

ARCHITECTURAL EVALUATIONS

Introduction

A review of DESHPO SPO survey maps found that 16 previously inventoried historical resources were within the APE for the planned Grubb Road improvements. Seven of these resources were first documented in 1962 as part of a Junior League of Wilmington survey that identified roughly 100 historical resources in Brandywine Hundred. This survey produced limited documentation, consisting of short narrative descriptions, the location of the resource, the owner's name, and a photograph. In the early 1970s three additional resources located within the Grubb Road APE were documented, and the seven Junior League resources were resurveyed, as part of an update of the state's historical resource inventory. The update documented these resources on an "investigation card" which contained similar information to that provided in the earlier Junior League survey documentation. Another inventory update, undertaken in 1976 by the Bureau of Archaeology and Historic Preservation (BAHP), the DESHPO's predecessor organization, resulted in handwritten notations made on the investigation cards concerning the survival and condition of each resource.

In 1983, the BAHP funded a survey and planning grant to the New Castle County Department of Planning for the purpose of undertaking a cultural resource survey of Brandywine Hundred. The survey was intended to document all buildings built prior to 1945 as well as to resurvey surviving resources inventoried in earlier surveys. A total of 284 resources were ultimately documented by this study, including 200 newly identified resources. The 1983 surveyors completed DESHPO CRS-1 and CRS-3 forms for each resource inventoried. Four of the resources documented in the survey are within the APE for the Grubb Road improvement project. The Village of Arden (N-414), listed in the National Register in the 1970s, and the Grubb Road Bridge over the South Branch of Naamans Creek (N-12538) are the final two resources along the Grubb Road APE that were previously identified or documented by the DESHPO. Figure 7 illustrates the location of the 16 previously inventoried historical resources listed by survey number within the APE.

Field investigations for this project began with a review of the previously inventoried resources. The field review indicated that four of the 16 previously inventoried historical resources within the APE (N-552, N-1165, N-1223, and N-1527) had been destroyed in the years since their last documentation. A CRS Survey Update Form (CRS-10) has been completed for each of these four resources stating that they no longer survive.

Recent development along Grubb Road has also left one additional resource (N-1190; formerly 2580 Grubb Road) physically and visually separated from Grubb Road. Now located at street address 5 Richards Drive and not in the APE, this resource was dropped from further documentation by this project. A CRS-10 form was completed to document the resource's change in setting and address.

Each of the 11 surviving previously inventoried historical resources within the APE was then examined to determine if any had experienced significant changes warranting additional documentation or revision of their National Register-listed status. The field inspection showed that the Village of Arden Historic District had not experienced any identifiable changes that would warrant its removal from the National Register. An update form was not completed for the Village of Arden. Comparison of the current condition of the 10 remaining resources with the information on the previously completed CRS forms indicated that seven had undergone alterations that should be documented, and CRS-10 update forms were completed. Although first documented by the Junior League and subsequently updated in the 1970s, resource N-1163 had not been previously documented on a CRS form. Berger completed CRS-1 and -2 forms for this resource.

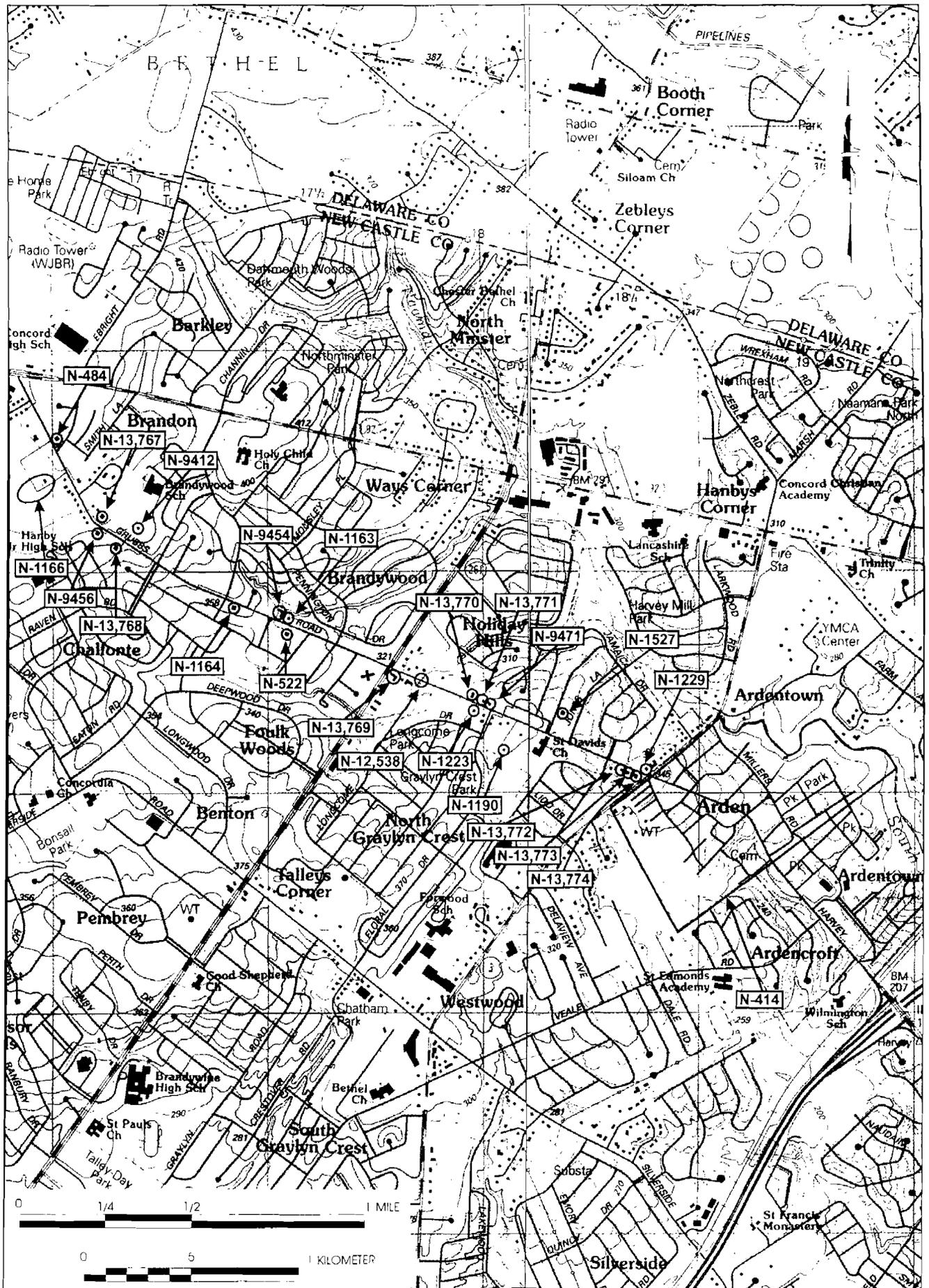


FIGURE 7: Historical Resources Identified in the Area of Potential Effect SOURCE: USGS 7.5 Minute Quadrangles 1993a — Marcus Hook, PA-NJ-DEL and 1993b — Wilmington North, DEL-PA

The field investigations identified eight additional historical resources in the APE that met the National Register's 50-year age criterion. Figure 7 depicts the locations of these eight additional historical resources. CRS-1 and -2 forms were completed for each of the eight newly identified historical resources.

Table 1 lists the historical resources identified by this investigation in the APE by CRS number and summarizes the results of the investigations. National Register evaluations of 19 historical resources, 11 previously inventoried and eight newly identified, follow in this chapter.

E. Nicholson House (N-484)

Originally identified by the Junior League and later documented by New Castle County during their 1983 survey, the E. Nicholson House stands approximately 30 meters (100 feet) northeast of Grubb Road, roughly 150 meters (500 feet) southeast of its intersection with Naamans Road. Located at 2831 Grubb Road, the property features an asphalt driveway leading from Grubb Road northeastward to the house and its associated secondary buildings. A former stable or carriage house located west of the house has been remodeled into apartments in the recent past. A modern garage sits south of the house. Mature trees shade the view of passing traffic on Grubb Road. Although a grass lawn on the west side of the driveway stretches from Grubb Road to the house, modern residential housing east and north of the house, lining both sides of Grubb Road, gives the surrounding area a suburban character.

The Nicholson House consists of two major periods of construction, comprising a two-story gable-roofed structure, probably erected during the early nineteenth century (Plate 1), and a one-and-one-half-story Colonial Revival addition dating from the early twentieth century. The addition is joined to the southeast elevation of the earlier portion and extends past both the northeast and southwest gable ends of that structure. The earlier portion has asphalt shingles on its roof, an interior chimney pile on its northeast gable end, a stuccoed exterior, and three symmetrically spaced bays along its principal, northwest elevation. A four-panel wooden door surrounded by fluted pilasters and a molded cornice occupies the center bay. Six-over-six wooden windows with inoperable panel shutters flank the door and display surrounds similar to the door. A slate and concrete porch deck extends along the northwest elevation's full width. A one-story, hipped-roof porch formerly protected the deck and northwest elevation. One bay penetrates the southwest gable end.

The early twentieth-century addition features a broad gable roof covered with asphalt shingles, wooden weatherboard siding, an exterior brick chimney pile on its southeast elevation, gable-roofed dormers on both its north and south slopes, and a cutaway porch perched atop a full-width enclosed porch on its southwest elevation. Fenestration consists of six-over-six wooden sash, eight-over-eight wooden sash, a large multipaned picture window, and a jalousie window. A metal door with upper lights penetrates the southeast elevation.

The former carriage house stands one-and-one-half stories tall and has an asphalt-shingled gable roof and two hipped-roof dormers along its southwest elevation, facing the property's driveway (Plate 2). The exterior walls display a stuccoed foundation and aluminum siding. Four bays consisting of two six-over-six aluminum sash and two metal panel doors penetrate its southwest elevation. Six-over-six wooden sash occupy the dormers and the southeast and northwest gable ends. The two-car garage consists of a one-story gable-roofed structure with aluminum siding and a concrete-block foundation. Two wooden vertically rolling garage doors occupy the garage's northwest elevation.

