_\_\_

5. INTEGRITY: original site X moved \_\_\_\_\_  
if moved, when and from where

list major alterations and dates (if known)

Appears that former garage was converted to additional residential space with exterior alcove area.

6. CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.)

Use N/A for not applicable; leave no blanks).

a) Overall shape L  
stories 1  
bays 4  
wings n/a

b) Structural system Frame

c) Foundation  
basement No  
materials Concrete

d) Exterior walls (modern over original)

materials Vinyl siding  
color(s) Tan

e) Roof

shape; materials Cross hip; asphalt shingles  
cornice Flat  
dormers None  
chimney location(s) Off-center ridgeline (stuccoed brick)

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: Northwest

1) Bays 4  
2) Windows

fenestration Regular  
type 6/6 wood double-hung sash

trim Flat  
shutters None

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Modern single leaf  
     trim n/a
- 4) Porches None

## b. Side: Direction: Northeast

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type Paired 6/6 wood double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location none  
     type none  
     trim none
- 4) Porches None

## c. Side: Direction: Southwest

- 1) Bays 3
- 2) Windows  
     fenestration Regular  
     type 6/6 wood double hung sash  
     trim Flat  
     shutters None
- 3) Door(s)  
     location None  
     type none  
     trim none
- 4) Porches None

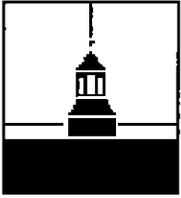
## d. Rear: Direction: Southeast

- 1) Bays 4
- 2) Windows  
     fenestration Regular  
     type Single and paired 6/6 wood double hung sash  
     trim flat  
     shutters none
- 3) Door(s)  
     location Center  
     type Wood pane & panel door with aluminum storm  
     trim None
- 4) Porches None

9. INTERIOR: Not accessible for survey.

10. LANDSCAPING: Asphalt driveway, split rail fence at front, wood plank fence around rear

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14265 .002

1. ADDRESS OF PROPERTY: 1730 Montgomery Road
2. FUNCTION(S): Shed
3. YEAR BUILT: Unknown ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site \_\_\_\_\_ X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Vinyl siding
- d) Foundation not visible
- e) Roof  
structural system Shallow gable  
coverings Asphalt shingles  
openings

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: Southwest
- 1) bays: 1
- 2) windows: None
- 3) door(s): Double leaf vertical plank doors
- 4) other:

b) Side: direction: Northwest

1) bays:

2) windows: None

3) door(s): None

4) other:

c) Side: direction: Southeast

1) bays:

2) windows: None

3) door(s): None

4) other:

d) Rear: direction: Northeast

1) bays:

2) windows: None

3) door(s): None

4) other:

9. INTERIOR (if accessible):

a) Floor plan

Not surveyed

b) Partition/walls

c) Finishes

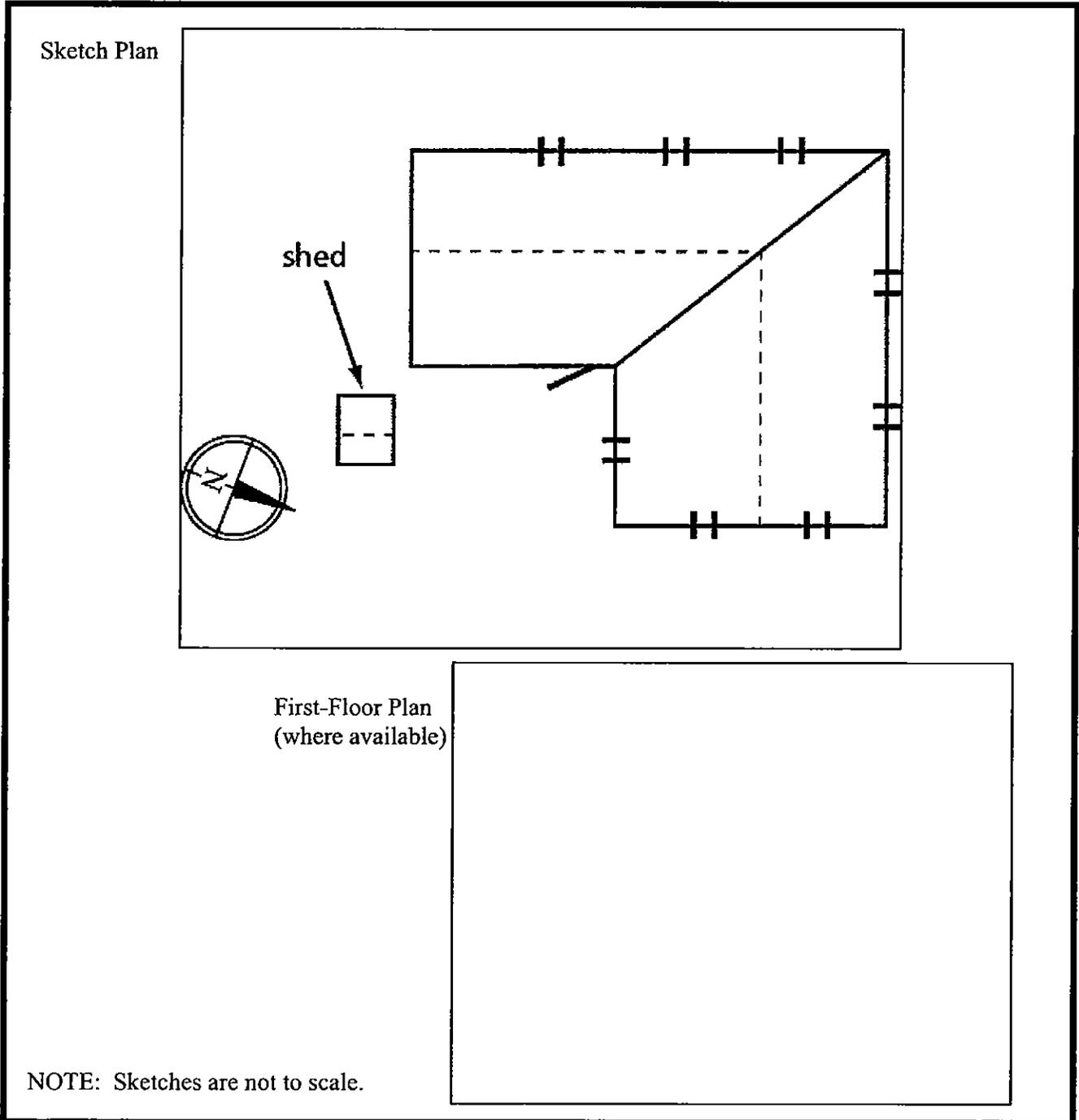
d) Furnishings/machinery



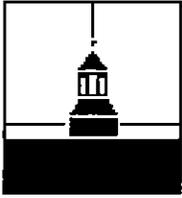
4. SITE PLAN:

