

## ARCHITECTURAL RESOURCES: DESCRIPTION AND EVALUATION

### INTRODUCTION

The architectural survey identified a total of nine individual resources and one potential historic district 50 years of age or older located in the North Street project area (Figure 8). One resource, Eden Hill (K-125), was listed in the National Register in 1973. The Potential West Dover Historic District (K-6972) was identified by the Delaware State Historic Preservation Office. An Environmental Review and Compliance Evaluation Sheet for National Register Eligibility was completed for the potential district in 1998, which identified boundaries and determined that the district was potentially eligible for listing. The present survey enumerated and evaluated eight previously unrecorded properties 50 years of age or older in the area of potential effect, three of which are situated within the boundaries of the Potential West Dover Historic District.

All of the resources identified in this study date from one of the following context periods: Intensified Durable Occupation, 1730-1770±; Industrialization and Early Urbanization, 1830-1880±; and Urbanization and Early Suburbanization, 1880-1940±. The properties are also represented by three themes: Agriculture; Settlement Patterns and Demographic Changes (African-American Settlement Patterns in the Upper Peninsula Zone); and Architecture, Engineering, and Decorative Arts. Each property is discussed below, including an architectural description, historical information, and an evaluation of National Register eligibility.

#### **Eden Hill (K-125)**

**834 W. North Street**

**Constructed 1749**

**Tax Parcel ED-05-076.00-01-14**

**(Plates 1 and 2)**

**(Survey form in Appendix A)**

**Description:** Eden Hill is a 2-story side-hall brick dwelling constructed by Nicolas Ridgely in 1749. It has stuccoed facades, an asphalt shingle-clad side-gable roof, two interior end brick chimneys, and 6/6 double-hung wood-sash windows. It is composed of two primary sections: a 3-bay main block and a 2-story side-hall bay projecting from the main block's southern side. The east (main) elevation is lacking detail with the exception of the centrally located main entrance, which has a reeded entablature and a 3-light wood transom. A 2-story flat-roof bay projects from the southern side of the projecting side-hall bay and also has a single-leaf entrance with a 3-light wood transom. The interior has an open stairway which provides access to three bedrooms and an added bathroom all on the second story. The first floor has two small rooms south of a central hall and a dining room and kitchen in the northern part of the house. A small office was added north of the dining room during the early twentieth century. Greek Revival alterations have been made to many of the rooms, as the windows have been enlarged with splayed casings and wainscot added below the windows. The windows have lintels supported by tapered jamb trim. The house's fireplaces once had marble mantels, which were replaced with wooden mantels during the early twentieth century.

In addition to the dwelling, the property contains many outbuildings. A circa-1930 wood-frame 1-story garage with a poured concrete foundation, vinyl siding, and asphalt shingle-clad front-gable roof is located about 40 feet west of the dwelling. An early twentieth-century barn is located west of the garage with board-and-batten walls and a wood shingle-clad gambrel roof. Concrete block gabled-wing additions along with modern greenhouse additions project from the northern and southern sides of the barn. The remaining

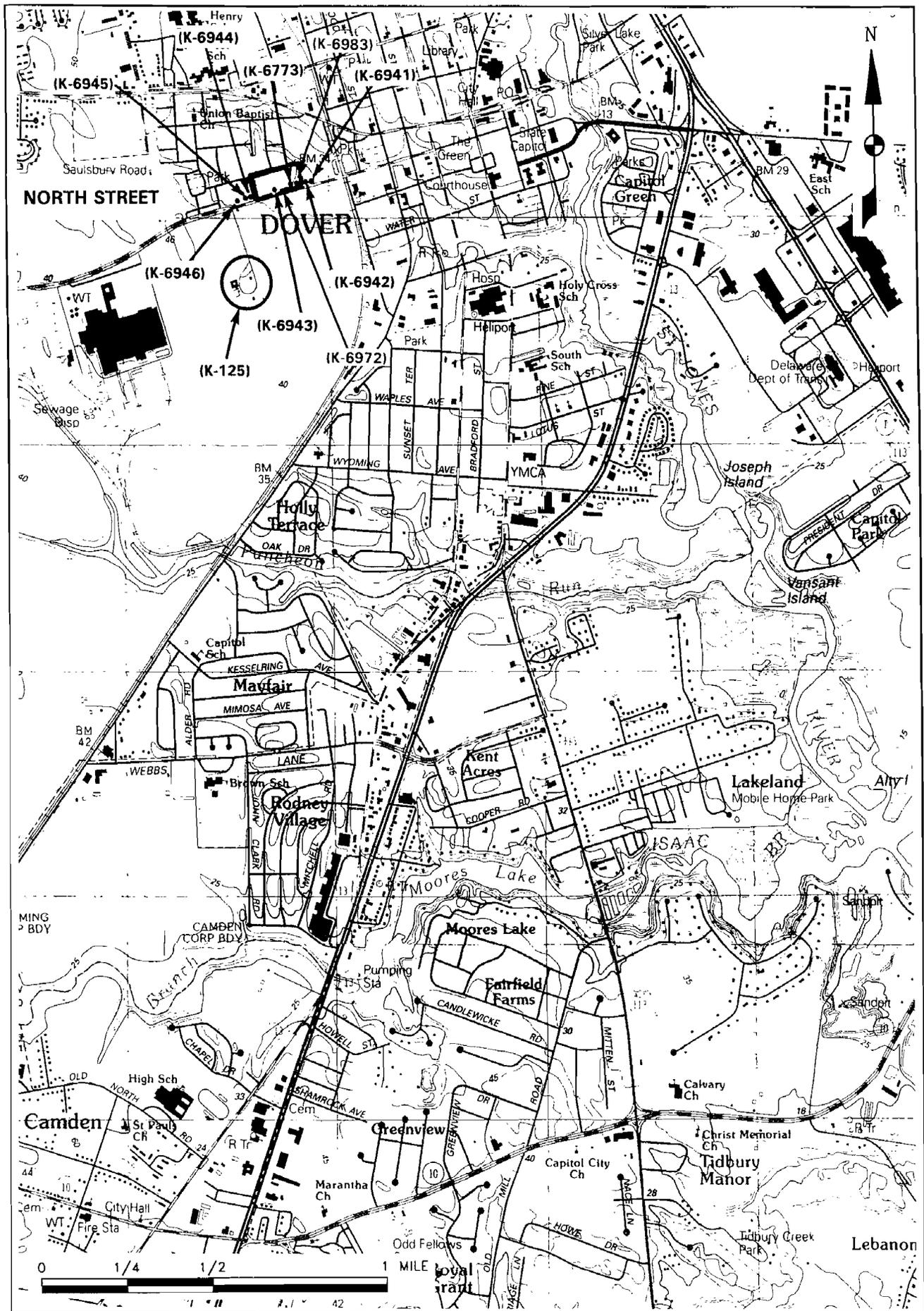


FIGURE 8: Resources Identified in Project Area

SOURCE: USGS 7.5 Minute Quadrangles, Dover, Del and Wyoming, Del 1993

buildings were constructed after 1950. These include two 1-story concrete block storage shelters, six modern greenhouses, and a second side-gabled single dwelling with a concrete block foundation, weatherboard walls, and an asphalt shingle-clad roof.

**Applicable Historic Context:** Upper Peninsula Zone, Intensified Durable Occupation, 1730-1770±. Agriculture – rural farm property type. Architecture, Engineering, and Decorative Arts – side-hall dwelling property type.