Recorded as the E. Nicholson House on the 1983 CRS form, a structure identified as belonging to "N.P. Barlow" appears at this location on a mid-nineteenth century map (Rea and Price 1849). "E. Nicholson" appears at the same location on mid-nineteenth-century atlas and map views (Beers 1868; Hopkins 1881),

TABLE 1

HISTORICAL RESOURCES LOCATED WITHIN THE AREA OF POTENTIAL EFFECT

Resource Number	Address/Name	Context	Property Type	Integrity	Action/Recommendation
N-414	Village of Arden	Settlement Patterns	historic district	very good	Previously listed in National Register/Recommend Continued Listing
N-484	2831 Grubb Road/ E. Nicholson House	Settlement Patterns	dwelling	poor	CRS-10 Completed/Recommended Not Eligible
N-552	2612 Grubb Road	Not Applicable	Not Applicable	Not Applicable	CRS-10 Completed/Resource Destroyed
N-1163	2615 Grubb Road/ Nathaniel Booth House	Settlement Patterns	dwelling	poor	CRS-1 and CRS-2 Completed/Recommended Not Eligible
N-1164	2636 Grubb Road/ G.W. Smith House	Settlement Patterns	dwelling	fair-good	CRS-10 Completed/Recommended Not Eligible
N-1165	2639 Grubb Road	Not Applicable	Not Applicable	Not Applicable	CRS-10 Completed/Resource Destroyed
N-1166	2818 Grubb Road/ W. Wilson Farm	Settlement Patterns; Agriculture	farm	poor	CRS-10 Completed/Recommended Not Eligible
N-1190	5 Richards Drive (previously inventoried as 2580 Grubb Road)	Not Applicable	Not Applicable	Not Applicable	CRS-10 Completed/Outside APE (Not Evaluated)

TABLE 1 (continued)

Resource Number	Address/Name	Context	Property Type	Integrity	Action/Recommendation
N-1223	2416 Grubb Road	Not Applicable	Not Applicable	Not Applicable	CRS-10 Completed/Resource Destroyed
N-1229	2201 Grubb Road/ Star of Bethel I.O.O.F. Lodge No. 19	Settlement Patterns/Community Organizations	lodge hall	good	DOE Form Completed; Recommended Eligible under Criterion A
N-1527	Grubb Road north of Arden/ Grubb Homestead	Not Applicable	Not Applicable	Not Applicable	CRS-10 Completed/Resource Destroyed
N-9412	2727 Grubb Road/ S. Hanby House	Settlement Patterns	dwelling	poor	CRS-10 Completed/Recommended Not Eligible
N-9454	2619 Grubb Road	Settlement Patterns	dwelling	poor	CRS-10 Completed/Recommended Not Eligible
N-9456	2738 Grubb Road	Settlement Patterns	dwelling	poor	CRS-10 Completed/Recommended Not Eligible
N-9471	2411 Grubb Road	Settlement Patterns	dwelling	poor	CRS-10 Completed/Recommended Not Eligible
N-12538	Grubb Road Bridge over South Branch Naamans Creek	Transportation	bridge	Not Applicable	CRS-10 Completed/Resource Destroyed
N-13767	2741 Grubb Road/ Earle and Helen Kirkley House	Settlement Patterns	dwelling	poor	CRS-1 and CRS-2 Completed; Recommended Not Eligible

TABLE 1 (continued)

Resource Number	Address/Name	Context	Property Type	Integrity	Action/Recommendation
N-13768	2728 Grubb Road/ Barlow House	Settlement Patterns	dwelling	good	CRS-1 and CRS-2 Completed; Recommended Not Eligible
N-13769	2038 Fouik Road/ Stanley's Tavern	Retailing and Wholesaling	tavern	poor	CRS-1 and CRS-2 Completed; Recommended Not Eligible
N-13770	2419 Grubb Road/ Mary Jane MacRostie House	Settlement Patterns	dwelling	poor	CRS-1 and CRS-2 Completed; Recommended Not Eligible
N-13771	2415 Grubb Road/ Karl and Florence Huber House	Settlement Patterns	dwelling	poor	CRS-1 and CRS-2 Completed; Recommended Not Eligible
N-13772	2212 Grubb Road/ Hymen Chavenson House	Settlement Patterns	dwelling	poor	CRS-1 and CRS-2 Completed; Recommended Not Eligible
N-13773	2210 Grubb Road/ Wilmer and Margaret Talley House	Settlement Patterns	dwelling	poor	CRS-1 and CRS-2 Completed; Recommended Not Eligible
N-13774	2204 Grubb Road/ Grubb Double House	Settlement Patterns	dwelling	poor	CRS-1 and CRS-2 Completed; Recommended Not Eligible

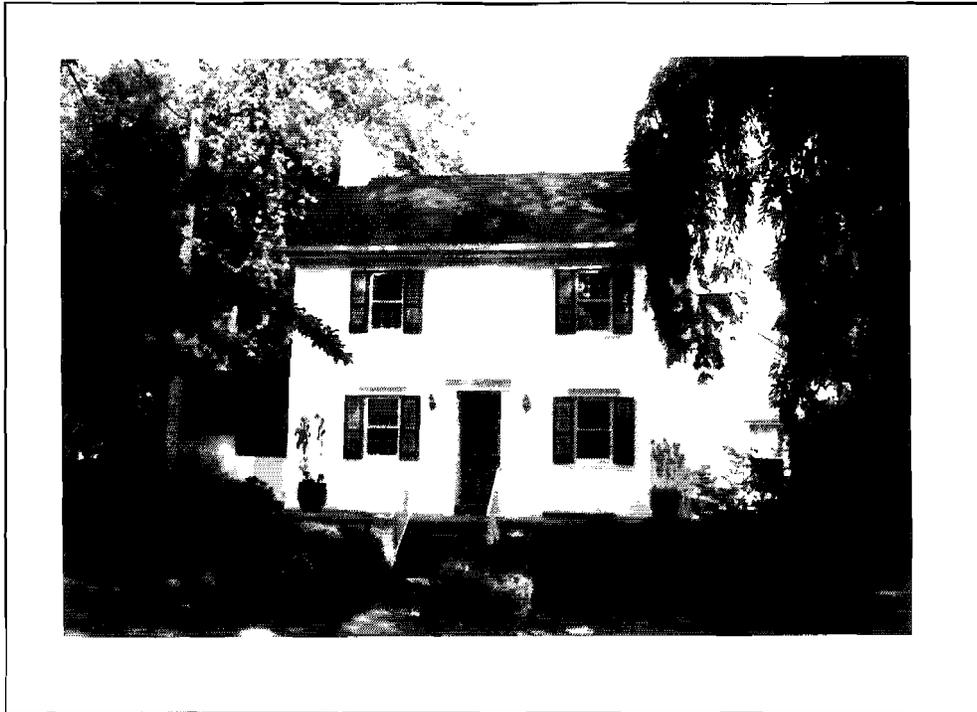


PLATE 1: E. Nicholson House (N-484), Northwest Elevation



PLATE 2: E. Nicholson House Garage/Stable (N-484), Northwest and Southwest Elevations

while “E. Nicholson Est. [estate]” labels the property in 1893 (Baist 1893). An investigation card completed in 1971 indicates that part of the structure composed the original Barlow House erected in 1831 but that the southern wing had been recently added. The southern wing mentioned on the 1971 card probably refers to the recent enclosure of the addition’s southwestern porch. The 1983 survey noted that according to the owner, the earlier structure was erected in 1827 and the addition was constructed around 1910. The 1983 survey also reported that the earlier structure’s interior had been altered and that most vestiges of its historic fabric, including boxed winder stairs, had been removed. The Colonial Revival addition has also been greatly altered and does not embody the standout characteristics of that style. The remodeling of the carriage house also limits the property’s ability to reflect its past use. Additional research has not identified any significant associations between the property and events contributing to broad patterns of history or persons significant in the past. An altered example of a nineteenth-century building type with unsympathetic additions, the house no longer embodies the distinctive characteristics of its type, period, or method of construction, or represents a significant or distinguishable entity. The house is not expected to provide information important to the understanding of history. As a result, the E. Nicholson House does not meet National Register significance or integrity criteria.

2612 Grubb Road (N-552)

The house at 2612 Grubb Road identified by the Junior League has been replaced with a one-and-one-half story, gable-roofed brick rancher. Two stone gate posts stand sentinel at the property’s driveway, adjacent to its intersection with Grubb Road (Plate 3). One of the current owners informed the surveyor that the gate posts had been removed from another site in New Castle County and installed at that location roughly three years ago (Kershaw, personal communication 1999). Unrelated to the dwelling formerly located at the property, and moved to their current location, the two gate posts do not meet National Register significance criteria.

Nathaniel Booth House (N-1163)

Originally inventoried by the Junior League, the Nathaniel Booth House stands on the north side of Grubb Road west of its intersection with Kershaw Lane, at 2615 Grubb Road (Plate 4). The house has been under recent remodeling, and excavations for new structural foundations could be seen in its rear northeastern yard during the survey. Grass lawn and shrubs occupy the yard between the house and the road. A dirt and gravel driveway extends from Grubb Road past the southeast elevation of the house. Modern suburban residential housing defines the neighborhood.

The Booth House consists of a two-and-one-half-story, gable-roofed structure with two rear additions along its northeast elevation. The main structure’s evenly spaced three-bay-wide southwest elevation facing Grubb Road features a centrally located gable-roofed wall dormer and a full-width hipped-roof porch along its first story. Four chamfered posts set atop a tongue-and-groove wooden deck with stone piers support the porch roof. The porch shades a central wooden panel door flanked by pairs of 15-light aluminum casement windows. One-over-one aluminum sash occupy the second story’s three bays and the dormer. Corner boards ornament the elevation. Asbestos shingles cover most of the dwelling’s exterior wall surfaces. The shingles have been removed from underneath the porch as well as from the southeast elevation’s first-story walls, however, revealing wooden weatherboard siding atop wooden german siding. Aluminum sheathing covers the cornices and projecting eaves. Stucco covers the foundation. The southeast gable end features 10-light aluminum casement windows on either side of a central exterior metal flue pipe resting in a concrete base. A single one-over-one window penetrates the second story. Small one-over-one aluminum sash occupy the gable peak. The northwest elevation of the building displays a total of five bays; the gable end of the main structure contains one bay, and four bays pierce the additions.



PLATE 3: 2612 Grubb Road (N-552), Southeast and Northeast Elevations



PLATE 4: 2615 Grubb Road (N-1163), Southwest and Southeast Elevations

The building has two additions on its rear, northeast elevation. A full-width, two-story gable-roofed addition extends two bays northeastward from the main dwelling. This addition incorporates a remodeled one-story porch that was said by the present owner to have formerly occupied the ell's southeast elevation (Kiernan, personal communication 1999). A one-story hipped-roof addition has recently been appended to the two-story addition. Tyvek insulation covers the walls of both additions. A modern metal panel door and paired french doors permit entry through the southeast elevation of the additions.

Judging from the information on the form and surviving original materials of the main structure, and a comparison of historical maps and deed records, construction of the earliest portion of the house probably occurred in the 1890s. In 1890 Nathaniel Booth and his wife purchased a roughly one-acre lot from James Wilkinson that had been subdivided from a much larger parcel. Wilkinson appears on an 1881 and 1893 atlas of the area as the owner of a building near the corner of Foulk and Naamans roads (Baist 1893; Hopkins 1881), but probably used the Grubb Road property as either pasture or cropland. A building does not appear at the location of the present building in the 1893 atlas view.

Additional research has not identified any associations between Wilkinson or Booth and significant individuals, events, or broad patterns of history. The replacement of much of the building's original fabric, and the rear additions, limit the building's ability to reflect its past appearance. The house does not embody the distinctive characteristics of a type, period, or method of construction, nor is the house likely to provide information important to the study of history. The Nathaniel Booth House at 2615 Grubb Road does not meet National Register significance criteria.