CRS # N-14265

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14266  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1732 Montgomery Road

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Vacant

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

Impending demolition associated with roadway improvements

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: January 17, 2005

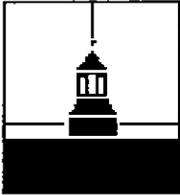
9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14266 .001

1. ADDRESS OF PROPERTY: 1732 Montgomery Road

2. FUNCTION(S): historic Residential current Vacant

3. YEAR BUILT: 1950 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Minimal Traditional

5. INTEGRITY: original site X moved \_\_\_\_\_

if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_

6. CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair \_\_\_\_\_ poor X

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

a) Overall shape Square  
stories 1 1/2  
bays 3  
wings n/a

b) Structural system Frame

c) Foundation  
basement Not visible  
materials No

d) Exterior walls (modern over original)

materials Clapboard  
color(s) White

e) Roof

shape; materials Front gable; asphalt shingles  
cornice None  
dormers None  
chimney location(s) Brick within roof surface

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: Northeast

1) Bays 3

2) Windows

fenestration Irregular

type Single and double vinyl 6/6 double hung sash

trim Flat, missing

shutters Louvered, most removed

## Facade (cont'd)

- 3) Door(s)  
     location Off-center modern pane and panel wood  
     type Single-leaf  
     trim None
- 4) Porches concrete stoop

## b. Side: Direction: Northwest

- 1) Bays 3
- 2) Windows  
     fenestration Regular  
     type Single and double vinyl 6/6 double hung sash  
     trim  
     shutters Removed
- 3) Door(s)  
     location None  
     type None  
     trim None
- 4) Porches None

## c. Side: Direction: Southeast

- 1) Bays 3
- 2) Windows  
     fenestration n/a  
     type n/a  
     trim n/a  
     shutters n/a
- 3) Door(s)  
     location Off center wood screen door on porch  
     type Single leaf  
     trim None
- 4) Porches frame, screened porch with shed roof

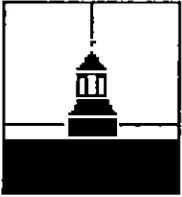
## d. Rear: Direction: Southwest

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type Single and double vinyl 6/6 double hung sash  
     trim Flat  
     shutters Removed
- 3) Door(s)  
     location Center, in gable end  
     type Single leaf wood screen door  
     trim None
- 4) Porches None

9. INTERIOR: See attached floor plan. Half bath inserted in former bedroom closet. Central stairs to usable upper 1/2 story.

10. LANDSCAPING: Pergola in rear yard

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14266 .002

1. ADDRESS OF PROPERTY: 1732 Montgomery Rd.
2. FUNCTION(S): Garage (1 car)
3. YEAR BUILT: c. 1950 ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Style matches house
5. INTEGRITY: original site \_\_\_\_\_ X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good \_\_\_\_\_ fair \_\_\_\_\_ poor X

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Clapboard, matches house
- d) Foundation Concrete block
- e) Roof  
structural system Front gable  
coverings Asphalt shingles  
openings None

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: northeast
- 1) bays: 1
- 2) windows: None
- 3) door(s): Folding overhead garage door
- 4) other:

b) Side: direction: southeast

1) bays: 1

2) windows: 1 - missing

3) door(s):

4) other:

c) Side: direction:

1) bays:

2) windows:

3) door(s):

4) other:

d) Rear: direction:

1) bays:

2) windows:

3) door(s):

4) other:

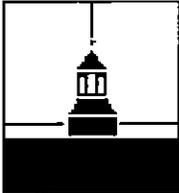
9. INTERIOR (if accessible):

a) Floor plan

b) Partition/walls

c) Finishes

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14266 .001

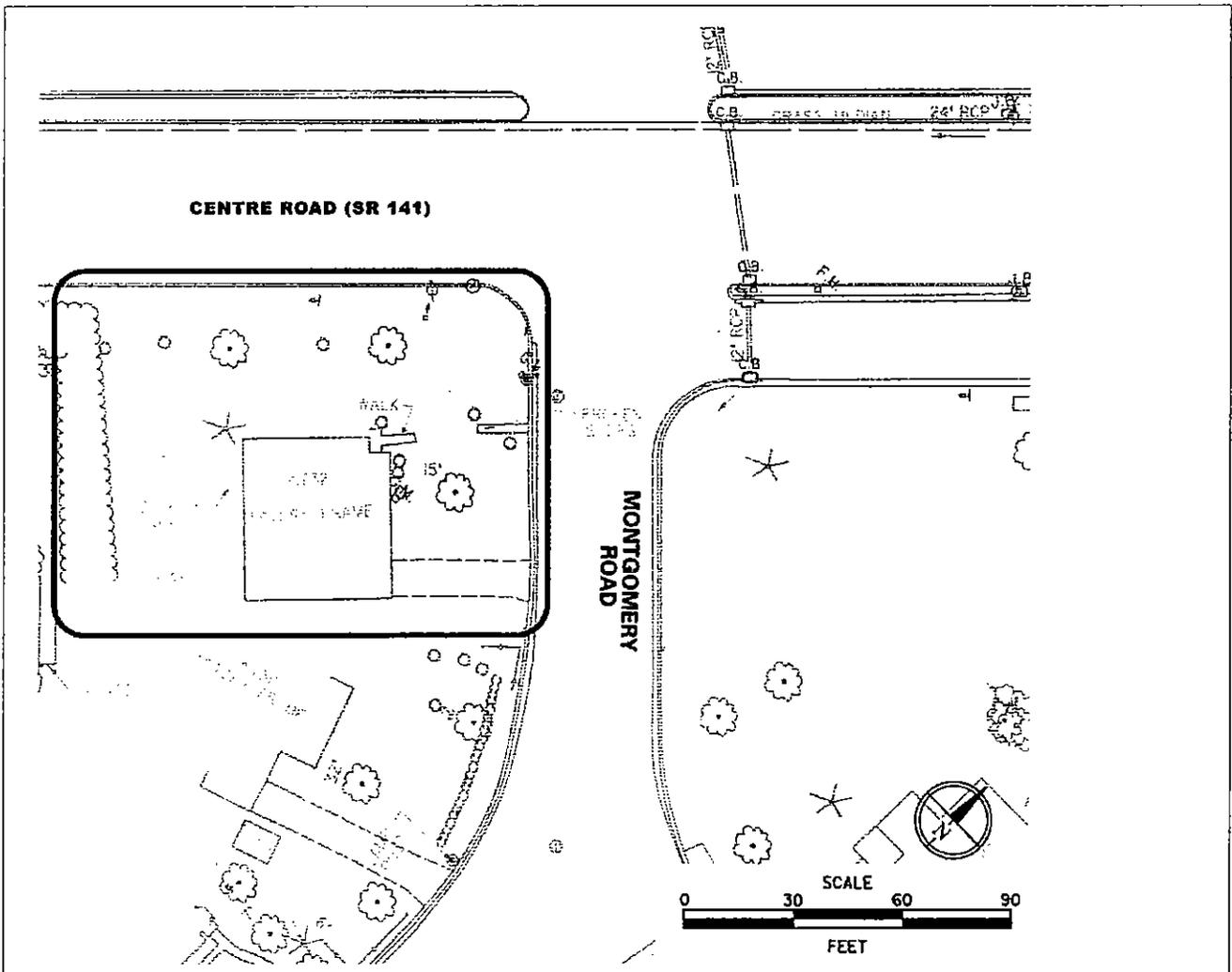
1. ADDRESS/LOCATION: 1732 Montgomery Road