**Evaluation:** Eden Hill was listed in the National Register of Historic Places in 1973. It meets both Criteria B and C, as it is significant because of its association with the Ridgelys, a prominent local family, and is an excellent example of a mid-eighteenth-century side-hall structure in Delaware. The dwelling possesses excellent overall integrity with regard to design, materials, workmanship, feeling, and association. National Register boundaries for Eden Hill should correspond with the “original lot lines” as noted on Kent County Tax Map #76 (Figure 9). Such boundaries are believed to be the historical boundaries of the property and presently contain the eighteenth-century dwelling and all other outbuildings. The boundaries also include part of the surrounding open fields associated with the property. A recent boundary expansion has been submitted to the DE SHPO, which would enlarge the current National Register boundaries for Eden Hill to include all of lot 13. The DE SHPO has not formally concurred with this proposal as of this date.

**Potential West Dover Historic District (K-6972)**  
**(Plates 3 and 4)**  
**(Survey Form in Appendix A)**

**Description:** The Potential West Dover Historic District was delineated by the DE SHPO as bounded on the south by North Street. The end of the property lines of the lots on the northern side of Slaughter Street form the northern boundary, Clarence Street forms the eastern boundary, and Irma Street forms the western boundary (Figure 10). The district is significant for its association with the African-American development of west Dover.

The district was part of the Slaughter subdivision officially named “Accretia,” which was platted in 1869. By 1887 the area was already heavily developed, with 12 houses lining the northern half of Slaughter Street and nine houses lining the northern side of North Street west of West Street (Roe 1887). According to the 1900 U.S. census, at least six families who were known to have resided in the project area were of African-American descent. The 1920 U.S. census, which lists street locations, indicates that all but a handful of those who lived along North Street, Slaughter Street, and Lincoln Street were African-American, and that the majority of these African-Americans were employed as farm laborers and servants (U.S. Census 1900: E.D. 68, Sheets 16 and 16A; U.S. Census 1920: E.D. 10, Sheets 4B-6A). It is also evident that by 1887 the African-American settlement, which included the project area, extended further eastward to include a section of Dover located just within the eastern side of the Delaware Railroad (see Figure 3). Here the Roe map of 1887 shows what was known to be an African-American school, an “African Cemetery,” and the African Methodist Episcopal Church, all located on the eastern portion of a road named Slaughter Street. However, this Slaughter Street was located outside the historic district boundaries, in the neighborhood east of the Delaware Railroad (see Figure 10).

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±. African-American Settlement Patterns – side-gable duplex property type, side-gable dwelling property type, front-gable dwelling property type.

**Evaluation:** As indicated previously, the DE SHPO has identified the Potential West Dover Historic District as a resource meeting National Register Criteria. This district was apparently part of a much larger

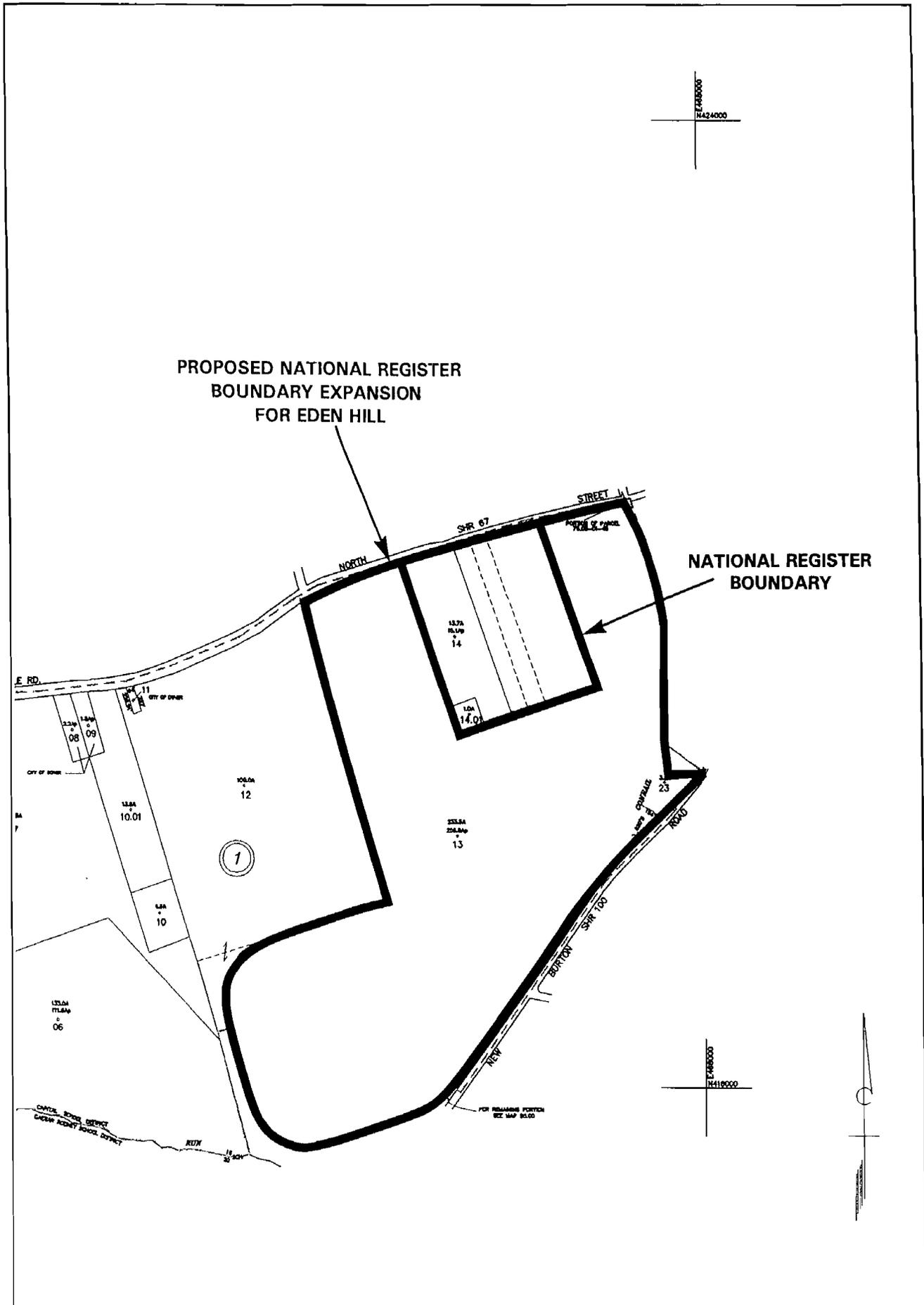


FIGURE 9: National Register Boundary Map for Eden Hill and Proposed Boundary Expansion