G.W. Smith House (N-1164)

First documented by the Junior League and subsequently identified as the G.W. Smith House during New Castle County's 1983 survey, the dwelling at 2636 Grubb Road stands immediately adjacent to the south side of Grubb Road east of its intersection with Brandywood Drive. The house is the product of two major periods of construction, consisting of a circa 1840 two-story stuccoed-stone building and a circa 1939 one-and-one-half-story Colonial Revival addition (Plate 5). The house sits on a large lot containing mature trees and grass. The house is well hidden from Grubb Road by trees and thick vegetation. A one-story frame gable-roofed garage stands a short distance west of the house. A gravel drive leads from Grubb Road east of the house and arcs southwestward past the southwest elevation of the house to the garage. A board-and-batten one-story gable-roofed shed stands north of the garage.

The earliest portion of the house displays an asphalt-shingled gable roof parallel to Grubb Road, an interior brick chimney pile atop its southwest gable end, and two symmetrically spaced bays penetrating both its southeast and northeast elevations. The building features a second-story banked entry composed of a four-panel wooden door with four upper lights in its single northwest elevation bay. The entry on the southeast elevation consists of a six-panel wooden door with 12 upper lights. A 1970s hurricane destroyed a gable-roofed entry hood that once protected the southeastern entrance of the house, and left a discernible scar in the structure's stucco. Six-over-six wooden sash occupy most window openings of the 1840s structure. Four-light wooden casements occupy the gable peaks.

An interior inspection showed that most vestiges of the circa 1840 structure's historic fabric had been removed by later remodelings. Boxed corner winder stairs connecting the first and second story have been removed. The first-story interior exhibits modern wooden paneling. In order to provide communication between the circa 1840 building and the later addition, four doorways, two on each story, were opened in the structure's southwest elevation.

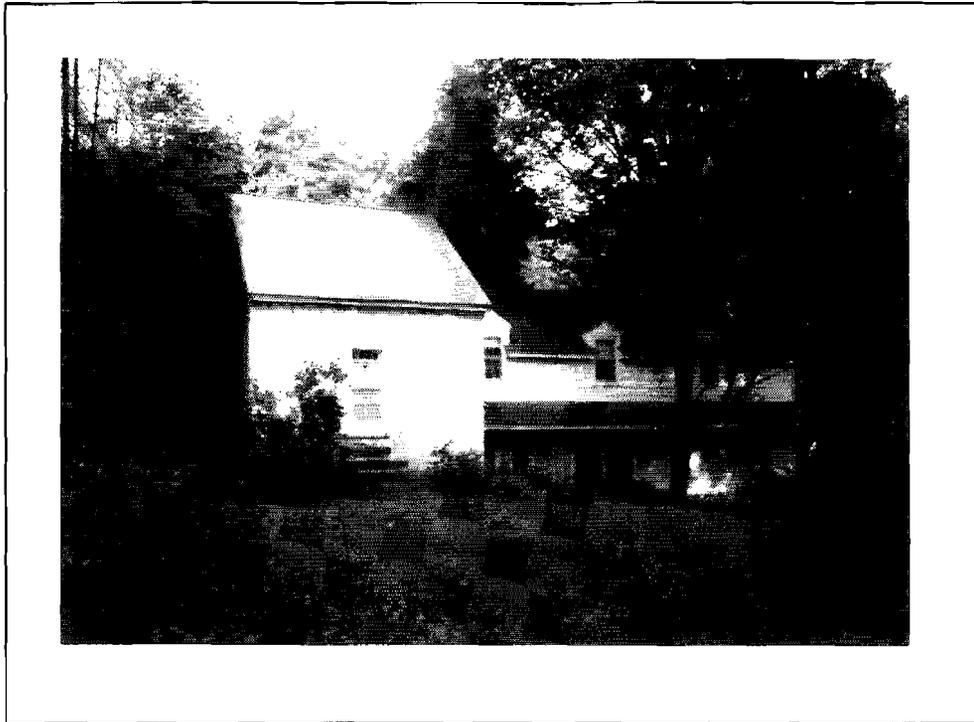


PLATE 5: G. W. Smith House (N-1164), Northwest Elevation

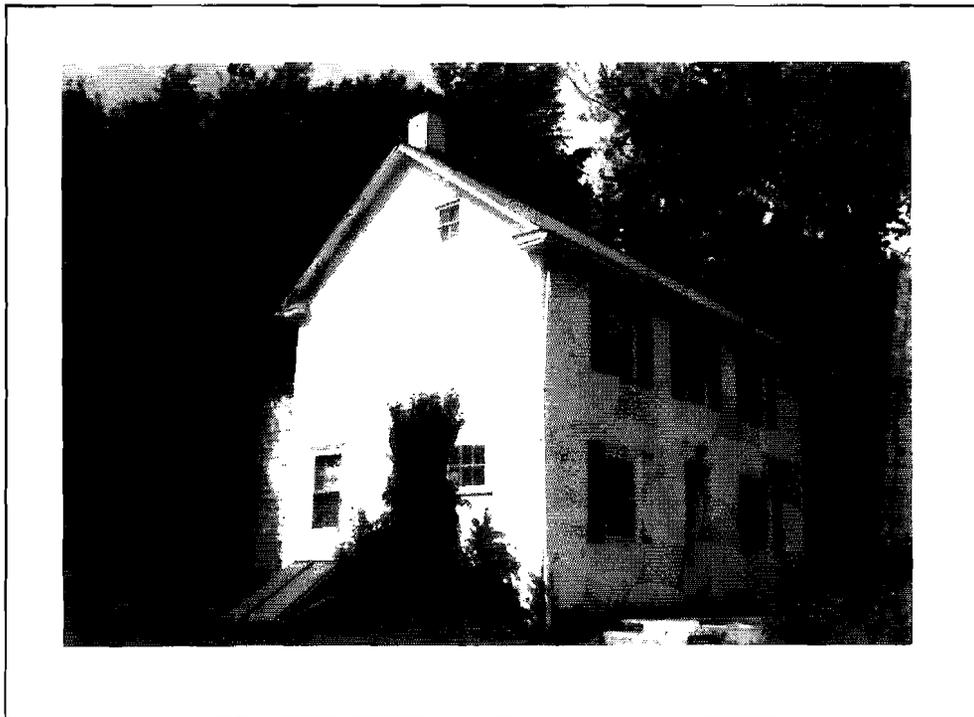


PLATE 6: W. Wilson Farm Dwelling (N-1166), West and South Elevations

The Colonial Revival addition has five bays along its northwest elevation. A shed-roofed pent extends across the entire elevation. The building's asphalt-shingled gable roof is punctuated by three gable-roofed dormers lighting the addition's upper story. Wooden weatherboard siding sheathes the addition's northwest and southwest elevations. Its southeast elevation incorporates uncoursed fieldstone for much of its first story. A brick interior chimney pile penetrates the northwest slope of the addition's roof. Fenestration consists of six-light wooden casements, six-over-six wooden sash, and paired 12-over-12 wooden sash. Wooden panel doors with 12 upper lights penetrate the northwest and southwest elevations. A three-sided oriel window and a six-panel door with sidelights occupy the southeast elevation of the addition.

Nineteenth-century atlases and maps depict a building at this location in 1849. The Rea and Price (1849) map identifies the structure's owner as "T.C. Smith" while the 1868 Beers atlas shows "G.W. Smith" as the owner. By the late nineteenth century, maps depict the property as a 17-acre tract belonging to "C.E. Mousley" (Baist 1893; Hopkins 1881). The original house may have served as a tenant farmer's home, but it has since lost its historic setting. Construction of the addition probably occurred shortly after Lawrence R. Talley and his wife acquired a 29.5-acre parcel including the present property in 1939 from Cyrus Edmund Mousley (New Castle County Recorder of Deeds [NCCRD] Liber K41 Folio 559). Mousley purchased the house from George W. Smith's estate in 1878 (NCCRD Liber F11 Folio 357). Research has not identified further associations with significant events or broad patterns of history. Smith, Mousley, and Talley do not appear to have been significant persons in history. The circa 1840 house and the circa 1939 addition, despite its Colonial Revival finish, do not collectively embody the distinctive characteristics of a type, period, or method of construction. The house and the addition are not likely to provide information important to the study of history. As a result, the G.W. Smith House does not appear to meet National Register significance criteria.

W. Wilson Farm (N-1166)

Also documented by the Junior League and subsequently identified by the 1983 New Castle County survey as the W. Wilson Farm, the complex at 2818 Grubb Road stands about 90 meters (300 feet) southwest of Grubb Road, at the end of an asphalt drive. A grass lawn stretches between the house and Grubb Road, while a fence and hedges demarcate the property's southern limits adjoining small residential properties along Grubb Road. A wooden fence northwest of the lawn encloses portions of the farm's pasture. About 15 meters (50 feet) west of the house stands a carriage house with attached sheds. A metal gate blocks westward passage from the carriage house to the main farmyard, which is composed of a silo, a calf shed, a hay barn and stable, a corncrib, a feed and tool shed, and three other sheds. A dirt lane extending southward from the main farmyard leads to a row of four dilapidated sheds and cribs located approximately 45 meters (150 feet) from the farmyard. Although the roughly 10.4 hectares (25.8 acres) of cattle and horse pasture is leased to tenants, New Castle County maintains the open space as Jester Park.

The dwelling house consists of two principal periods of construction, forming an overall ell plan. The earlier portion of the house, probably built in the early nineteenth century judging from its form and orientation, consists of the two-story, three-bay stuccoed portion with its main elevation facing south (Plate 6). An interior stuccoed chimney pile penetrates its two-bay-wide west gable end ornamented with partial returns. Corrugated metal sheathes the roof of the entire building. The symmetrically spaced fenestration of the south elevation's first story features a deep-set, central two-panel wooden door with nine upper lights flanked by six-over-six wooden sash with wooden surrounds and inoperative wooden shutters. Portions of molding on the window surrounds are visible hidden underneath the applied stucco. Six-over-six wooden sash with nonworking shutters also occupy the elevation's second-story openings. A large slate and concrete porch deck extends across most of the elevation. Scars in the stucco indicate that a hipped-roof porch once shaded the south elevation's first story. A wooden box cornice crowns the elevation. The west gable end displays

a two-over-two wooden sash unit in its gable peak and a wooden six-over-six sash and a wooden six-light casement window in its first story. The second story, which probably once featured two symmetrically spaced windows, contains no window openings. Scars in the north elevation also indicate that an entry and an associated shed-roofed porch or hood once occupied the west side of that elevation.

The dwelling's east elevation facing toward Grubb Road features the two-bay-wide gable end of the earlier portion of the structure and the two-bay-wide, two-and-one-half-story main elevation of the addition (Plate 7). The entire elevation has been sheathed with asbestos shingles to help unify the facade visually. Asbestos shingles also cover the one-bay-wide north gable end as well as the rear, west elevation. Wooden german siding is visible underneath the asbestos in some locations. The southern of the two gables composes the earlier structure's gable end and displays symmetrically spaced windows on both stories. Two one-over-one wooden sash pierce the gable's peaks. The northern two bays have also been evenly spaced across their portion of the east elevation. A four-panel wooden door with a horizontal band of four lights occupies the southern of the first story's two bays. A one-story, corrugated-metal shed-roofed porch supported by four wooden posts atop a slate and concrete pad protects the doorway. The central gable-roofed wall dormer has a two-over-two wooden sash unit. The elevation's remaining windows all feature six-over-six wooden sash with drip moldings atop wooden surrounds. Wooden panel shutters trim the first- and second-story window openings. One window containing a two-over-two sash unit penetrates the north elevation's gable peak. The two-bay-wide west elevation of the addition features unsymmetrically spaced openings on its first story and evenly spaced windows on its second story. A wooden bungalow door occupies the southern of the first story's bays. Based on its form, construction of the northern portion of the building probably occurred during the later nineteenth century.