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

3. LOCATION MAP:

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

INDICATE NORTH ON SKETCH

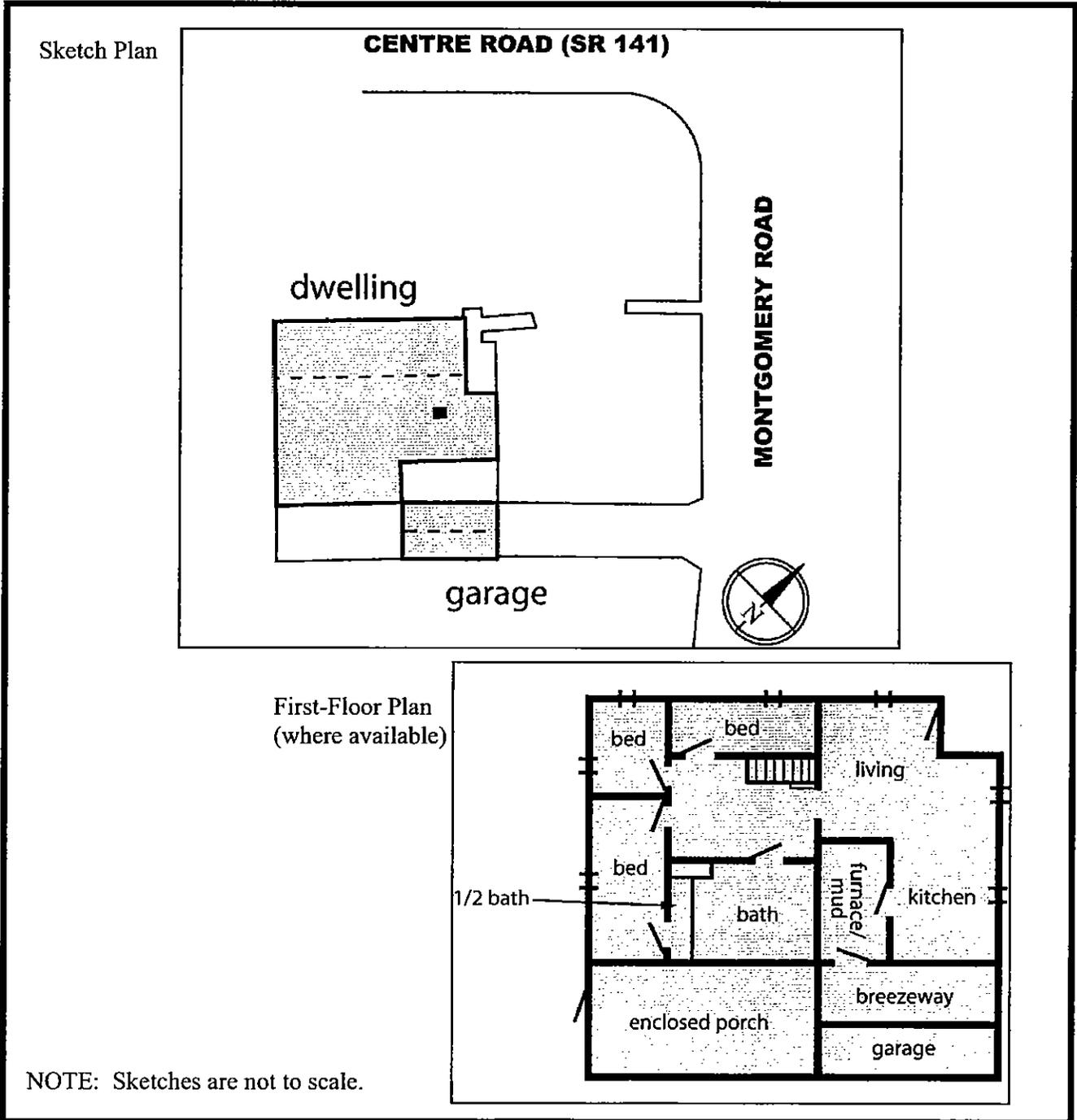


USE BLACK INK ONLY

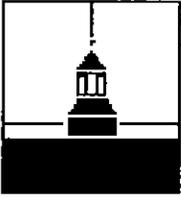
4. SITE PLAN:

CRS # N-14266

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14267  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1131 Wagoner Drive

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 28, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14267

1. ADDRESS OF PROPERTY: 1131 Wagoner Drive

2. FUNCTION(S): historic Residential current Residential

3. YEAR BUILT: 1955 ARCHITECT/BUILDER: \_\_\_\_\_

4. STYLE/FLOOR PLAN: Split level

5. INTEGRITY: original site X moved \_\_\_\_\_  
if moved, when and from where

\_\_\_\_\_ list major alterations and dates (if known)  
\_\_\_\_\_

6. CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION: (Describe the resource as completely as possible.

Use N/A for not applicable; leave no blanks).