SOURCE: Kent County Tax Map 76, 1996

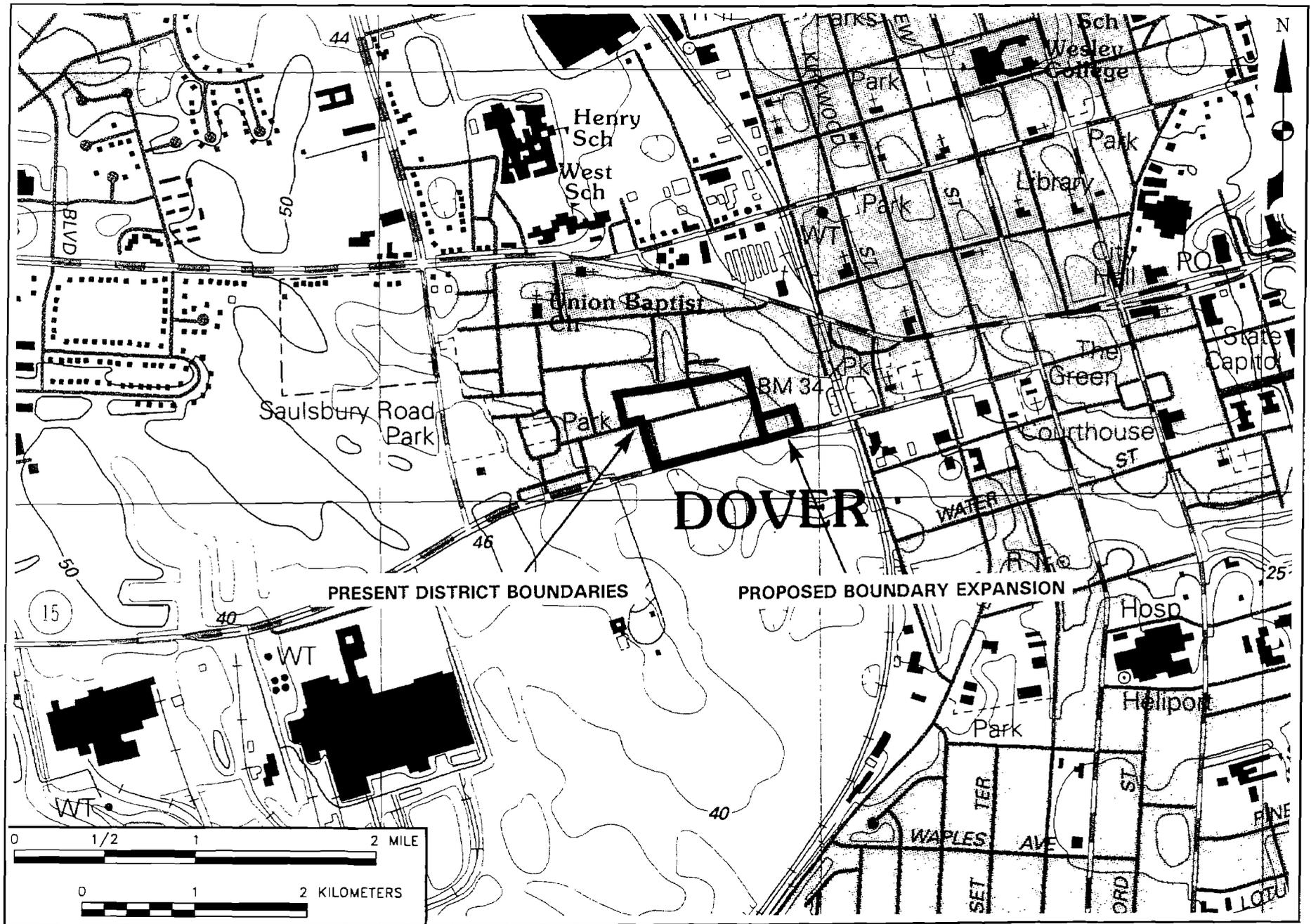


FIGURE 10: Current Boundaries of Potential West Dover Historic District and Proposed Boundary Expansion

SOURCE: USGS 7.5 Minute Series Dover, DE Quadrangle 1993

African-American community that extended further east beyond the Delaware Railroad, where more dwellings, as well as a school and church, were located. Because the church has been heavily altered, and the school and surrounding dwellings are no longer extant, this area east of the Delaware Railroad was not included within the historic district.

Three resources within district boundaries, the Levy House (K-6943), the James America House (K-6773), and the Miller House (K-6983), which are all located within the project's area of potential effect, have had historical associations with African-American owners or tenants (see discussion of the individual resources, below). In addition, census data from 1920 indicate that all of the residents of Slaughter Street, which is located just north of North Street and forms the other major street included within the district, were African-Americans. Most of the dwellings along Slaughter Street dating to this period are still extant. The Potential West Dover Historic District therefore possesses a significant concentration of resources with African-American associations. Although many of these historically associated dwellings have been altered with additions and the application of modern materials, such as vinyl or aluminum siding, they retain sufficient integrity to remain contributing elements in the district. As mentioned previously, evaluation of such alterations must consider the likelihood that buildings associated with African-American communities were of inferior construction quality due to the poor economic and social conditions affecting African-Americans in Delaware and elsewhere in the United States during the late nineteenth and early twentieth centuries (Skelcher 1995). Modern infill within the historic district consists of post-1950 housing, generally single dwellings of one to two stories. Such infill is limited in number, size, and nature along Slaughter Street, but is more extensive along North Street.

There are a total of six noncontributing and three contributing resources lining North Street within the district boundaries as proposed by the DE SHPO. The contributing resources are the Levy House (K-6943), the James America House (K-6773), and the Miller House (K-6983). Between Clarence and Minima streets, there are four modern one-story dwellings constructed within the past year between the James American House (K-6773) and the Levy House (K-6943). There are two other noncontributing dwellings located on the other (western) side of the Levy House.

It is important to note that two of the resources documented in this survey that possess African-American associations, the Annie Miller House (K-6941) and the Purnell House (K-6942), are located outside of district boundaries as currently drawn. They are situated on North Street, just south of Clarence Street. These two resources, together with the Miller House (K-6983) and the James America House (K-6773), which are located immediately north of Clarence Street, constitute a cohesive concentration of significant resources. The Levy House (K-6943), separated from the four buildings mentioned above by modern infill, is one of the oldest dwellings with African-American associations within the Slaughter subdivision and possesses excellent individual integrity; it is in better condition concerning this factor than most if not all of the other contributing resources within the district. For these reasons Berger believes that district boundaries should not be reconfigured to exclude the Levy House simply because it is surrounded by modern development. Berger therefore concurs with the boundaries as proposed in the Environmental Review and Compliance Evaluation Sheet completed for the district, with the exception of a portion of the eastern boundary, which Berger recommends should include the properties containing the Annie Miller House (K-6941) and the Purnell House (K-6942). This includes all of parcels ED-05-076.12-02-07.01 and ED-05-076.12-02-07.00 (see Figure 10). The buildings documented in this study west of Minima Street — the Arthur Brown House (K-6944), the Sockum House (K-6945), and the Collins House (K-6946) — do not contribute to the district because they have no documented African-American associations, and therefore district boundaries should not be expanded westward to include those three resources.

Berger was unable to document any historical associations between the Potential West Dover Historic District and Eden Hill (K-125), the National Register-listed property located on the southern side of North

Street, across from the district. Eden Hill was a tenant farm during much of the nineteenth and early twentieth centuries. Since many of the African-American residents of the West Dover Historic District were farm laborers, it is entirely possible that some worked at Eden Hill. However, deed research disproved the possibility that the Ridgely family, who owned Eden Hill during the late nineteenth century, was directly responsible for constructing tenant houses for African-American laborers within the project area. The entire area that encompasses the Potential West Dover Historic District was instead part of the farm owned by Thomas Slaughter, who in 1868 subdivided his holdings under the plat name, "Accretia." The parcels specifically researched within the project area were all sold to a number of private landowners who do not appear to have been associated with the Eden Hill farm.

**Annie Miller House (K-6941)**  
**669 W. North Street**  
**Constructed Circa 1900**  
**Tax Parcel ED-05-076.12-02-07.01**  
**(Plate 5)**  
**(Survey form in Appendix A)**

**Description:** The Annie Miller House is located on a 3,825-square foot (.09-acre) site on the northern side of North Street, just east of its intersection with Clarence Street. It is a 2½-story 3-bay side-gable dwelling with vinyl siding covering the foundation and exterior walls and an asphalt shingle-clad roof. The windows are 6/6 double-hung wood-sash units. The south (front) elevation has a shed roof porch on brick piers with three turned posts, and there is a 1-light paneled wood door on the main block inside the porch. A 2-story gabled rear ell projecting from the north elevation has a parged brick interior chimney and 3/3 double-hung wood-sash windows. A 1-story shed-roof bay projects from the east side of the ell. The dwelling is in fair condition.