A greatly altered former carriage house stands two stories tall with a stuccoed-stone west gable end and a corrugated-metal gable roof with exposed rafter feet (Plate 8). The carriage house has been converted into a garage, as is shown by the vertically rolling wooden garage door now occupying most of its south elevation's first story. Double-leaf board-and-batten doors occupy the western portion of the first story of the building. The three symmetrically spaced bays on its second story contain a board-and-batten door and six-light wooden windows. The second story, as well as the building's east and north elevations, features asbestos-shingle siding over vertical boards. A stuccoed-stone, one-story shed-roofed shed has been appended to the carriage house's west elevation and has a board-and-batten door on its south elevation.

The four one-story farm outbuildings located along the southward-leading lane may predate the outbuildings composing the current main farmyard (Plate 9). The four buildings are (from south to north) an equipment shed with corrugated metal on its gable roof and its west elevation; a crib featuring horizontal battens and wire mesh screening and a corrugated-metal shed roof; a roll-asphalt gable-roofed crib with two shed-roofed equipment sheds attached to its south elevation; and an asphalt-shingled gable-roofed frame shed with wooden siding and a shed-roofed equipment storage side aisle on its north elevation.

The main farmyard consists of eight structures located on the west side of the metal gate adjacent to the carriage house. A wire mesh silo with a standing-seam metal conical cap and concrete foundation stands at the southeast corner of the yard and the southward lane leading to the four older outbuildings. A one-story, gable-roofed board-and-batten-sided feed shed stands immediately south of the silo. A one-story addition with corrugated shed roof and siding has been appended to the feed shed's south elevation. On the west side of the southward-leading lane, opposite the silo and feed shed, stands a one-story gable-roofed tractor shed with a shed-roofed extension on its south elevation. Corrugated-metal siding covers its walls and roof. West of the tractor shed is a similarly sized calf shed. The calf shed's gable roof is parallel to the west-leading farmyard lane, while the tractor shed's roof is perpendicular to the lane. A one-story, shed-roofed corncrib featuring concrete piers and horizontal battens with wire screening stands west of the calf shed. A large one-



PLATE 7: W. Wilson Farm Dwelling (N-1166), East Elevation

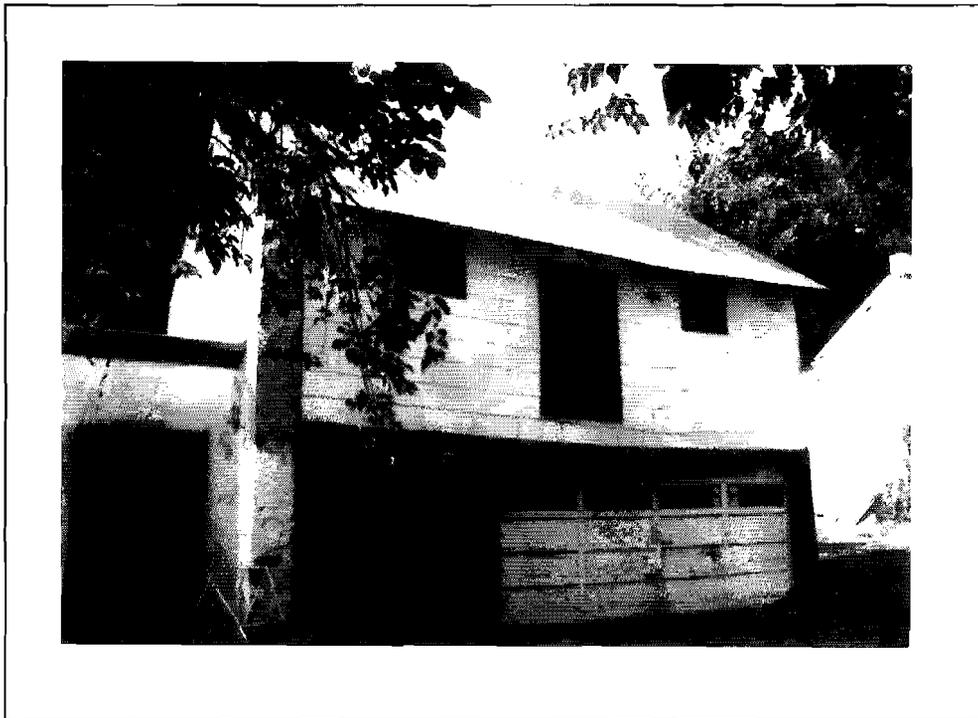


PLATE 8: W. Wilson Farm Carriage House (N-1166), West and South Elevations



PLATE 9: W. Wilson Farm Sheds (N-1166), West and South Elevations



PLATE 10: Star of Bethel I.O.O.F. Lodge No. 19 (N-1229), South and East Elevations

story, gable-roofed hay barn and stable forms the western perimeter of the main farmyard. Corrugated metal composes the roofing material and most of the exterior walling. Horizontal wooden planks help to form the west elevation and an apron wall overlapping the concrete foundation. Modern roof trusses compose the roof framing. A one-story, ell-shaped cattle shed with corrugated-metal shed roof and siding, and a two-story gable-roofed, concrete-block tool shed, with shed-roofed wings on its west and east elevations, stand on the north side of the west-leading lane opposite the tractor shed, calf shed, crib, and barn.

Although the property is identified on the 1983 New Castle County survey form as the W. Wilson Farm, a comparison of deed transactions and map and atlas views indicates that the property belonged to the Day family for much of the nineteenth century. Francis and Eleanor Jester, who sold the property to the State of Delaware in the 1970s (NCCRD Liber A89 Folio 214), acquired the property from Philip and Edna Cohen in 1953 (NCCRD Liber 153 Folio 42). The Cohens purchased the property from Joseph and Ada Day in 1949 (NCCRD Liber R49 Folio 57). “Tho. Day” and “Thos. R. Day 104A [acres]” appear as the owner of the property on map and atlas views in 1868 (Beers 1868) and 1881 (Hopkins 1881) respectively. Although a name does not appear next to the house on an 1893 map, “Thos. R. Day” is listed beside a building located due west of the subject property on the east side of Shipley Road, a principal north-south road in New Castle County during the late nineteenth century (Baist 1893). Deed transactions in 1939 describe the Day property as extending to Shipley Road, and thus the building shown along Grubb Road on the 1893 atlas probably composed part of Thomas Day’s landholdings. “R. Johnson” owned the property in 1849 (Rea and Price 1849). The earlier portion of the house was probably erected by Johnson between 1812 and 1849. The Johnson surname does not appear on an 1812 list of Brandywine Hundred voters, indicating that the family arrived after that date (Scharf 1888:903). The Day family probably erected the later portion of the farmhouse.

The attempt to combine the two structures into a coherent architectural statement was unsuccessful. As a result, neither the combined structure nor the individual components embodies the distinctive characteristics of a particular type, period, or method of construction. The filling in of window and door openings in the west and north elevations of the earlier structure, and the removal of porches on its south and north elevations, limit the ability of that portion of the house to reflect the period of its construction. Evidence indicates that new layers of stucco have been applied over window surround treatments. The late nineteenth-century addition further altered the earlier building’s integrity of design, feeling, workmanship, and association. The associated outbuildings also possess poor integrity. The older agricultural buildings lining the east side of the southern farm lane exhibit various degrees of disrepair and collapse. The former carriage house experienced extensive alterations during its conversion into a garage. Collectively, the house and farm buildings do not possess sufficient integrity of materials, association, workmanship, feeling, and design to reflect a nineteenth-century agricultural complex. The intrusion of the modern agricultural outbuildings further limits the ability of the complex to reflect its historical appearance. Additional research has not shown that the Day or Johnson family contributed significantly to the broad patterns of Brandywine Hundred’s or the county’s history, or that they were associated with events or persons important to the past. The farmhouse and outbuildings are not expected to provide information important to the understanding of history. Thus the W. Wilson Farm does not appear to meet National Register significance and integrity criteria.

Star of Bethel I.O.O.F. Lodge No. 19 (N-1229)

Formerly documented during New Castle County’s 1983 survey effort, the Star of Bethel International Order of Odd Fellows (I.O.O.F.) Lodge No. 19 stands on the northwest corner of Grubb Road’s intersection with Marsh Road at 2201 Grubb Road (Plate 10). The Village of Arden National Register-listed historic district spreads north and south of the intersection on the east side of Marsh Road. A modern pizza shop occupies

the southwest corner of the intersection. Post-1950 residential houses compose the predominant building type north of the lodge. The western portion of the lodge's property features an asphalt parking lot. Mature trees encircle the property on its northern and western boundaries. A lane for southbound Marsh Road traffic turning onto westbound Grubb Road arcs within roughly 4.5 meters (15 feet) of the building's southeast corner. An old gas pump stands sentinel on the corner, documenting one of the property's earlier commercial activities.

The stuccoed-stone lodge building features three stories topped by an asphalt-shingled gable roof. Five bays penetrate its main, southeast elevation and four bays occupy its southwest gable end. The northeast gable has only two bays across its upper stories. Partial returns and a molded boxed cornice ornament the gable pediments and eaves. An exterior, stuccoed chimney pile rises along the northeast gable end. The southeast elevation displays a nearly full-width, shed-roofed porch across its first story. Five chamfered posts set atop a new plank deck and joined by modern wooden balustrades carry the porch's two-by-four rafters. A modern wooden-plank wheelchair-accessible ramp connects to the south side of the porch deck. A seam in the stucco between the southeast elevation's southern bay and the four northern bays delimits the original building erected in 1853 and an 1856 addition. The four symmetrically spaced northern bays, and one bay of the northeast elevation, comprise the original three-story structure. A modern two-bay-wide by two-bay-deep one-story shed-roofed addition has been appended to the north end of the northwest elevation. Commercial space occupies the first story. The second and third stories feature banquet facilities and ceremonial space, respectively. Although the commercial area has undergone alterations, the upper stories, especially the ceremonial meeting areas, retain much of their historic fabric (Cesna, personal communication 1999).

Most of the building's fenestral openings contain single or paired one-over-one aluminum sash with aluminized surrounds. A modern steel door occupying the southern of the southeast elevation's openings provides entry to the upper-story lodge space and displays a list of the lodges using the facility: "FLT, Star of Bethel Hall, I.O.O.F.; Delaware I.O.O.F. No. 1; Delaware L.A.P.M. No.1; Mutual Encampment No. 1; Mutual L.E.A. No. 1; Queen Esther Rebekah No. 5; Florence H. Bailey Rebekah No. 13." The first-story store entrance features a modern three-panel wooden door with a large upper light. Door openings occupy two of the southwest elevation's unevenly spaced bays. Paired wooden five-panel doors with a crown molding lintel occupy the eastern bay. This entry formerly provided access to the upper-story lodge spaces. Due to the proximity of the entrance to vehicular traffic along Grubb Road, the lodge members closed this entry and now utilize a new entrance on the southeast elevation containing the steel door (Walker, personal communication 1999). A stone plaque set immediately to the east of the closed entrance proclaims "Star of Bethel Lodge., No. 19 I.O. of O.F. of Del., 1856." A single five-panel wooden door without crown molding occupies the second door opening in the southwest elevation.