- a) Overall shape Rectangular  
stories 2  
bays 4  
wings none
- b) Structural system Frame
- c) Foundation  
basement Yes  
materials Stuccoed concrete block

d) Exterior walls (modern over original)

materials Vinyl siding  
color(s) White

e) Roof

shape; materials Side gable; asphalt shingles  
cornice None  
dormers None  
chimney location(s) Off-center within roof surface (stuccoed brick)

8. DESCRIPTION OF ELEVATIONS:

a. Facade: Direction: South

1) Bays 4

2) Windows

fenestration Regular

type Paired and triple 2/2 wood double hung sash

trim Flat

shutters Louvered modern non-functional

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Modern single leaf wood slab door with aluminum storm; folding overhead pane and panel garage  
     trim None
- 4) Porches Concrete stoop with metal railings

## b. Side: Direction: West

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 1/1 double hung sash  
     trim Flat  
     shutters Louvered modern non-functional
- 3) Door(s)  
     location None  
     type  
     trim
- 4) Porches None

## c. Side: Direction: East

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 2-light windows in basement  
     trim None  
     shutters None
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

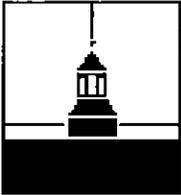
## d. Rear: Direction: North

- 1) Bays 4
- 2) Windows  
     fenestration Irregular  
     type 2/2 wood double hung sash  
     trim Flat  
     shutters none
- 3) Door(s)  
     location Off-center  
     type Modern single leaf pane and panel door with aluminum storm  
     trim None
- 4) Porches Patio

9. INTERIOR: Not surveyed

10. LANDSCAPING: Concrete driveway and sidewalk

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14267

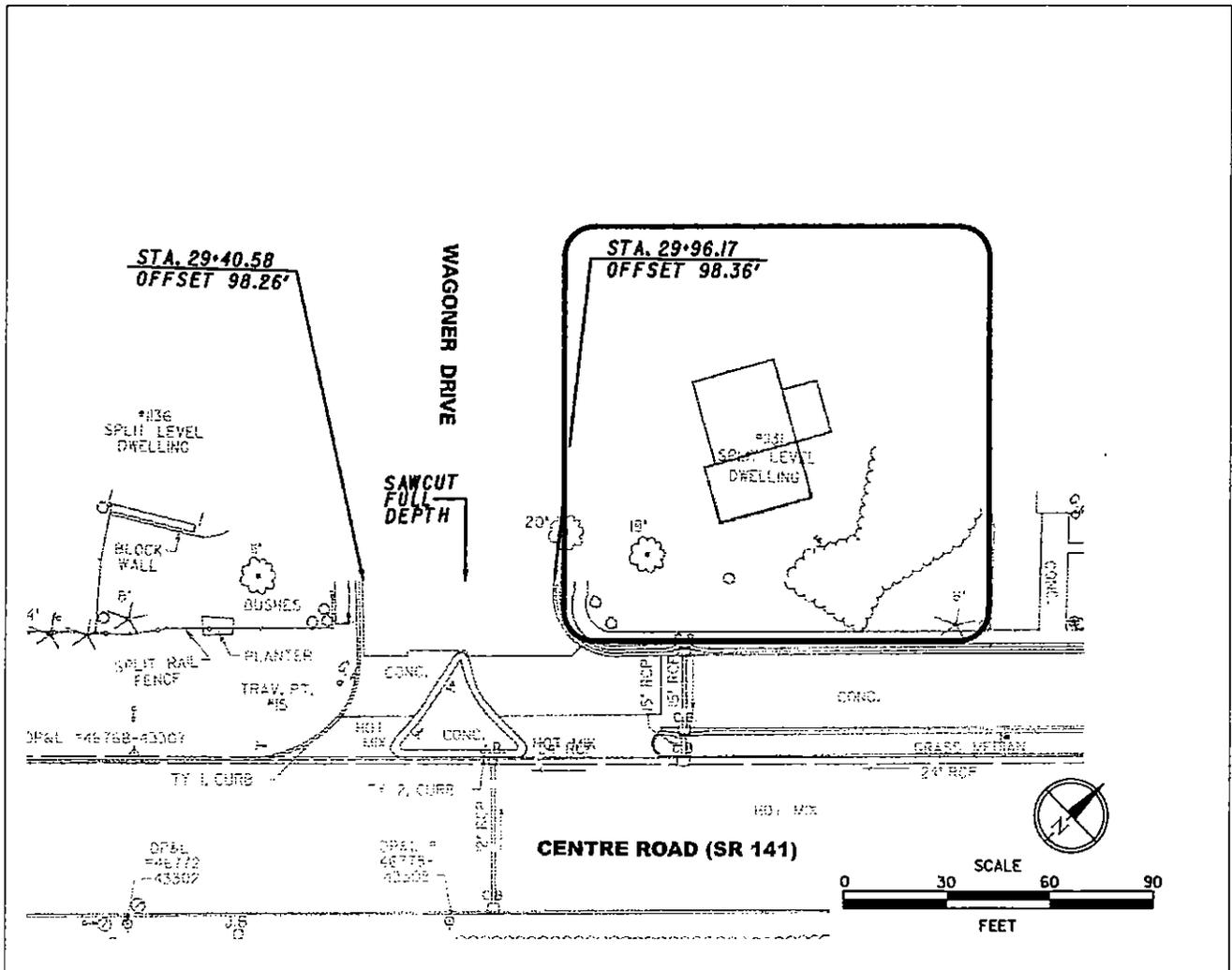
1. ADDRESS/LOCATION: 1131 Wagoner Drive

2. NOT FOR PUBLICATION  reason: \_\_\_\_\_

3. LOCATION MAP:

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

INDICATE NORTH ON SKETCH



USE BLACK INK ONLY

4. SITE PLAN:

CRS #   N-14267

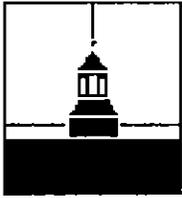
INDICATE NORTH ON PLAN

Sketch Plan

patio

First-Floor Plan  
(where available)

NOTE: Sketches are not to scale.