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±, African-American Settlement Patterns. Architecture, Engineering, and Decorative Arts – side-gable dwelling.

**Evaluation:** According to the deed records, Annie Miller acquired all of Lot 7 consisting of 7,500 square feet (.17 acre) from the estate of James Blackinton in 1898 (Kent County 1898:Book A8, page 378). Census data from 1920 list Annie Miller as an African-American servant. Sanborn Maps of Dover show a 2-story frame dwelling on the lot in 1910 (Sanborn Map Company 1910). In 1912 Lot 7 was divided after Miller sold the western half of the lot to Thomas and Adela Frame (Kent County 1912:Book G10, page 364).

The dwelling was also occupied by Mary Massey and her son, David, who were tenants. The Masseys were of African-American descent; like Annie Miller, Mary worked as a servant (U.S. Census 1920: E.D. 10, sheet 4B). Following Miller's death, in 1921 Samuel Harper acquired the eastern half of Lot 7, which contained the dwelling, from Thomas Frame, the executor of the estate of Annie Miller (Kent County 1921:Book Z11, page 501). Alfred Downs acquired the property in 1977 from Charles and Alfreda Dean (Kent County 1977:Book G33, page 74). The current owner is John T. Downs. The property is located just east of the current boundaries of the Potential West Dover Historic District. Because the dwelling has African-American associations and has good overall integrity, it should be included as a contributing resource within the Potential West Dover Historic District, and the boundaries of the district should be expanded to include this property.

**Purnell House (K-6942)**  
**671 North Street**  
**Constructed circa 1913**  
**Tax Parcel ED-05-076.12-02-07.00**  
**(Plate 6)**  
**(Survey form in Appendix A)**

**Description:** The Purnell House is located on the northern side of North Street, just east of its intersection with Clarence Street. It is a 2½-story gable-front duplex with a concrete block foundation, vinyl siding, and an asphalt shingle-clad front-gable roof. The windows are 1/1 double-hung wood-sash units. The south (front) elevation has a 6-light wood window in the gable end, and a shed-roofed screened porch with three turned post supports. Inside the porch, single-leaf paneled wood doors at each end of the elevation lead to two separate apartments. A 2-story rear ell projects from the north elevation and has a concrete block foundation, vinyl siding, an interior concrete block chimney, and an asphalt shingle-clad roof. An exterior wood staircase on the northern side of the ell leads to a second-story entrance containing a 3-light paneled wood door. There is also a rear entrance, containing a 3-light paneled wood door, on the first story underneath the staircase.

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±. African-American Settlement Patterns – gabled-front dwelling property type. Architecture – gabled-front dwelling property type.

**Evaluation:** The property was once part of Lot 7, owned by Annie Miller during the first decade of the twentieth century. In 1912 Miller subdivided the lot and sold the western half to Thomas and Adela Frame (Kent County 1912:Book G10, page 364). In 1913, the Frames sold the property to Sidney and Sally Purnell (Kent County 1913:Book L10, page 394), and the 1919 Sanborn Map of Dover is the first in the series to record a 2-story frame dwelling on the site (see Figure 6). Census records indicate that the Purnells were an African-American family who had one daughter named Marjorie. Sidney worked as a laborer for the railroad and Sally worked as a servant for a private family (U.S. Census 1920). Sidney died in 1930, and after Sally's death in 1954 Marjorie acquired the property. Marjorie and her husband, Alfred Fisher, sold the property to Charles and Alfreda Dean in 1974 (Kent County 1974:Book F29, page 111). The Deans sold the property to Alfred Downs in 1977, and John T. Downs is the current owner (Kent County 1977:Book G33, page 74).

The Purnell House is located along North Street just east of the eastern boundary of the West Dover Historic District (K-6972). Because the property is associated with the African-American settlement of the area and has good overall integrity, it contributes to the district, and district boundaries should be expanded to include this property.

**Miller House (K-6983)**  
**707 and 709 W. North Street**  
**Constructed circa 1880**  
**Tax Parcel: ED-05-076.12-03-63**  
**(Plate 7)**  
**(Survey Form in Appendix A)**

**Description:** The Miller House, constructed circa 1880, is a 1½-story, side-gable duplex, six bays long, located at the northwestern corner of the intersection of Clarence and North Streets. The building is clad with vinyl siding and has an interior parged brick interior chimney and an asphalt-shingle clad roof. The windows are 2/2, and 3/3 double-hung wood-sash units. The front (south) elevation has two 3-light paneled wood doors leading to two apartments. Each entrance is sheltered by a shed-roof hood with two wood-post

supports. The present roofline suggests that a side-gable addition was added to the western end of the dwelling. A 1½-story rear ell projects from the north elevation with a shed-roof projecting bay and a concrete block exterior chimney on its eastern side. The building is in good condition.

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±, Architecture, Engineering, and Decorative Arts – side-gable duplex property type.

**Evaluation:** The duplex is an example of a type of construction found in the African-American neighborhoods of west Dover. This may have represented the scarcity of available land for housing, or more likely represented a cost-effective means of providing housing for tenant farmers and farm laborers. The duplex was more than likely constructed by Rodney and Harriet Miller, who acquired the property from Abby Moore in 1883 (Kent County 1883 Book O6, page 5). The 1887 Rowe map shows H. Miller as the owner of the property. In 1905 Rodney Miller sold the property to Richard Kerney, who in the same year sold it to William Davis (Kent County 1905 Book A9, page 496). The property remained in the Davis family until 1998, when Wayne and Kathleen Lynch acquired the parcel.

The duplex was constructed as tenant housing for some of the African-Americans, who were the predominant residents in the area at the turn of the twentieth century. Census data from 1900 reveal that George Rakes, an African-American distiller, lived in the project area, and the 1887 Roe map shows that Rakes owned the house on the northeastern corner of Clarence and North Street. Only two families are listed on the 1900 census between Rakes and George Carson, who occupied the Levy house, which suggests that these families were the tenants of the Miller House at that time. Charles Hardcastle, who had a wife, Mary, and two sons, David and Earnie, lived in one-half of the duplex, and Kermit Derbe lived with his daughter, Lillie, in the other half of the house. Both families were of African-American descent (U.S. Census 1900:E.D. 68, Sheet 16A). By 1920 one of the dwellings located west of the Purnell House (K-6942) was owned by Maria America, who is believed to have owned the James America House (K-6773) at that time, which was located at 711 North Street. If this was the case, then the two residents located immediately east of Maria America occupied the Miller House circa 1920. Charles and Lucy Parker occupied one-half of the building, and Bradley Weck, who lived alone, occupied the other half. Both families were of African-American descent; Bradley worked as a farm laborer and Charles worked as a teamster (U.S. Census 1920:E.D. 10 Sheet 5A).

The Miller House, which retains integrity, is located within the Potential West Dover Historic District, and historical research substantiates the association of the property with the African-American settlement of the area. The Miller House is therefore a contributing resource within the district.