The Star of Bethel I.O.O.F. Lodge No. 19 helps to document the Grubbs Corners area's growth as an agricultural crossroads community and center of rural commerce. The lodge building, possibly the oldest continuously used I.O.O.F. lodge in the state, also helps to document the Odd Fellows' persistence in Brandywine Hundred since the late 1840s. As settlement of Brandywine Hundred intensified during the late eighteenth and early nineteenth centuries, its residents began to establish commercial and community organizations such as mills, shops, and schools. Grubbs Corners earned its name during this period from its association with the gristmill located just north of the Grubb and Marsh roads intersection along the South Branch of Naamans Creek, and the Grubb shops located on the southwest corner of the intersection. Area residents established two schools along Naamans Road by 1810, including one at Hanby's Corner, at the intersection of Marsh and Naamans Road (Cunningham et al. 1986). The mill and shops at Grubbs Corners and the school at Hanby's Corner all appear on an 1849 map of the area (Rea and Price 1849). Further commercial activities at the crossroads included a blacksmith shop north of the Odd Fellows lodge during the mid-nineteenth century. The blacksmith shop appears on an 1868 atlas view of the area (Beers 1868).

The establishment of the Odd Fellows lodge at Grubbs Corners was part of and contributed to the development of the hamlet and the surrounding agricultural community during the late nineteenth century.

One of the world's oldest fraternal organizations, the International Order of Odd Fellows in the United States traces its roots to the establishment of an Odd Fellows lodge in Baltimore in 1819 by five English immigrants. The Odd Fellows originally began in England during the 1740s as a mutual aid and charitable relief society for itinerant odd-jobbing men and their families. The early lodges established in the United States were typically begun by immigrants who had been members of lodges in England. Odd Fellows lodges were established in Massachusetts in 1820 and in New York the following year. By 1833 more than 100 Odd Fellows lodges, with over 6,000 members, had been established in eight states. A parade held to celebrate Odd Fellows Day at the Centennial Exposition in Philadelphia in September 1876 featured over 17,000 marching members. Between 1830 and 1850 the Odd Fellows distributed more than \$31 million in aid and relief to members and members' widows (Irons 1925:9-67).

Delaware's first lodge was organized in Wilmington in 1830 (Walker, personal communication 1999). Within 10 years, nine additional Odd Fellows lodges had been established in Delaware, in Wilmington, Georgetown, Smyrna, Dover, Middletown, and Milford. A statewide Grand Lodge was created in 1833. By 1850 Delaware contained 23 lodges, with nearly 2,000 members. In 1873 the state had 32 lodges and nearly 2,700 members (Conrad 1908:443). Shortly after the beginning of the twentieth century, still with 32 lodges in the state, there were more than 3,000 members, who contributed over \$17,000 in one year to the relief of sick members and members' widows and children, and to the burial of deceased members (Grand Lodge of Delaware 1911:5677). In the late 1920s, the state still had only 32 lodges but boasted nearly 5,000 members (Grand Lodge of Delaware 1928:32, 37). Roughly 45 lodges were active at the height of Odd Fellowship in Delaware (Walker, personal communication 1999).

Star of Bethel first organized in 1849 as the nineteenth I.O.O.F. lodge in Delaware at the home of John Foulk on Naamans Road. Among the 11 members who established the lodge were many of the Grubb Road area's landowners, including Foulk, Samuel Hanby, Isaac N. Grubb, and Samuel L. Grubb. A portion of the present lodge was erected at Grubbs Corners in 1853 (Scharf 1888:910). The original lodge consisted of the eastern four bays of the three-story building's main elevation and extended one room deep, encompassing the southern bay of the east gable end. Three years later, the lodge members expanded the facility to its present configuration by adding one bay to the west end of the lodge and an additional two bays to its depth. In order to help defray the cost of the lodge's construction, the members designed the building to contain commercial space on its first story while the lodge's activities were confined to the upper stories. The enlargement thus enabled the lodge to handle larger meetings, doubling its third-floor ceremonial meeting room, as well as increasing the amount of commercial space to be leased (Shields 1979). The lodge's datestone reflects the year of the physical expansion of the structure, in 1856. Thirty years later, the Bethel lodge had 40 members (Scharf 1888:910). By 1905 it had 50 members (Conrad 1908:443). In 1911 the lodge had 66 members, and by 1928 it had over 140 members (Grand Lodge of Delaware 1911:5730, 1928:37). Star of Bethel today stands as the oldest continuously used I.O.O.F. lodge in New Castle County (Cesna, personal communication 1999).

The lodge building's importance to the local community is reflected in its continual use by mutual assistance organizations and as a commercial center. The Knights of Pythias established a lodge at Bethel in 1868. Helping to found the Pythian lodge were numerous area property owners who appear on late nineteenth-century map and atlas views of the Grubb Road vicinity, including James Leach, Edward Pierce, Uriel Pierce, and Thomas Phillips. Phillips began operating a general merchandise store in the lodge's first-story commercial space starting in 1882. Phillips also ran the Grubbs Corners post office from the store beginning in 1884 (Scharf 1888:907). The Pythians boasted 50 members in 1887. Bethel also served as the home to

Red Men, Good Templars, and a Grange of the Patrons of Husbandry during the nineteenth century (Scharf 1888:910). An antique store operated out of the commercial space in the late 1970s (Shields 1979). The first story of the lodge now houses a manicurist and a hairdresser. In 1996, Delaware Lodge No. 1 merged with the Star of Bethel lodge (Walker, personal communication 1999). Five additional branches of the I.O.O.F. and its women's encampments, as well as the founding Star of Bethel Lodge No. 19, now use the lodge as their home.

Reflecting these broad patterns of history in contributing to the establishment of Odd Fellowship in Delaware and to Grubbs Corners' development during the nineteenth and early twentieth century, the Star of Bethel I.O.O.F. Lodge No. 19 is recommended as eligible for listing in the National Register of Historic Places under Criterion A, for its associations with significant broad patterns of history. Documenting settlement patterns and rural commercial enterprises in Brandywine Hundred during the period 1853 to 1950, the Star of Bethel I.O.O.F. Lodge No. 19 possesses integrity of location, design, association, and feeling. Recognizing its "significant historical value," the New Castle County Department of Planning zoned the lodge and its property as historic in 1979 (Shields 1979). Proposed National Register boundaries encompass the entire current tax parcel (06-045.00-033). These boundaries are coterminous with the New Castle County Historic Zoning Boundary established in 1979 and enclose the lodge building and its historic lot.

Remodelings of the lodge's historic fabric have altered the building's historical appearance. The lodge does not possess sufficient integrity of materials and workmanship to meet National Register criteria for eligibility as a noteworthy example of an architectural style, type, or method of construction. Although established by several early Brandywine Hundred families, research has not shown that the lodge is related to important persons or events contributing significantly to history. The lodge is not likely to provide information important to the understanding of history. The Star of Bethel I.O.O.F. Lodge No. 19 does not appear to meet National Register significance and integrity criteria for eligibility under Criterion B, C, or D.

S. Hanby House (N-9412)

Previously documented by New Castle County in 1983, the S. Hanby House stands approximately 30 meters (100 feet) north of Grubb Road on a roughly 0.7-hectare (1.78-acre) parcel containing grass and scattered mature trees, at 2727 Grubb Road (Plate 11). A one-story frame former milkhouse stands roughly six meters (20 feet) north of the house. The stone foundation ruins of a former bank barn lie about 15 meters (50 feet) further north of the milkhouse. A swimming pool has been installed inside the barn ruins. A six-bay-wide shed appended to the southwestern exterior of the barn's walls contains garage and storage space. An asphalt driveway leads from Grubb Road along the west side of the dwelling and milkhouse to a parking area adjacent to the south side of the barn.

The dwelling features a two-story, gable-roofed ell plan with a two-story hipped-roof addition in the northeastern ell, and a nearly full-width, one-story shed-roofed addition along its northeast elevation. The earliest portion of the building consists of the two-bay-wide by two-bay-deep portion of the rear northwestern ell. A shed-roofed porch composed of a window and a wooden door with nine lights shades the earlier structure's first story. The symmetrical three-bay-wide by two-bay-deep southwestern portion was appended to the earlier structure around 1891 to create the two-story ell plan. A one-story porch also once wrapped around the southwest and northwest elevations, further unifying the two structures, but it had been removed prior to 1983 (Robertson, personal communication 1999). A chamfered pilaster that once supported the wraparound porch is still attached to the southwest elevation's east end. A one-story pent now shades much of the southwest elevation's first story. A one-story, gable-roofed vestibule punctuates the elevation's central bay. The vestibule has a cantilevered pediment entry hood protecting a modern six-panel wooden door, and a small wooden deck with balustrades. The one-story northeastern addition was appended in the late 1930s



PLATE 11: S. Hanby House (N-9412), Southwest and Southeast Elevations

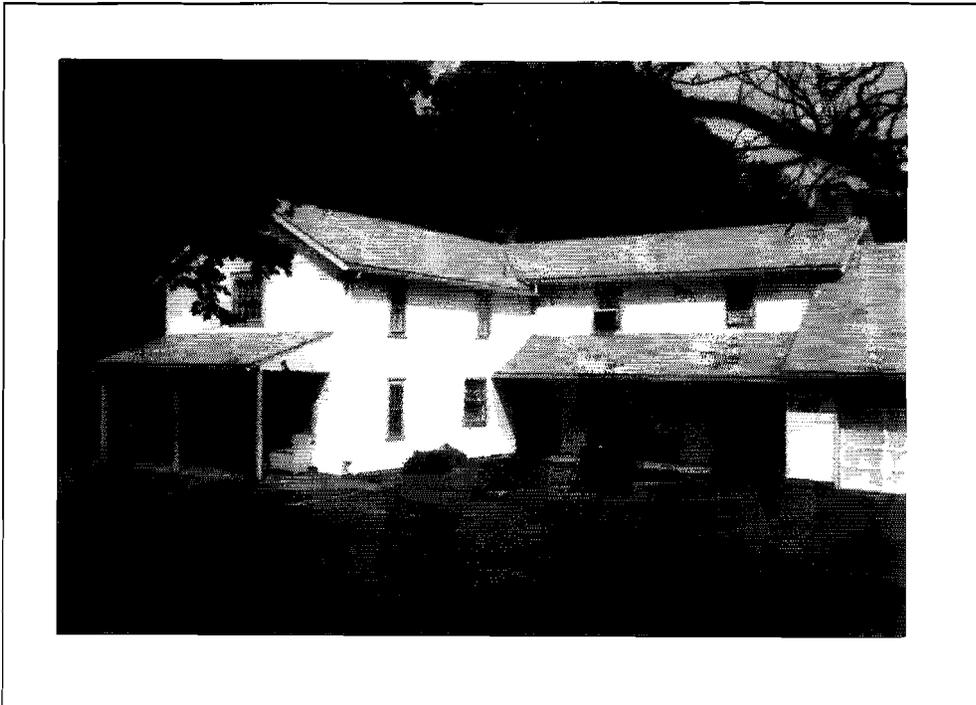


PLATE 12: 2619 Grubb Road (N-9454), Northwest and Southwest Elevations

(Robertson, personal communication 1999). A gable-roofed entry hood protects a three-panel door with three lights in the addition's northwest elevation. Asphalt shingles cover the roof surfaces and asbestos siding sheathes the exterior walls. Stuccoed fieldstone composes the foundation for most of the building. Interior corbeled chimney piles penetrate each gable end peak. Two-over-two wooden sash and one-over-one aluminum sash compose the predominant window type.