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14268  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1136 Wagoner Drive

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_

object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R. 141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 28, 2005

9. OTHER NOTES OR OBSERVATIONS:

10. STATE HISTORIC CONTEXT FRAMEWORK (check all appropriate boxes;  
refer to state management plan(s)):

a) Time period(s) 1940-1960 Suburbanization and Early Ex-urbanization

b) Geographical zone Piedmont

c) Historic period theme(s) Settlement Patterns & Demographic Change



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14268 .001

1. ADDRESS OF PROPERTY: 1136 Wagoner Drive
2. FUNCTION(S):            historic    Residential            current    Residential
3. YEAR BUILT: c. 1955            ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Split level
5. INTEGRITY:            original site            X            moved    \_\_\_\_\_  
if moved, when and from where  
\_\_\_\_\_  
list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_
6. CONDITION:            excellent    \_\_\_\_\_            good    X            fair    \_\_\_\_\_            poor    \_\_\_\_\_
7. DESCRIPTION:            (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).
- a) Overall shape            Rectangular  
   stories                    2  
   bays                        4  
   wings                      none
- b) Structural system        Frame
- c) Foundation  
   basement                Yes  
   materials                Stuccoed concrete block
- d) Exterior walls (modern over original)  
   materials                Aluminum siding  
   color(s)                  Grey and white
- e) Roof  
   shape; materials        Side gable; asphalt shingles  
   cornice                    None  
   dormers                    None  
   chimney location(s)    Off-center gable end interior (brick)
8. DESCRIPTION OF ELEVATIONS:
- a. Facade: Direction:        Northeast
- 1) Bays                    4
- 2) Windows  
     fenestration            Regular  
     type                      Paired 1/1 wood double-hung sash; triple and paired 6/6 vinyl double-hung sash  
     trim                        Flat  
     shutters                  Louvered modern non-functional

## Facade (cont'd)

- 3) Door(s)  
     location Off-center  
     type Modern single leaf wood panel door with full glass storm door  
     trim None
- 4) Porches Terraced paver porch

## b. Side: Direction: Northwest

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type 1/1 vinyl double hung sash; 6/6 vinyl double hung sash  
     trim Flat  
     shutters Louvered modern non-functional
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

## c. Side: Direction: Southeast

- 1) Bays 2
- 2) Windows  
     fenestration Regular  
     type Multi-light vinyl picture window; 6-light basement windows  
     trim None  
     shutters Louvered modern non-functional
- 3) Door(s)  
     location None  
     type n/a  
     trim n/a
- 4) Porches None

## d. Rear: Direction: Southwest

- 1) Bays 4
- 2) Windows  
     fenestration Regular  
     type Single and paired 6/6 vinyl double hung sash  
     trim Flat  
     shutters Louvered modern non-functional
- 3) Door(s)  
     location Off-center, not visible for survey  
     type Single leaf  
     trim flat
- 4) Porches 1-story open porch with metal shed roof and metal supports

9. INTERIOR: Not surveyed

10. LANDSCAPING: Split rail fence, concrete sidewalk, hedges at rear of yard

11. OTHER COMMENTS:



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14268 .002

1. ADDRESS OF PROPERTY: 1136 Wagoner Drive
2. FUNCTION(S): Shed
3. YEAR BUILT: Unknown ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site  X moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good X fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Vinyl siding
- d) Foundation Concrete slab
- e) Roof  
structural system frame, shed roof  
coverings Asphalt shingles  
openings none

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: Northeast
- 1) bays:
- 2) windows: None
- 3) door(s): Double leaf vinyl clad doors with modern non-functional louver shutters
- 4) other:

b) Side: direction: Northwest

1) bays:

2) windows:

3) door(s):

4) other: Not visible

c) Side: direction: Southeast

1) bays:

2) windows: None

3) door(s): None

4) other:

d) Rear: direction: Southwest

1) bays:

2) windows:

3) door(s):