**James America House (K-6773)**  
711 North Street  
Constructed circa 1900  
Tax Parcel: ED-05-76.12-3-62.00  
(Plate 8)  
(Survey form in Appendix A)

**Description:** The James America House is located on a 5,000-square foot (.11-acre) lot on the northern side of North Street. It is a 2½-story 3-bay side-gable dwelling with a poured concrete foundation, vinyl siding, an interior parged brick chimney, and an asphalt shingle-clad roof with boxed eaves and cornice returns. The windows are 1/1 double-hung wood-sash units. The south (front) elevation has a shed-roof porch with three wood post supports clad with vinyl, and there is a wood-slab door on the main block, inside the porch. A 2/2 double-hung wood-sash lancet window is located in the gable end on the west elevation, and a 2-story rear ell projects from the main block's north elevation. The ell has an interior parged brick chimney and a shed-roof porch on its east elevation supported by two wood posts.

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±. African-American Settlement Patterns – side-gable dwelling property type. Architecture – side-gable dwelling property type.

**Evaluation:** James America purchased the property from Samuel McGonigal in 1886 (Kent County 1886:Book X6, page 105). Tax records indicate that the dwelling was constructed in 1920, but it was more than likely constructed by America during the first decade of the century, as it is one of the six structures located on the northern side of North Street shown on the 1907 USGS quadrangle. Census records for 1900 and 1920 do not list James America as residing within the project area. However, the 1920 Census does list a Maria America residing within the project area, who was more than likely James's widow. She was an African-American woman who worked as a servant for a private family. In 1924, the property was sold by Thomas Frame, administrator of the estate of James America, to Samuel Harper to secure payment of a debt accumulated by America before his death (Kent County 1924:Book Q12, page 412). Harper died in 1928 with the property devised onto his daughter Katherine Hardcastle, and after her death, Hardcastle's daughter Rhoda E. Curtis acquired the property. In 1948, Curtis sold the property to her nephew James Hardcastle (Kent County 1948:Book O18, page 162). Joe and Georgina Burden are the present owners of the property.

The James America House is located within the Potential West Dover Historic District. Research confirms that the property has African-American associations and has good overall integrity, and the resource is therefore a contributing element to the district.

**Levy House (K-6943)**

**749 W. North Street**

**Constructed circa 1894**

**Tax Parcel: ED-05-076.12.03-59.00**

**(Plate 9)**

**(Survey form in Appendix A)**

**Description:** The Levy House is located on a 14,800-square foot (.34-acre) lot on the northern side of North Street. It is a 2½-story 5x2 bay side-gable dwelling with a parged brick foundation, clapboard siding, two interior end brick chimneys, and an asphalt shingle-clad roof with boxed eaves and cornice returns. The windows are 2/2 double-hung wood-sash units. The south (front) elevation has a hipped roof porch with four wrought-iron supports. Inside the porch on the main block is a wood slab door with a 1-light wood transom and 10-light wood side-lights. A 1-story lean-to addition with a rusticated concrete block foundation and clapboard walls is located on the north (rear) elevation. The house is in fair condition.

The property also has a 1-story wood-frame shed constructed circa 1930 located about 60 feet north of the dwelling. It has vertical wood plank walls and a standing-seam metal-clad front-gable roof. The shed is in fair condition.

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±. Architecture, Engineering, and Decorative Arts – side-gable dwelling, African-American Settlement Patterns – side-gable dwelling property type.

**Evaluation:** According to Kent County tax records, the dwelling was constructed in 1925; however, it is more likely that it was constructed during the late nineteenth century. It is probably one of the nine structures located in the project area as depicted on the Roe map of 1887, which identifies a building on the property of A. H. Carey. Deed Records confirm that an Absolum Carey purchased the property from Thomas Roe in 1884 (Kent County 1884: Book O6, Page 424). Carey sold the property to George Massey in 1887 (Kent County 1887:Book Y6, Page 94), who sold it to John Wark in 1889 (Kent County 1889: Book D7, Page 91).

Wark sold the property to John Behen in 1893 for \$300 (Kent County 1893: Book M7, Page 311). Walter Taylor acquired the property and sold it to Rachel Levy for \$500 in 1894 (Kent County 1894:Book 17:355). Rachel was married to Jacob Levy, and both were Euroamericans originally from Prussia. Jacob and his son, Louis, earned their livings as distillers and were probably part owners of the Levy and Glosking Distillery complex, which was located along North Street near its intersection with West Street and is shown on the 1910 Sanborn map (Sanborn Map Company 1910; U.S. Census 1900). The Levys did not reside in the house currently located at 749 North Street, but instead lived somewhere within the eastern end of the project area near the distillery. The Levys may have constructed the house after they purchased the property in 1894 for \$500. Their own residence is no longer extant. After Rachel's death in 1909, Louis acquired the property; he then sold it to F. Romeo and Company, Inc., in 1918 for \$3,200, after he moved to Wilmington (Kent County 1918:Book G11, page 208).

The dramatic increase in the sale price of the land between 1894 and 1918 tends to suggest, although it does not prove, that there were major improvements to the land, which consisted of 14 lots in the Slaughter subdivision when Absolum Carey purchased the property in 1884. Considering the fact that the sale value of this same parcel of land declined dramatically between 1889, when John Wark purchased it for \$1,350 (Kent County 1889: Book D7, Page 91), to \$300 only four years later, (Kent County 1893: Book M7:311) suggests a significant devaluation of the property. Such a significant devaluation of the property in a short period usually reflects the demolition of buildings located on the parcel. The dramatic fluctuation in the sale price of the property, which consisted of the same 14 lots throughout this period, therefore suggests that the dwelling on the property depicted on the 1887 Roe map was demolished and the Levys constructed a new house when they purchased the property in 1894. In 1920 F. Romeo and Company, Inc., sold the property to Michael and Mary Butz (Kent County 1920:W11, page 433). Their heirs sold the property to Harmon and Sheba Knowles in 1954 (Kent County 1954:120, page 186). For a time the Knowleses used the dwelling as a boarding house. Harmon Knowles and his second wife, Anna, still own the property today.

The Levy House was associated with one African-American tenant family during the early twentieth century. Deed records indicate that the property was located between parcels owned by Susan A. Scotton and James Tue, both of whom resided on their properties (Kent County 1917: Book D11, page 446). Census data from 1900 confirms that the dwelling located east of Susan A. Scotton, which is undoubtedly the Levy House, was the home of George Carson, an African-American farm laborer who had a very large family consisting of a wife, three sons, five daughters, four grandsons, and three granddaughters, all of whom lived in the Levy House (U.S. Census 1900:E.D. 10, Sheet 16A). However, in 1920, the house situated between the residences of James Tue and Susan Scotton was occupied by George and Rachel Stevens, who were of Euroamerican descent and had occupations that tend to suggest they belonged to the middle class: George was a clergyman and Rachel was employed as a teacher (U.S. Census 1920:E.D. 68, Sheet 5A).

The Levy House is located within the Potential West Dover Historic District. Research confirms that it is associated with African-American tenant settlement of the area and retains good overall integrity. As such, it is a contributing resource to the Potential West Dover Historic District.

**Arthur Brown House (K-6944)**  
**803 W. North Street**  
**Constructed circa 1935**  
**Tax Parcel: ED-05-076.12-03-55**  
**(Plate 10)**  
**(Survey form in Appendix A)**

**Description:** The Arthur Brown House, constructed circa 1935, is located on a 7,500-square foot (.17-acre) lot on the northern side of North Street. It is a 2½-story side-gable duplex with a concrete block foundation,

vinyl siding, interior brick chimney, and asphalt shingle-clad roof. The windows are 1/1 double-hung wood units. The south (front) elevation has a shed-roof enclosed porch with 2/2 double-hung wood sash windows, a paneled wood front door, and a shed-roof rectangular bay window with paired 1/1 double-hung wood sash. The west elevation has an exterior wood staircase leading to a second-story cantilevered entry bay with a shed-roof hood with one wood-post support covering the entrance. A 2-story rear ell projects from the north elevation. It has a concrete block exterior chimney on its northern side partially concealed by a 1-story front-gabled addition constructed onto this same elevation. A 1-story gabled-roof bay also projects from the eastern side of the ell.