A building appears at or near this location on an 1849 map of the county bearing the name "J.C. Pierce" (Rea and Price 1849). This structure probably relates to the two-bay-wide northern wing. An 1868 atlas depicts "S. Hanby" as the owner (Beers 1868). Harvey Clark purchased the property in 1871 and operated a dairy farm at this location into the early twentieth century (NCC CRS N-9412). According to the present owner, the Clark family appended the three-bay-wide main south elevation of the house to the earlier portion around 1891 (Robertson, personal communication 1999). "H. Clark" appears beside a building at the present location on 1881 and 1893 maps of the area (Baist 1893; Hopkins 1881).

Although participating in Brandywine Hundred's broad agricultural trends of the late nineteenth and early twentieth centuries, the Hanby House has experienced a great deal of remodeling that impairs its ability to reflect its use as a farm dwelling during that period. Replacement windows, modern siding, and entry vestibule out of character with the building's historical appearance, and a relatively modern rear addition, limit the resource's integrity of materials, workmanship, feeling, association, and design. The Hanby House thus does not embody the noteworthy characteristics of a particular architectural style, type, or method of construction. The surviving milk shed and bank barn ruins do not permit the property to reflect its past use as a dairy farm. Research has not uncovered any additional associations with significant persons, events, or broad patterns of history. The house and outbuildings are not expected to provide information important to the understanding of history. As a result, the S. Hanby House does not meet National Register significance and integrity criteria.

2619 Grubb Road (N-9454)

Documented by the 1983 New Castle County survey, the house at 2619 Grubb Road stands roughly 25 meters (75 feet) north of Grub Road across from its intersection with Fair Wood Lane. The house sits on a 1.1-hectare (2.8-acre) lot composed of grass and mature trees. An asphalt drive leads northwest to the house and its attached garage. A stone retaining wall encloses a small creek that meanders from northwest to southeast across the northern portion of the property. A small gable-roofed shed stands near the creek, northwest of the house.

The building at 2619 Grubb Road features three periods of construction connected to form a truncated C-plan (Plate 12). The earliest part of the house, formerly a barn, consists of the northern two-story, two-bay-wide by two-bay-deep portion, featuring a nearly full-width shed-roofed porch along its northwest gable end. A two-story, two-bay-wide ell has been appended to the earlier structure's southern corner. A later one-story gable-roofed, two-car garage overlaps the ell's southwest gable, completing the truncated C-plan. A one-story shed-roofed porch extends along the ell's northwest elevation, joining the earlier structure and the garage. Asphalt shingles cover the roofs and aluminum siding sheathes the exterior walls. An exterior stone chimney pile occupies the original structure's southeast gable end. An interior brick chimney pile penetrates the southwest gable of the ell.

The earlier building's northwest gable end features an off-center wooden door with four lights crowned by a drip molding, and a slender four-over-four wooden sash unit, also with a drip molding. Seams in the building's aluminum siding indicate that a third fenestral opening has been covered with siding. Four square wooden posts atop a concrete pad support the porch roof. A centrally located eight-over-eight wooden sash

unit penetrates the gable end's second story. Windows primarily contain either four-over-four, six-over-six, or eight-over-eight wooden sash. A modern two-panel wooden door with four lights provides entry into the ell through its northwest elevation under the porch. The garage features a four-panel wooden door on its southwest elevation.

The earliest portion of the present dwelling was erected as a barn circa 1925 according to the 1983 CRS survey form. The present owners, Paul and Beverly Holmes, acquired the property and barn in 1945 and intended to build a dwelling (NCCRD Liber Q45 Folio 432). The Holmeses instead improved the barn to serve as a residence, and added the southern wing and the garage in the 1960s (NCC CRS N-9454). Additional research has not identified any associations with broad patterns, events, or persons significant in the past. The house does not embody the distinctive characteristics of a particular architectural style, type, or method of construction. The house is also not likely to yield information important to the study of history. Therefore, the dwelling does not meet National Register significance criteria.

2738 Grubb Road (N-9456)

Another resource previously documented by the 1983 New Castle county survey, the Four-square house at 2738 Grubb Road, stands along the south side of the road just east of a point where Grubb Road turns sharply northwestward as it approaches Naamans Road (Plate 13). Suburban development occupies both sides of Grubb Road east and west of the dwelling. Hedges line the Grubb Road frontage of the house and small grass lawns stretch north, west, and south of the dwelling. An asphalt driveway leads southward from Grubb Road past the east side of the house to a one-story garage located about nine meters (30 feet) southwest of the house.

The house at 2738 Grubb Road stands two and one-half stories tall and has a pyramidal roof punctuated by a centrally located hipped-roof dormer on each slope. Two symmetrically spaced bays penetrate its main, northeast elevation; three bays pierce the dwelling's side elevations. Rough-coursed stone composes the first story of the dwelling, while the second story has been sheathed in light blue vinyl siding. Asphalt shingles cover the side elevations of the dormers. Aluminum covers the broad, extended eaves. Interior brick chimney piles penetrate the northwest and the southwest slopes of the roof. The main elevation features a full-width hipped-roof porch supported by battered posts set atop a brick deck underlaid with a stone foundation. A full-length, shed-roofed enclosed porch occupies the southwest elevation's first story. The northwest elevation contains a central enclosed porch three bays wide by one bay deep.

A two-panel wooden door with a single large rectangular upper light occupies the eastern of the two bays on the northwest elevation of the first-story. Sidelights with two lower wooden panels and upper glazing flank both sides of the door. Three aluminum-framed casement windows occupy the first story's other opening. The second-story fenestration and the dormer have one-over-one wooden sash. The second-story windows also feature plastic shutters. The southeast elevation has four-light casement windows in its middle first- and second-story fenestral openings. Three-light awning windows flank a centered five-panel door penetrating the basement level. The southwest elevation's enclosed porch exhibits wood-framed sliding doors.

Although the dwelling reflects attributes of the Four-square house, a relatively common early twentieth-century residential architectural style, replacement of original fabric and additions unsympathetic to the building's historical appearance diminish the structure's ability to embody the distinctive characteristics of the Four-square style. According to the present owner, the house was originally built in 1917 by William Barlow, a farmer (NCC CRS N-9456). Vinyl siding on both the house and garage, the addition of the full-length rear porch in place of a smaller shed-roofed porch shown on the 1983 CRS survey form, the



PLATE 13: 2738 Grubb Road (N-9456), Southeast and Northeast Elevations



PLATE 14: 2411 Grubb Road (N-9471), Southwest and Southeast Elevations

aluminized cornice, and the large pool and its landscaped surrounding grounds limit the ability of the house to reflect its historical appearance. Possessing poor integrity of materials, feeling, setting, and design, the house does not meet National Register integrity criteria under Criterion C, as embodying distinctive characteristics of a particular architectural style, type, or method of construction. Additional research has not identified any associations with important individuals, events, or broad patterns contributing to history. The house is also not expected to provide information important to the understanding of history. The house at 2738 Grubb Road therefore does not meet National Register significance and integrity eligibility criteria.

2411 Grubb Road (N-9471)

Also first documented by the 1983 New Castle County survey, the house at 2411 Grubb Road stands just 4.5 meters (15 feet) north of the road, nearly opposite Grubb Road's intersection with Floral Drive (Plate 14). The dwelling is situated at the front of a 0.5-hectare (1.35-acre) lot primarily composed of mature trees and patches of lawn. An associated one-story, gable-roofed modern shed lies roughly 15 meters (50 feet) northwest of the house. A gravel drive leads from Grubb Road past the southeast side of the house.

The house at 2411 Grubb Road consists of a two-story gable-roofed ell-plan with vinyl siding, aluminum-covered cornice and soffits, asphalt-shingle roofing, and a stuccoed foundation, and on the northwest elevation of the ell, an exterior stone chimney pile. A one-story gable-roofed vestibule occupies the center of the main southwest elevation's evenly spaced three bays. A metal panel door provides entry through the vestibule's southeast elevation. The southeast elevation of the ell also displays a metal panel door. The southeast gable end has one bay and the northwest elevation has two bays, one in the gable and one in the ell. One-over-one vinyl-clad windows occupy most of the fenestral openings. Octagonal louvered vents penetrate the main gable roof peaks.

The owners of 2411 Grubb Road in 1983, the Hubers, informed the surveyor that they had lived in the house since 1920 and that the house had been purchased from the Talleys (NCC CRS N-9471). Deed transactions indicate that Peter and Elizabeth Huber acquired the property from the estate of Lewis F. Talley in 1931 (NCCRD Liber 137 Folio 543). They most likely leased the property between 1920 and 1931. Two late nineteenth-century maps depict a building at this location belonging to "L.F. Talley" and "L. Talley" (Baist 1893; Hopkins 1881). An 1868 atlas view shows a building at this location owned by "I.N. Grubb" (Beers 1868). Isaac N. Grubb sold two parcels consisting of one acre and 144 square perches in 1869 and 1879, respectively, to Talley (NCCRD Liber W8 Folio 164, Liber N12 Folio 66). Grubb probably erected the house sometime after acquiring the two lots containing the present property in 1858 from Adam Grubb (NCCRD Liber C7 Folio 442). A building does not appear at this location on an 1849 map view of the county. "A. [Adam] Grubb" appears as the owner of a building further east along the north side of Grubb Road near Grubbs Corners (Rea and Price 1849).

Although Isaac N. Grubb participated in the Star of Bethel I.O.O.F. lodge's establishment in 1849, and the Grubb family contributed to the Grubb Road area's early development during the eighteenth and nineteenth centuries, the exact relationship between Isaac Grubb and the house at 2411 Grubb Road is unclear. Isaac Grubb's name appears adjacent to a number of other buildings in the area on late nineteenth-century maps. An 1868 atlas describes a building on the south side of Grubb Road east of the subject house as belonging to "I.N. Grubb" (Beers 1868). An 1881 map view labels this second building along the south side of Grubb Road as the "Isaac N. Grubb Res. [residence]" (Hopkins 1881). Grubb may have erected the house at 2411 Grubb Road as a speculative property, or as a tenant house, and rented out the associated acreage. Twelve years later, Grubb probably resided in a third house, located north of Grubb Road, shown on an 1893 atlas view as nearly opposite his 1881 residence (Baist 1893). Grubb is also shown as the owner of this building in 1881 (Hopkins 1881). He is no longer shown as the owner of the building on the south side of Grubb

Road in 1893. Adam Grubb is depicted as the owner of this third building on 1849 and 1868 views (Beers 1868; Rea and Price 1849). The location of this third building relates closely to a building documented in the 1970s as N-1527 and described as the “Grubb Homestead,” which has since been destroyed (DESHPO CRS N-1527).