4) other: Not visible

9. INTERIOR (if accessible):

a) Floor plan

b) Partition/walls

c) Finishes

d) Furnishings/machinery



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14268 .001

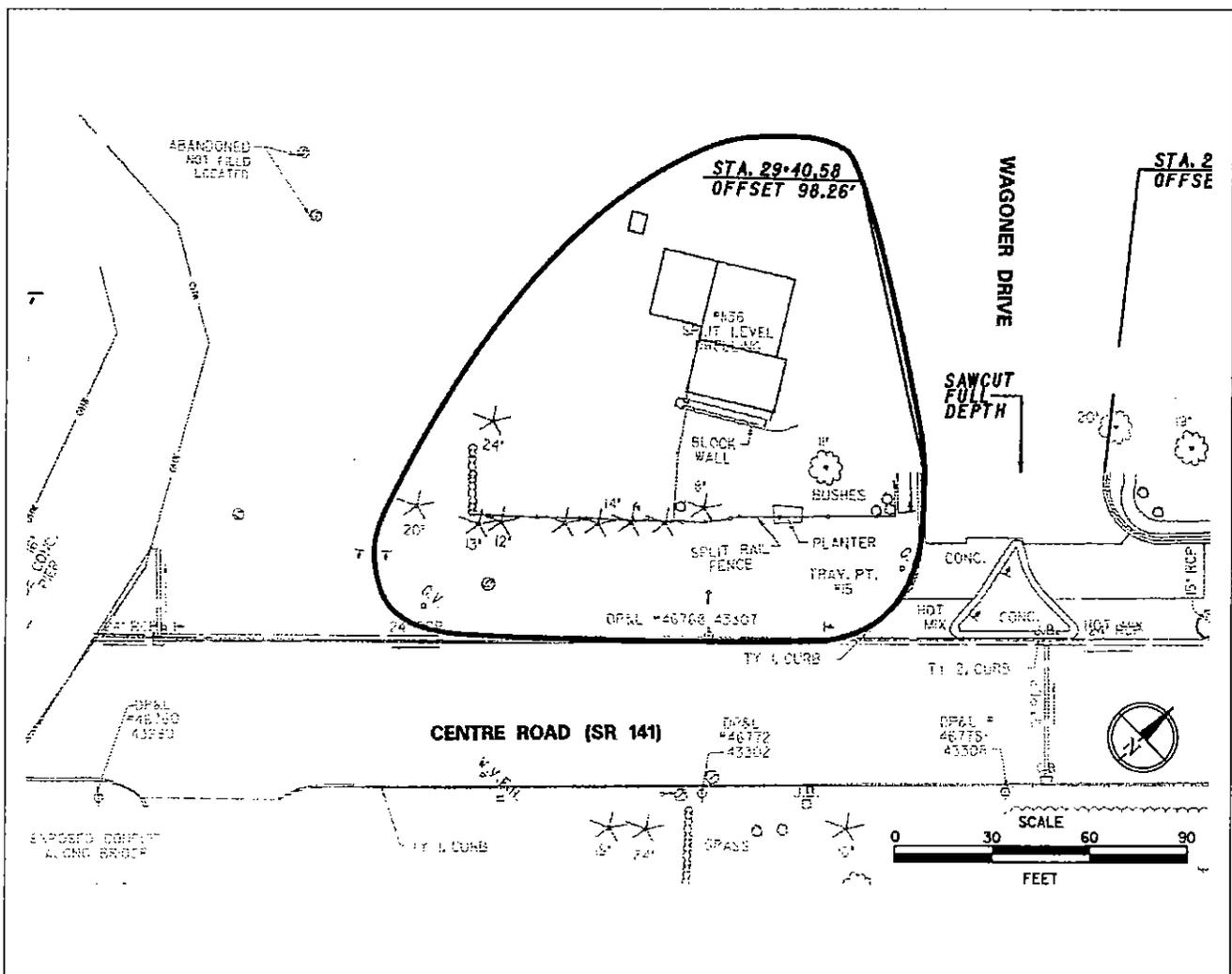
1. ADDRESS/LOCATION: 1136 Wagoner Drive

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

**3. LOCATION MAP:**

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

**INDICATE NORTH ON SKETCH**



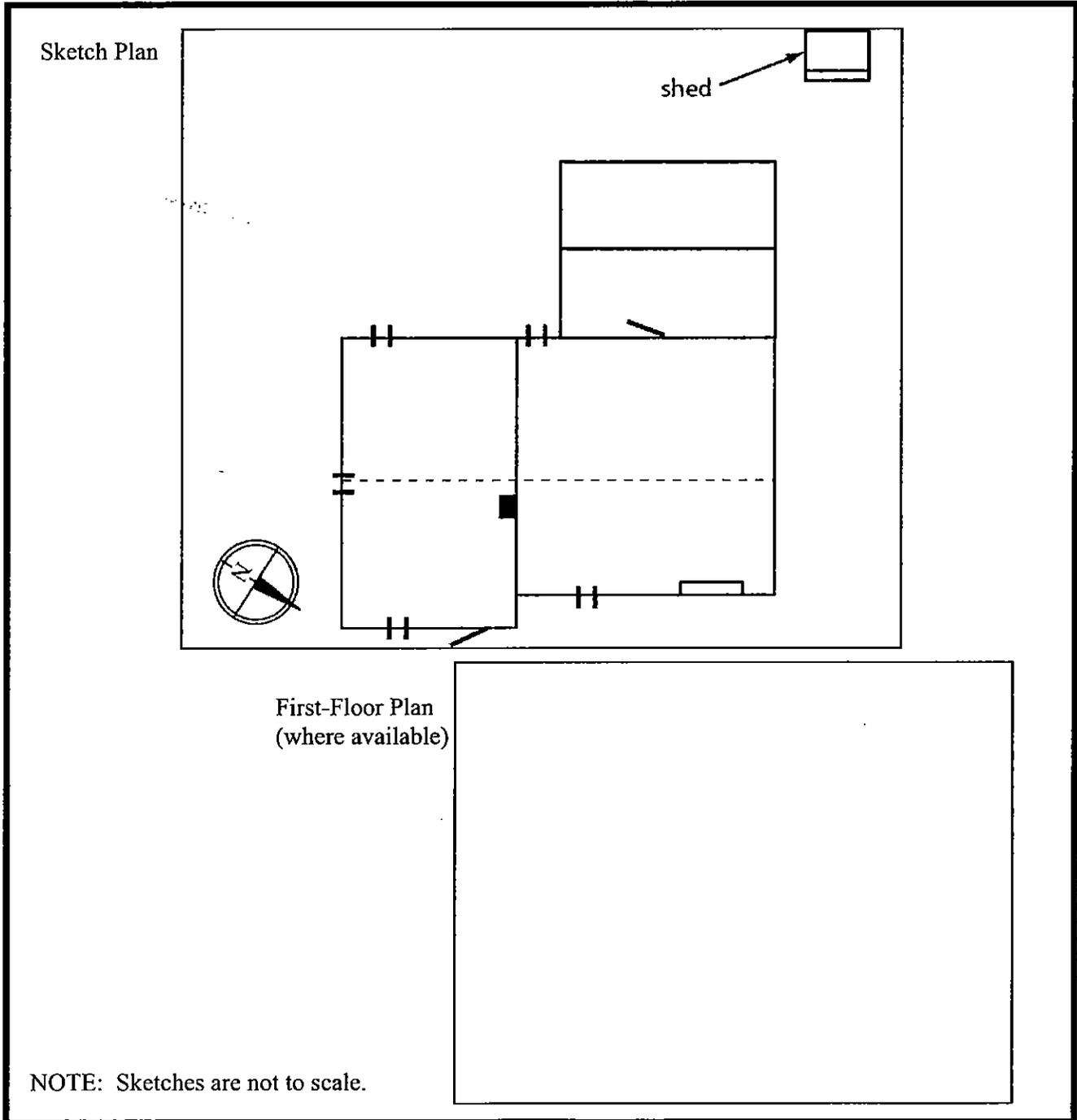
USE BLACK INK ONLY

CRS-9

4. SITE PLAN:

CRS # N-14268

INDICATE NORTH ON PLAN



USE BLACK INK ONLY



**CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM**

CRS # N-14268  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington South  
Other Zone 11

1. NAME OF PROPERTY: \_\_\_\_\_

2. STREET ADDRESS: 1136 Wagoner Drive

3. NEAREST TOWN Wilmington vicinity? X

4. TYPE OF RESOURCE: building X structure \_\_\_\_\_ site \_\_\_\_\_  
object \_\_\_\_\_ district \_\_\_\_\_ landscape \_\_\_\_\_

5. FUNCTION: original Residential present Residential

6. PROJECT TITLE/REASON FOR SURVEY (if applicable):

S.R.141/Centre Road Improvement Project

7. ADDITIONAL FORMS USED:

#:	Form:	List property types:
X	CRS 2 Main Building form	
X	CRS 3 Secondary Building Form	
	CRS 4 Archaeological Site Form	
	CRS 5 Structure (Building-Like) Form	
	CRS 6 Structure (Land Feature) Form	
	CRS 7 Object Form	
	CRS 8 Landscape Elements Form	
X	CRS 9 Map Form	N/A
	CRS 14 Potential District Form	