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±. Architecture, Engineering, and Decorative Arts – side-gable dwelling.

**Evaluation:** Tax records suggest that the dwelling was constructed in circa 1935, and census data seem to confirm this. Census records from 1900 indicate that there was no dwelling located between the residences of Thomas Collins at 823 North Street and Susan Scotton at 759 North Street (now demolished). The 1920 census shows there were no residents living between Joshua Bishop, who acquired the Collins House, and Susan Scotton's house, indicating that the dwelling had not been constructed by 1920 (Kent County 1920:Book T11, page 1; U.S. Census 1900:E.D. 10 Sheet 5A).

The Arthur Brown House is not located within the Potential West Dover Historic District (K-6972). Census data could not confirm that the dwelling has any significant African American association that could make it a contributing element to the historic district. Therefore, district boundaries should not be expanded to include this resource. It also does not appear to be individually eligible for the National Register of Historic Places. It is not associated with an important historic event or development or any individuals important to history, and therefore does not meet Criterion A or B. The dwelling is also an undistinctive example of early twentieth-century vernacular construction that does not represent a distinctive style, type, or method of construction. As such, it lacks demonstrable architectural significance and does not meet Criterion C.

**Sockum House (K-6945)**

807 W. North Street

Constructed circa 1920

Tax Parcel: ED-05-076.12-03-54.00

(Plate 11)

(Survey form in Appendix A)

**Description:** The Sockum House is located on a 7,500-square foot (.17-acre) lot on the northern side of North Street. It is a 1½-story Craftsman-derived dwelling with a concrete block foundation, asbestos siding cladding the exterior walls, and an asphalt shingle-clad front-gable roof with boxed eaves and triangular knee braces under the eaves. The windows are 1/1 double-hung wood units. The south (front) elevation has a shed-roof porch with two wood-post supports, and there is a 9-light paneled wood door on the main block, inside the porch. There is a full width shed-roof dormer on the east elevation with vinyl siding and two double-hung windows.

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±. Architecture, Engineering, and Decorative Arts – Craftsman house property type.

**Evaluation:** The property was originally part of four acres owned by Thomas and Ellen Collins during the late nineteenth and early twentieth centuries. Tax records indicate that the dwelling was constructed circa 1920 when Lillian Sockum owned the property. Census records tend to confirm that the dwelling was constructed sometime after 1920, as the 1920 census shows that there were no residents living between

Joshua Bishop, who acquired the Collins House, and Susan Scotton, who lived at 759 North Street, indicating that the dwelling had not been constructed by 1920 (Kent County 1920:Book T11:page 1; U.S. Census 1900:E.D. 10 Sheet 5A).

The Sockum House is not located within the Potential West Dover Historic District. Census data could not determine if the property has any associations with the African-American settlement of the area that would make this resource a potential contributing element to the historic district. The resource also does not meet the criteria for individual listing in the National Register of Historic Places. The dwelling is not associated with an important historic event or development or individuals who have significantly contributed to the broad patterns of history either through direct associations with Dover or Delaware history or associations of national significance. Because the property lacks this demonstrative historical significance, it does not meet Criterion A or B. The dwelling is also an undistinctive example of a Craftsman dwelling, a popular form of early twentieth-century tract housing. Because it is representative of a common early-twentieth century domestic building type and is not an outstanding example of this type of construction, the Sockum House does not possess demonstrable architectural significance to meet Criterion C.

**Collins House (K-6946)**

**823 W. North Road**

**Constructed 1900**

**Tax Parcel: ED-05-076.12-03-52**

**(Plate 12)**

**(Survey form in Appendix A)**

**Description:** The Collins House is located on a 9,000-square foot (.21-acre) lot on the northern side of North Street. It is a 2-story 2-bay side-gable dwelling with a poured concrete foundation, vinyl siding, interior end gabled brick chimney, and an asphalt shingle-clad roof. The windows are 1/1 double-hung wood units. The south (front) elevation has a 1-story hipped roof enclosed porch on brick piers with a single-leaf paneled wood door. A 2-story rear ell projects from the north elevation and has an interior brick chimney. There is an enclosed 1-story shed-roof porch on the northern end (rear) of the ell. A wood exterior staircase leads to a second-story entrance on the east elevation. The house is in good condition.

A wood-frame shed is located about 60 feet northeast of the house. It has vertical wood-plank walls and a corrugated metal-clad side-gable roof. There is a lean-to bay on its north elevation. The structure is in very poor condition.

**Applicable Historic Context:** Upper Peninsula Zone, Urbanization and Early Suburbanization 1880-1940±. Architecture, Engineering, and Decorative Arts – side-gable dwelling property type.

**Evaluation:** The property was originally part of the Collins estate. Thomas Collins purchased the lot from Joseph Quaker in 1880 (Kent County 1880:Book E6, page 266). Thomas and his wife Ellen eventually accumulated many lots in the Slaughter subdivision amounting to a total of four acres. They were Euroamericans from Ireland, and Thomas worked as a day laborer (U.S. Census 1900). The Collins sold the property to John and Gertrude Golt in 1910 for \$1,900 (Kent County 1912:Book F9, page 374). The Golts sold the property to Thomas G. Cook in 1912 for \$2,500 (Kent County 1912:Book E10, page 349). In the deed, a dwelling house is mentioned as being on the property for the first time, and was more than likely constructed by Collins when he owned the property. Cook sold the property to Joshua Bishop in 1920 (Kent County 1920:Book T11, page 1). Bishop was a farmer of Euroamerican descent who had a wife named Emily, two sons named James and Walter, and a daughter Elizabeth. In 1922 Bishop sold the four acres to William and Lydia George (Kent County 1922:Book E12, page 43). After William's death, Lydia George

sold the property to Lillian Sockum (Kent County 1929:Book Q13, page 148). After Lillian's death, the four acres was acquired by the current owner, Arthur Brown (Kent County 1983:Book V38, page 69).

The Collins House is located outside the West Dover Historic District. Research concluded that the dwelling is associated only with families of Euroamerican decent. Without sufficient evidence of any association with African-American residents, the building does not appear to contribute to the district. It also does not meet the criteria for listing in the National Register of Historic Places as an individual resource. The dwelling is not associated with an important historic event or development or individuals important to history, and therefore does not meet Criterion A or B. The dwelling is also an undistinctive example of a vernacular side-gable dwelling, possessing no demonstrable architectural significance to meet Criterion C.