Despite its possible relationship with Isaac Grubb, the house at 2411 Grubb Road has been severely altered and no longer reflects its historical appearance. The appending of the entry vestibule, the application of vinyl siding and aluminum trim, and the replacement of original sash with vinyl-clad windows all diminish the house’s ability to convey the period of its construction and its relationship with Isaac N. Grubb. The house possesses poor integrity of materials, workmanship, feeling, design, and association, and thus does not meet National Register integrity criteria for its historical association with Isaac N. Grubb or as the embodiment of the distinctive characteristics of a particular architectural style, type, or method of construction. Additional research has not identified any significant associations between Talley or the Hubers and individuals, events, or broad patterns contributing to history. The house is not expected to provide any information important to the understanding of history. As a result, the house at 2411 Grubb does not meet National Register significance and integrity criteria.

Grubb Road Bridge over South Branch Naamans Creek (N-12538)

The current Grubb Road Bridge over the South Branch of Naamans Creek consists of a single-span, rigid-frame concrete structure with stone veneer parapets capped with concrete (Plate 15). A builder’s plate set into the northern face of the western side of the southern parapet states that construction of the bridge, Bridge No. 38, occurred in 1931 under the auspices of the New Castle County Levy Court. The same builder’s plate appeared on a bridge at this location that was documented on DESHPO CRS form N-12538 in 1990. The bridge documented in 1990 had a concrete post and rail balustrade and consisted of six concrete-encased steel girders atop concrete abutments and U-shaped wing walls. A corbeled band separated the concrete fascia and the balustrade. The form also described the bridge as “deteriorated” and did not consider it to be a good, representative example of concrete-encased steel girder bridge construction (DESHPO CRS N-12538).

DeIDOT documents indicate that the bridge erected over Naamans Creek at this site in 1931 and documented in 1990 was replaced by the current span in 1994. DeIDOT awarded the construction firm Greggo & Ferrara a contract to replace Bridge No. 38, a concrete and steel span, with a 25-foot-long, concrete rigid-frame single-span bridge in July of that year at a cost of \$288,380.32. Greggo & Ferrara probably completed the replacement of the bridge in the fall of 1994 (Hahn, personal communication 1999).

Except for the reuse of the builder’s plate, the current bridge over the South Branch of Naamans Creek does not relate to the 1931 bridge at this site. Nor does the current bridge meet the National Register’s 50-year age threshold. The Grubb Road Bridge therefore does not meet National Register eligibility criteria.

Earle and Helen Kirkley House (N-13767)

Newly documented by this survey, the Earle and Helen Kirkley House stands on the north side of Grubb Road at 2741 Grubb adjacent to a sharp curve to the northwest that Grubb Road makes as it approaches Naamans Road from the east. The house sits on a roughly 0.8-hectare (2-acre) lot containing mature pine trees and lawn (Plate 16). Post-1950 suburban development composes the predominant building stock along both sides of Grubb Road east and west of the house. The property also contains a one-story gable-roofed garage, located about 4.5 meters (15 feet) northeast of the house at the end of an asphalt driveway leading from Grubb Road past the house’s southeast elevation. Before ending at the garage, a fork in the driveway leads northwestward, curving around the dwelling and continuing southwestward along the western property

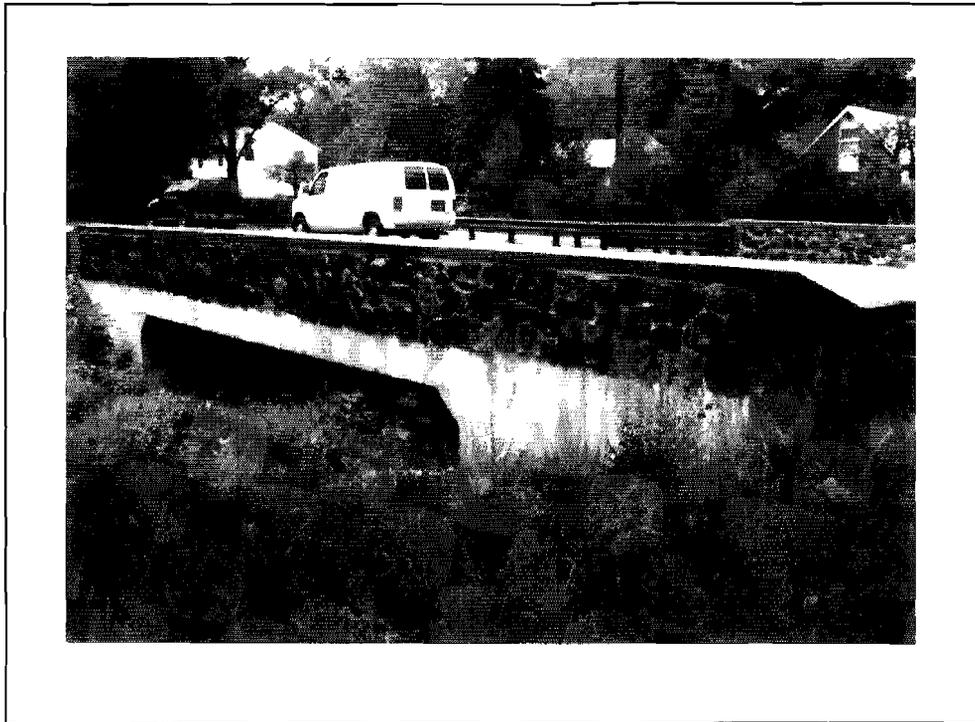


PLATE 15: Grubb Road Bridge over South Branch of Naamans Creek (N-12538), West Elevation



PLATE 16: Earle and Helen Kirkley House (N-13767), Southwest and Southeast Elevations

line until rejoining Grubb Road. A modern one-story gable-roofed shed stands roughly 7.5 meters (25 feet) northwest of the dwelling.

The Kirkley House consists of a one-and-one-half-story gambrel-roofed building in an overall rectangular plan. The building's southwestern portion has three bays across its main elevation and one bay on its end elevations. A one-story, gable-roofed entry porch over the center opening protects a six-panel wooden door with five-light sidelights. Paired, fluted aluminized columns support the porch's pediment. The two-bay-deep by three-bay-wide rear wing has a cross-gambrel roof with shed-roofed dormers extending the full width of its southeast and northwest elevations. The peaks of the main and rear gambrels are clipped. A one-story shed-roofed addition in the center of the wing's northeast elevations contains an enclosed vestibule. An exterior brick chimney pile rises along the southeast elevation. A concrete-block foundation undergirds the house. White vinyl german siding covers its exterior walls. The dwelling's cornice, partial returns, and extended eaves have been covered with aluminum. Most of the windows contain single or paired six-over-six aluminum sash. The wing's second-story northeast elevation displays an eight-over-eight aluminum sash unit with a lunette head. An aluminum-framed lunette also penetrates the southwest elevation's gambrel pediment.

Comparison of the architectural style of the house with deed transactions indicates that construction of the house probably occurred shortly after Earle and Helen Kirkley acquired a 13.09-acre portion of a much larger tract in 1938. The house reflects the Dutch Colonial Revival style popular during the early to mid-twentieth century. However, the building displays numerous alterations to its historic fabric that diminish its ability to compose a distinctive example of Dutch Colonial Revival architecture. Vinyl siding has been applied over its wall surfaces and aluminum trim has been applied to the cornice, partial returns, eaves, and soffits. Aluminum-replacement sash occupy most of the window openings. The house does not reflect the distinctive characteristics of the Dutch Colonial Revival style. Research has not identified any relationships to persons, events, or broad patterns that contributed greatly to the area's historical development. The house is not likely to provide information important to the study of history. The Kirkley House does not meet National Register eligibility criteria.

Barlow House (N-13768)

Also newly identified by this survey, the Barlow House stands on the west side of an asphalt driveway approximately 30 meters (100 feet) south of Grubb Road, at 2728 Grubb Road (Plate 17). Mature pine and cedar trees line the driveway and shade the house from passing vehicles on Grubb Road. Modern suburban single-family dwellings compose the predominant building stock along both sides of Grubb Road adjacent to the Barlow House. The property also features a one-story frame shed, a one-story two-car garage, and a one-story former milkhouse. The three ancillary buildings surround an oval drive located at the end of the main driveway a short distance west of the house.

The Barlow House consists of a two-and-one-half-story Four-square building with one-story wings appended to its west elevation. A full-width hipped-roof porch supported by three wooden columns atop a concrete pad protects the main, east elevation's symmetrically spaced two bays. Paired three-over-one wooden sash units with a rowlock sill and jack-arch lintel occupy the northern of the two bays. The southern of the two bays displays a one-panel wooden door with a large light and flanking sidelights. Standing-seam metal covers the porch's roof. Slate shingles sheathe the building's main pyramidal roof. Hipped-roof dormers sided with slate occupy the pyramidal roof's slopes. Paired three-over-one wooden sash occupy the dormer. The main elevation's second story exhibits single three-over-one sash. Brick laid in seven-to-one common bond on the first story and nine-to-one common bond on the upper portion of the elevations composes the wall massing. A stone foundation undergirds the house. An exterior brick chimney pile with a corbeled cap



PLATE 17: Barlow House (N-13768), East Elevation



PLATE 18: Stanley's Tavern (N-13769), Northeast and Northwest Elevations

rises along the house's three-bay-wide north elevation. Three bays also penetrate the south elevation. Single and paired three-over-one wooden sash compose the predominant window type on the north and south elevations. The north elevation also displays a three-light wooden casement.

The west elevation has a full-width hipped-roof wing with a two-bay-wide, one-story hipped-roof ell on its northwest corner. The wing features an enclosed porch on its south end. The weatherboarded ell encases the northern portion of the wing. A two-panel wooden door with nine upper lights occupies one of the fenestral openings protected under the former porch. A brick exterior chimney pile rises along the ell's west elevation. Six-over-nine vinyl sash flank the pile. A modern multipaned oriel occupies the center of the wing's north elevation.

A two-car garage stands roughly 15 meters west of the dwelling. The structure's wooden vertical rolling garage doors face south toward the oval drive. A six-over-six wooden sash unit and wooden crossbuck door with nine lights penetrate the garage's east elevation, facing the house. Concrete block composes the garage's walls. Its gable roof is sheathed with asphalt shingles. The garage sits on a concrete pad. Immediately west of the garage stands a small one-story gable-roofed shed featuring vertical plank siding and stone and brick piers. The shed's south elevation contains a four-panel wooden door and a six-over-six wooden sash unit. The east and north elevations have similar sash. An exterior brick chimney pile also occupies the east elevation. South of the garage on the opposite side of the oval drive stands a rectangular, concrete-block milkhouse with an asphalt-shingled gable roof pierced by an interior brick chimney pile in its northwest corner. Four bays composed of two-panel wooden doors with four upper lights alternating with six-over-six wooden sash penetrate the north elevation of the milkhouse, facing the oval drive.