8. Surveyor name: Johnette Davies PHONE: 215-790-1050

Principal investigator name: Johnette Davies

Principal investigator signature: \_\_\_\_\_

Organization: Kise Straw & Kolodner DATE: April 28, 2005



**CULTURAL RESOURCE SURVEY  
MAIN BUILDING FORM**

CRS # N-14268 .001

1. ADDRESS OF PROPERTY: 1136 Wagoner Drive
2. FUNCTION(S):            historic    Residential            current    Residential
3. YEAR BUILT: c. 1955            ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: Split level
5. INTEGRITY:            original site            X            moved    \_\_\_\_\_  
if moved, when and from where  
\_\_\_\_\_  
list major alterations and dates (if known)  
\_\_\_\_\_  
\_\_\_\_\_
6. CONDITION:            excellent    \_\_\_\_\_            good    X            fair    \_\_\_\_\_            poor    \_\_\_\_\_
7. DESCRIPTION:            (Describe the resource as completely as possible.  
Use N/A for not applicable; leave no blanks).
- a) Overall shape            Rectangular  
   stories                    2  
   bays                        4  
   wings                      none
- b) Structural system        Frame
- c) Foundation  
   basement                Yes  
   materials                Stuccoed concrete block
- d) Exterior walls (modern over original)  
   materials                Aluminum siding  
   color(s)                  Grey and white
- e) Roof  
   shape; materials        Side gable; asphalt shingles  
   cornice                    None  
   dormers                    None  
   chimney location(s)    Off-center gable end interior (brick)
8. DESCRIPTION OF ELEVATIONS:  
a. Facade: Direction:        Northeast  
   1) Bays                    4  
   2) Windows  
     fenestration            Regular  
     type                    Paired 1/1 wood double-hung sash; triple and paired 6/6 vinyl double-hung sash  
     trim                      Flat  
     shutters                 Louvered modern non-functional



**CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM**

CRS # N-14268 .002

1. ADDRESS OF PROPERTY: 1136 Wagoner Drive
2. FUNCTION(S): Shed
3. YEAR BUILT: Unknown ARCHITECT/BUILDER: \_\_\_\_\_
4. STYLE/FLOOR PLAN: \_\_\_\_\_
5. INTEGRITY: original site  moved \_\_\_\_\_
6. CURRENT CONDITION: excellent \_\_\_\_\_ good  fair \_\_\_\_\_ poor \_\_\_\_\_

7. DESCRIPTION:

- a) Structural system Frame
- b) Number of stories 1
- c) Wall Coverings Vinyl siding
- d) Foundation Concrete slab
- e) Roof  
structural system frame, shed roof  
coverings Asphalt shingles  
openings none

8. DESCRIPTION OF ELEVATIONS:

- a) Facade: direction: Northeast
- 1) bays:
- 2) windows: None
- 3) door(s): Double leaf vinyl clad doors with modern non-functional louver shutters
- 4) other:



**CULTURAL RESOURCE SURVEY  
MAP FORM**

CRS # N-14268 .001

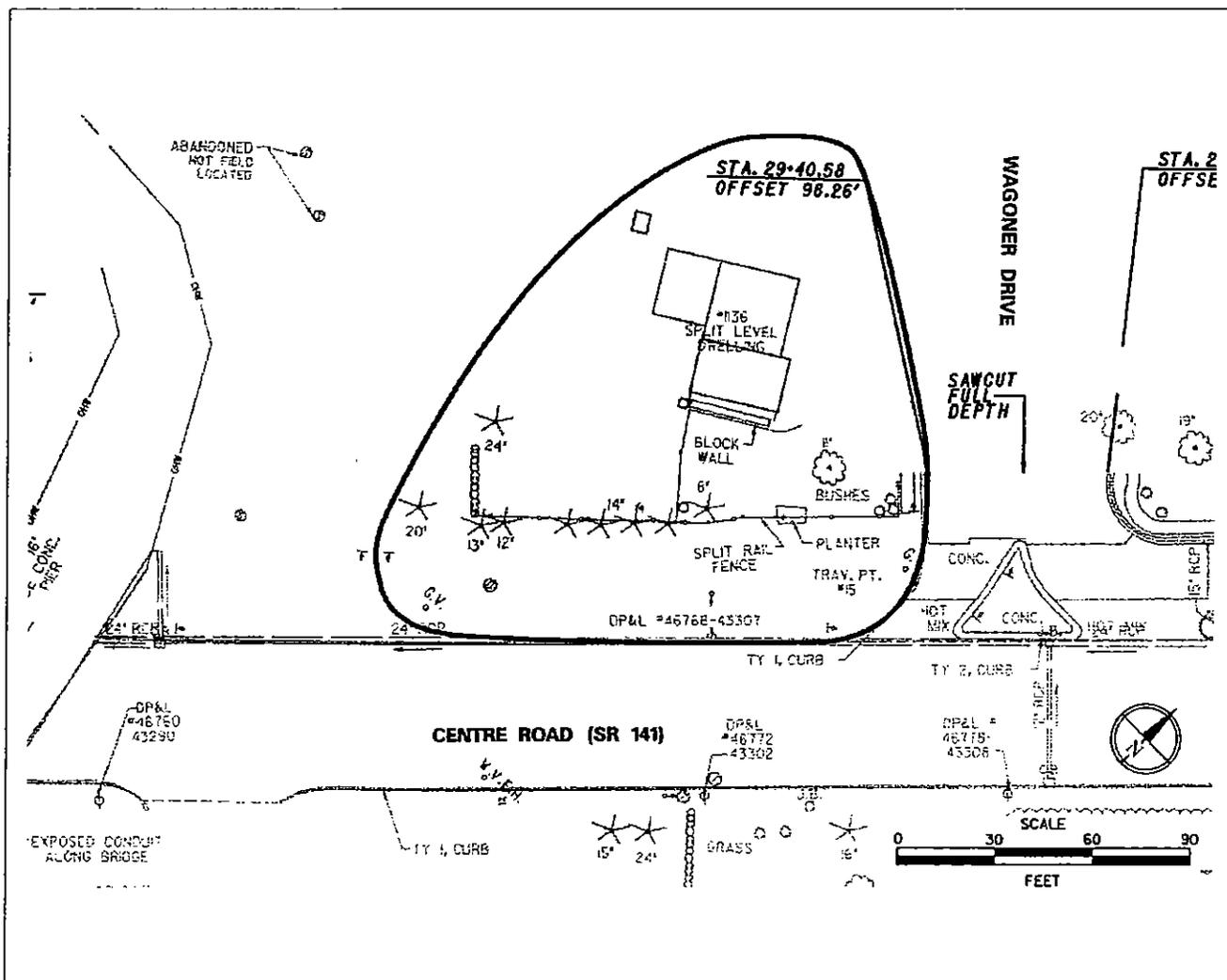
1. ADDRESS/LOCATION: 1136 Wagoner Drive

2. NOT FOR PUBLICATION \_\_\_\_\_ reason: \_\_\_\_\_

3. LOCATION MAP:

Indicate position of resource in relation to geographical landmarks such as streams and crossroads.  
(attach section of USGS quad map with location marked or draw location map)

INDICATE NORTH ON SKETCH



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
BUREAU OF ARCHAEOLOGY & HISTORIC PRESERVATION  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
PROPERTY IDENTIFICATION FORM

CRS # N-15379  
SPO Map 08-09-35  
Hundred Christiana  
Quad Wilmington-South  
Zone 11  
Acreage 240

1. NAME OF PROPERTY: Brookland Terrace

2. STREET ADDRESS: Faulkland Road to Kirkwood Highway and Ferris Road to Centerville Road

3. OWNER'S NAME: \_\_\_\_\_ TEL.#: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

4. TYPE OF RESOURCE: building \_\_\_\_\_ structure \_\_\_\_\_ site \_\_\_\_\_

object \_\_\_\_\_ district X landscape \_\_\_\_\_

5. SURROUNDINGS: (check more than one if necessary)

fallow field \_\_\_\_\_ cultivated field \_\_\_\_\_ woodland X

scattered buildings \_\_\_\_\_ densely built up X other \_\_\_\_\_

6. FUNCTION: original Subdevelopment present Subdevelopment

7. LIST ADDITIONAL SHEETS USED

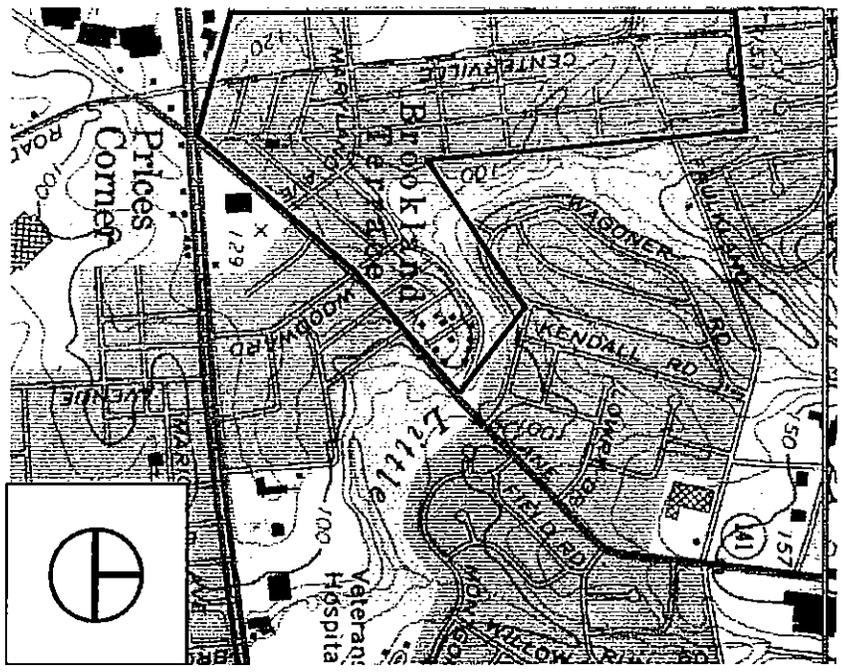
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. SURVEYOR: Judith F. Kennedy, Vanessa Zeoli PHONE: 215-790-1050

ORGANIZATION: Kise Straw & Kolodner DATE: 12/7/01

ADDRESS: 123 South Broad Street, Suite 1270 Philadelphia, PA 19103

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION

According to deed record D-29-605, the original Brookland Terrace subdivision was platted in 1920 immediately north of the trolley line along Kirkwood Highway. The development encompassed 241.4 acres of land between Faulkland Road and Kirkwood Highway and between Ferris Road and Centerville Road, including the present day communities of Woodland Heights, Davis Terrace, Brookland Terrace, and Prices Corner. Prior to subdivision both G.W. Baits's 1893 *Atlas of New Castle County* and the 1906 U.S.G.S. *Wilmington, DE Quadrangle* show the property divided into three large farms.

Typical to the period, the Brookland Terrace subdivision was platted on a grid with straight streets, multiple access roads, and regular lot sizes measuring 20 feet of frontage by 100 feet deep. According to 1928 aerial photographs, early development grew irregularly out from three pockets along Ferris and Centerville Road, with the majority of development occurring off Centerville Road. U.S.G.S. mapping shows the majority of houses were built by between 1928-1942. Brookland Terrace's building stock was constructed in popular period bungalow styles, including Craftsman, Cape Cod, side- and front-gable cottage sub-styles, concurrent with national trends toward smaller houses and simpler designs. House lots varied in size, combining between two and six original parcels.

Brookland Terrace does not meet the "Criteria for Evaluation" for National Register-eligible subdivisions, as defined in *Suburbanization in the Vicinity of Wilmington, DE*. The development deviates significantly from the original design, including changes to road alignment and lot size. The buildings represent a variety of bungalow styles from all periods of suburban development and the majority lack architectural integrity. Alterations include changes to fenestration patterns, the introduction of modern siding, and the construction of significant additions.

11. Comprehensive Planning:

- a. Time Period(s)  
1940-1960 Suburbanization and Early Ex-urbanization
- b. Historic Themes(s)  
Architecture

12. Evaluation:

Eligible?	Yes ( )	No ( X )	Potential ( )
a. Area(s) of significance			
b. NR criteria			

13. Certification

Surveyor: Vanessa Zeoli Date 12/7/01  
 PI: Judith F. Kennedy Date 6/5/02