PLATE 3: Potential West Dover Historic District (K-6972), North Street, Northeast View

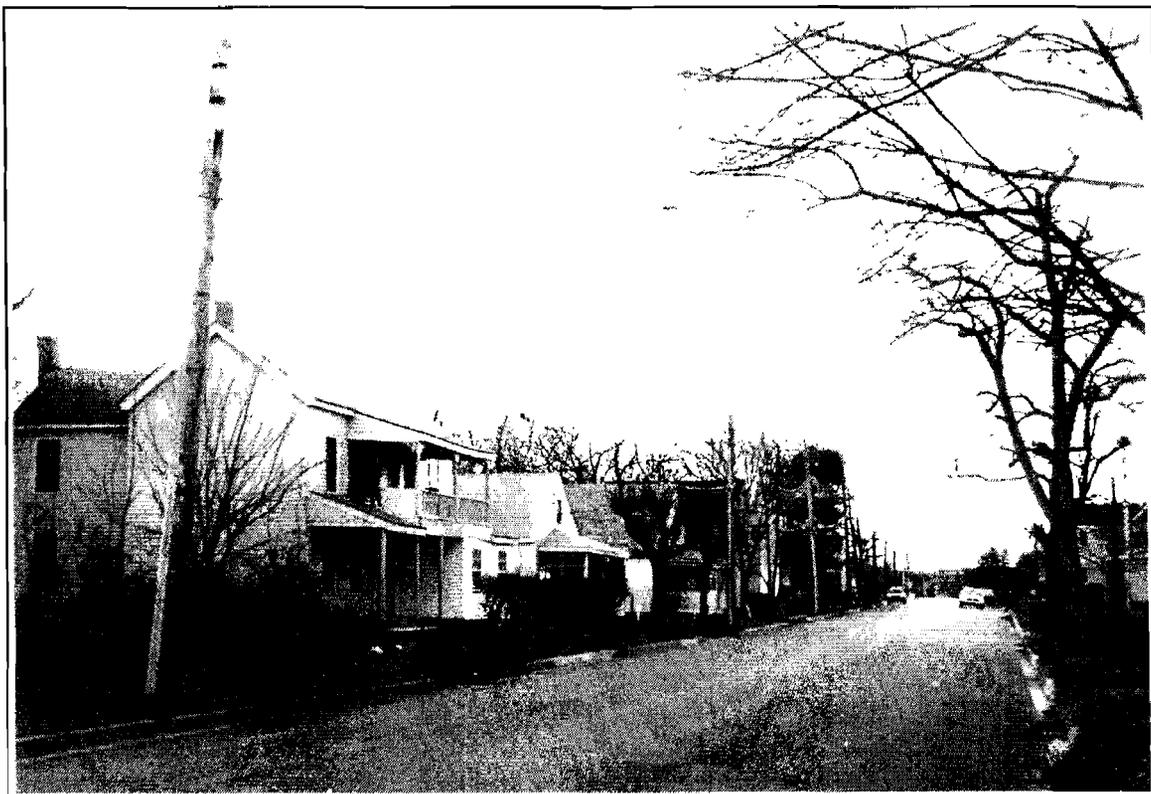


PLATE 4: Potential West Dover Historic District (K-6972), Slaughter Street, Southwest View



PLATE 1: Eden Hill (K-125), Front (East) Elevation, West View



PLATE 2: Eden Hill (K-125), Barn, Southwest View

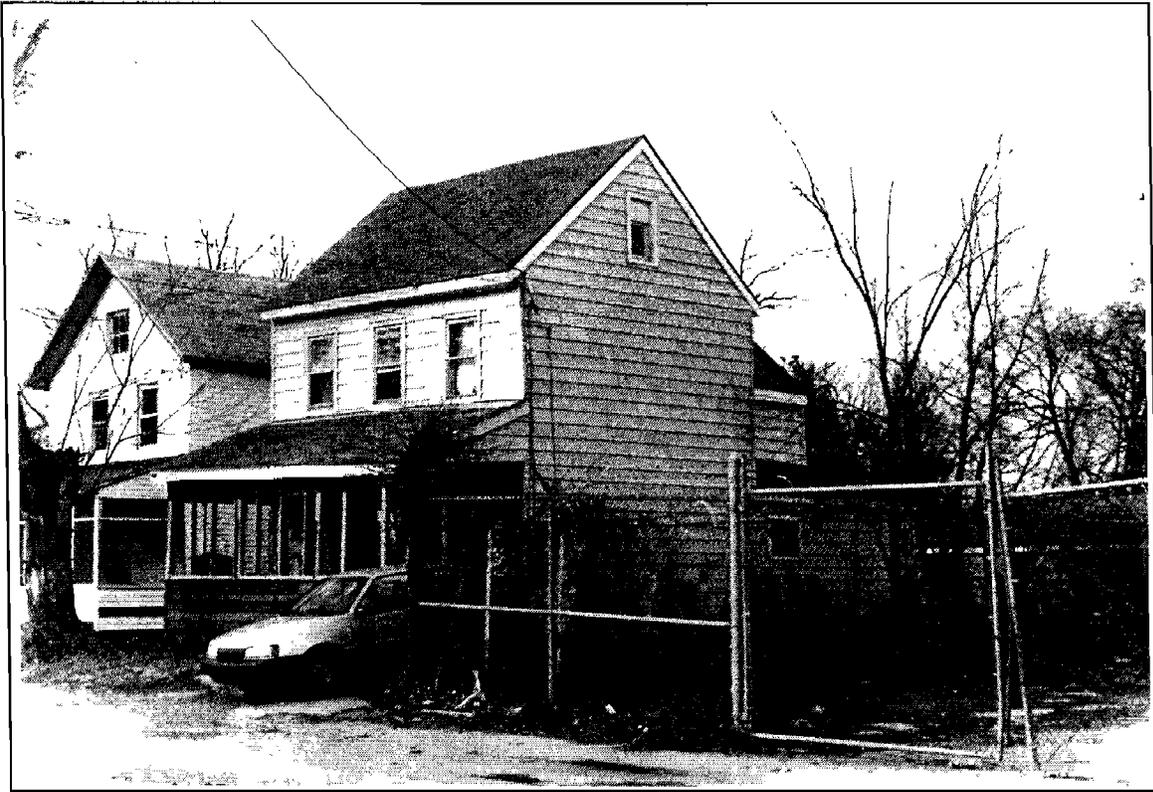


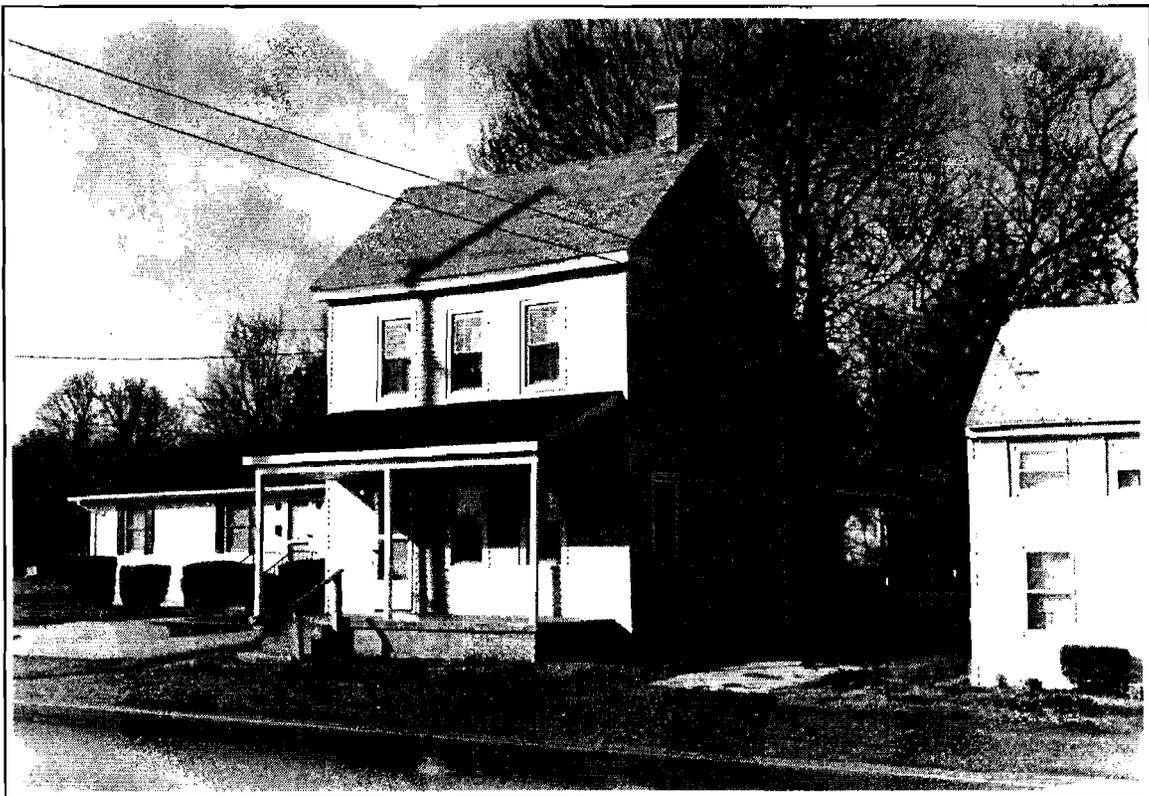
PLATE 5: Annie Miller House (K-6941), South and East Elevations, Northwest View



PLATE 6: Purnell House (K-6942), South Elevation, Northeast View



**PLATE 7: Miller House (K-6983), South and East Elevations, Northwest View**



**PLATE 8: James America House (K-6773), South and East Elevations, Northwest View**



PLATE 9: Levy House (K-6943), South and East Elevations, Northwest View

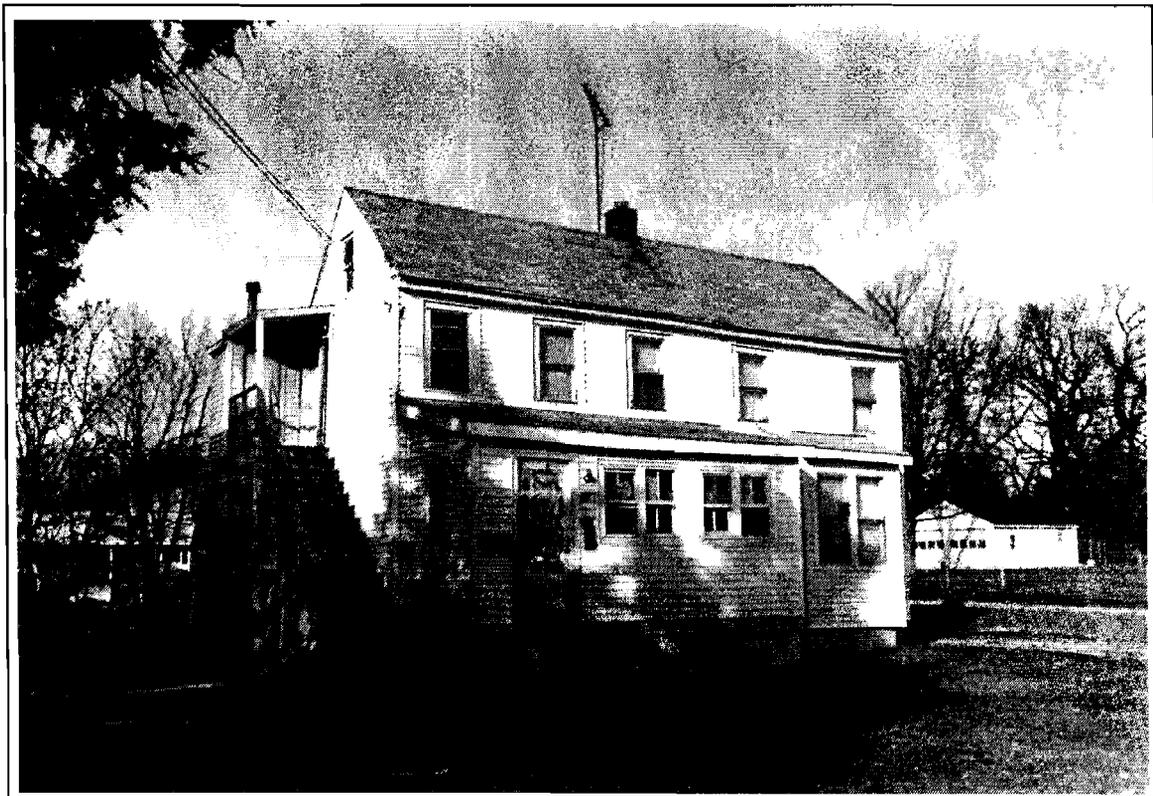
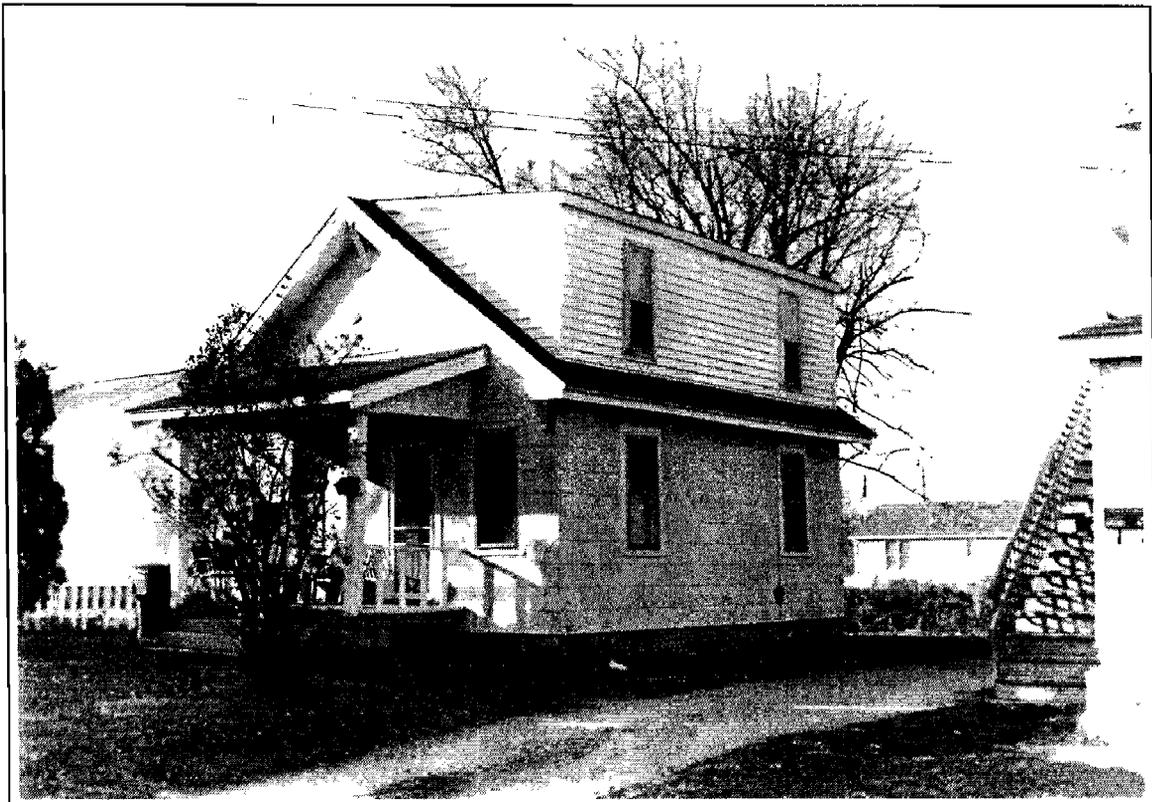


PLATE 10: Arthur Brown House (K-6944), South Elevation, North View



**PLATE 11: Sockum House (K-6945), South and East Elevations, Northwest View**



**PLATE 12: Collins House (K-6946), South Elevation, North View**