A comparison of deed records with the building's Four-square architectural attributes, a style popular during the early twentieth century, suggests that construction of the present house probably occurred during William Barlow's tenure of a 107-acre tract of farmland located along the south side of Grubb Road. Barlow reportedly constructed the Four-square dwelling located at 2738 Grubb Road, a short distance west of the present house, in 1917 (NCC CRS N-9456). The exact relationship between these two buildings is not known, although one can speculate that William Barlow, or members of his extended family, erected the present house as living accommodations for a growing family. William Barlow acquired the property in 1908 (NCCRD Liber W21 Folio 105). Henry and Rebecca Barlow acquired the house from William Barlow in 1945 (NCCRD Liber W44 Folio 558). Despite its relatively good integrity, the modern addition on the dwelling's southern wing detracts from the ability of the house to reflect the distinctive characteristics of the Four-square architectural style. Research has not identified any significant associations with persons, events, or broad patterns contributing to history. The house is not likely to contribute to the study of history. Thus the Barlow House does not meet National Register significance criteria.

Stanley's Tavern (N-13769)

Stanley's Tavern, also newly identified during this survey, occupies the southeast corner of Grubb Road's intersection with Foulk Road (Plate 18). Foulk Road consists of dual lanes leading north and south separated at the intersection by a low concrete median, and composes a major north-south arterial in northern Brandywine Hundred. Mixed commercial and professional offices occupy each of the intersection's four corners. Further from the intersection, late twentieth-century suburban residences line both sides of Grubb and Foulk roads. Asphalt parking lots stretch southward from the tavern along the east side of Foulk Road.

The original portion of Stanley's Tavern consists of the two-story gable-roofed structure located nearest the intersection with its ridge parallel to Foulk Road. A one-story shed-roofed addition featuring vertical plywood siding on its exterior wraps around most of the building and completely obscures the structure's

original ground-level story. The upper stories of the building have been clad with aluminum siding. Four symmetrically spaced bays penetrate the second story of the northwest elevation facing Foulk Road and two bays occupy the southeast gable end's second story. Except for one of the northwest elevation's window openings which contains half of a double-hung sash unit with six-lights, all of the windows have been boarded shut on these two elevations. An exterior brick chimney pile occupies the east corner of the building. Asphalt shingles cover the gable roof. Stuccoed stone serves as the building's foundation.

A series of additions have been appended to the original structure, all since the early 1970s. A large one-story, gable-roofed wing has been appended to the original structure's southeast elevation, further obscuring the earlier building's form and fabric. A large rectangular two-story ell has been joined to the south end of the one-story wing. Additional one-story wings and ells have been appended to the two-story ell's southwest gable end. Together the buildings compose a nearly incomprehensible complex of structures. The additions all have aluminum siding on their walls and asphalt shingles on their roofs, similar to the original structure.

Construction of the original portion of Stanley's Tavern probably occurred shortly after Joseph and Olivia Megginson acquired a portion of a larger parcel in 1919 at the intersection of Grubb and Foulk roads (NCCRD Liber G28 Folio 240). Although both roads had been established relatively early in Brandywine Hundred's development, increased automobile use after World War I probably made the Grubb and Foulk roads intersection an attractive spot for a store. Neither commercial buildings nor any other buildings appear at the intersection on available nineteenth-century map and atlases. The state granted a liquor license to the address in 1935, a little more than a year after the end of Prohibition, and between 1935 and 1948 the tavern became known as "Bill's." Photographs of the tavern during the "Bill's" period displayed in the present tavern building by the current owners depict a gable-roofed, two-story, weatherboarded building with six-over-six wooden sash and a hipped-roof vestibule on its northwest elevation. The southwest gable end contained a one-story addition, one bay wide by one bay deep. Brackets ornamented the gable end's eaves. Stanley Minakowski acquired the tavern in 1947 (NCCRD Liber M47 Folio 281) and soon thereafter changed the name of the establishment to "Stanley's." Since the early 1970s a succession of corporate owners has retained the "Stanley's" name while simultaneously enlarging the original two-story gable-roofed tavern. Although most of the exterior walls of the original two-story building remain encased within the later additions, the original building's interior has been substantially remodeled and no longer reflects its historical appearance (Torpey, personal communication 1999). The modern additions appended to the original structure severely limit its integrity of design, setting, materials, workmanship, feeling, and association.

Research has not identified any significant associations with individuals, events, or broad patterns of history contributing to Brandywine Hundred's historical evolution. The building does not reflect the distinctive characteristics of a particular architectural style, type, or method of construction. The tavern is not expected to provide information important to the study of history. Therefore, Stanley's Tavern does not meet National Register significance and integrity criteria.

Mary Jane MacRostie House (N-13770)

The Mary Jane MacRostie House was also newly identified by this survey. The house stands along the north side of Grubb Road roughly 90 meters (300 feet) west of its intersection with Floral Drive. Large trees and heavy underbrush shade the house from view. A semicircular gravel driveway leads from Grubb Road to the main entrance of the house. A small, modern, one-story, gable-roofed frame shed stands along the east side of the driveway near its northern entrance onto Grubb Road. The rear portion of the lot contains large, mature trees, bushes, and dense ground cover. Two dwellings, both evaluated by this survey (N-13771 and N-9471), stand east of the MacRostie House on the north side of Grubb Road. An undeveloped lot composed

of mature trees and heavy underbrush occupies the south side of Grubb Road opposite the subject dwelling. East of the undeveloped lot on the south side of the road there is a modern suburban development.

The MacRostie House contains at least three periods of construction that together form an overall T-plan. The southwestern portion of the tee consists of a one-story rectangular structure with an asphalt-shingled gable roof perpendicular to Grubb Road, and probably forms the earliest section of the house. Construction of a smaller one-story, gable-roofed ell attached to its northwest elevation most likely occurred during the mid-twentieth century (Plate 19). The earlier structure's five-bay-wide southeast elevation displays two wooden doors with multiple lights, one-over-one wooden sash, and two two-light awning windows. Drip molding lintels crown most of the openings. One of the doors and double-hung window units pierce the wall above a small porch composed of a modern plank deck and wooden balustrade. An earlier brick stoop is visible underneath the deck. An additional window opening on the southeast elevation of the house, east of an exterior stone chimney pile, also contains a one-over-one wooden sash unit, but relates to the last period of the house's construction, which, judging from the large plate glass windows occupying its northeast and northwest elevations, was probably during the 1960s. The southwest gable end of the earlier structure features a stuccoed foundation, weatherboard siding, a wooden box cornice, and operable wooden shutters flanking the elevation's two one-over-one wooden sash. The northwestern wing has two bays on its southwest elevation, facing Grubb Road and the gravel drive. A large nine-light picture window occupies the northern of the two bays. The southern bay features a metal panel door with a small extended eave entry hood and a fluted pilaster and dentiled cornice lintel surround. A concrete-block foundation is visible under the northwest gable end.

According to the current owner, construction of the dwelling first occurred around 1920 (MacRostie, personal communication 1999). This date generally coincides with the form, materials, and finish of the southwestern portion of the house. The later additions severely affect the historical appearance of the house. Together, the three phases of construction do not reflect the distinctive characteristics of a particular architectural style, type, or method of construction. Research has not identified any associations with individuals, events, or broad patterns contributing significantly to Brandywine Hundred's development. The house is not likely to provide information useful to the study of history. The Mary Jane MacRostie House therefore does not meet National Register significance criteria.

Karl and Florence Huber House (N-13771)

The Karl and Florence Huber House stands on the east side of Grubb Road roughly 45 meters (150 feet) west of its intersection with Floral Drive, at 2415 Grubb Road. The Huber House was newly identified by this survey. Scattered trees and open lawn compose the property's associated yard. A one-story gable-roofed two-car garage stands approximately 15 meters (50 feet) northeast of the house at the end of a dirt and gravel drive leading from Grubb Road past the southeast gable end of the house. Late twentieth-century suburban developments spread east and south of the house on both sides of Grubb Road. The building immediately east of the Huber House has also been evaluated as part of this survey (N-9471). Two houses west of the Huber House stands a second building evaluated by this survey (N-13770).

The Huber House consists of a one-and-one-half-story, gable-roofed structure with four bays across its main southwest elevation facing Grubb Road and two bays on its southeast gable end (Plate 20). The dwelling has vinyl exterior siding, asphalt roof shingles, a stuccoed cinder-block foundation, and three symmetrically spaced gable dormers on its southwest slope. The first story's windows match the dormer's spacing. A six-panel wooden door set between the two northern windows and protected by a gable-roofed entry hood composes the elevation's fourth bay. Six-over-six wooden sash with aluminized surrounds occupy most of the elevation's window openings. Two one-over-one aluminum sash occupy the southeast gable end's first



PLATE 19: Mary Jane MacRostie House (N-13770), Southwest and Southeast Elevations



PLATE 20: Karl and Florence Huber House (N-13771), Southwest and Southeast Elevations

story. Paired one-over-one wooden sash pierce the gable's peak. A nearly full-width shed-roofed dormer crowns the rear northeast elevation. The dormer features three unevenly spaced bays and the first story has five fenestral openings, including an enclosed basement entry vestibule and a three-panel wooden door with four upper lights emptying onto a three-bay-wide modern wooden deck. Six-over-six and one-over-one wooden sash, and one-over-one aluminum sash occupy the northeast elevation's openings. The northwest gable end features six-over-six wooden sash in its two window openings.

The garage displays a large rectangular shed roof screened-in addition along its northwest elevation. Weatherboard siding and asphalt shingles cover the garage's walls and roof, respectively. Two pairs of board-and-batten double-leaf wooden doors provide vehicle access through the southwest gable end facing the house. One-over-one wooden sash occupy the other three elevations. A cinder-block foundation supports the garage.

The current owner informed the surveyor that construction of the dwelling occurred around 1940 (Tighe, personal communication 1999). Karl and Florence Huber probably erected the house shortly after they acquired the property in 1940 (NCCRD Liber D42 Folio 535). The house is a poor example of a common mid-twentieth-century residential housing style, the Cape Cod Cottage, and possesses poor integrity. As such, it does not embody the distinctive characteristics of a style, type, or method of construction. Research has not identified any associations with persons, events, or broad patterns making significant contributions to history. The house is not expected to contribute to the study of history. Thus the Karl and Florence Huber House does not meet National Register significance and integrity criteria.

Hymen Chavenson House (N-13772)

The Chavenson House, newly identified by this survey, is located on the south side of Grubb Road approximately 90 meters (300 feet) west of the intersection with Marsh Road, at 2212 Grubb Road. The dwelling sits on the front, northeastern portion of the lot, close to Grubb Road. Brick and stone bulkhead walls protect the house from road traffic. A slate walkway leads from a short asphalt driveway on the east side of the property to the house's main elevation and formal entry. A second entry penetrates the southeast gable end of the house. The rear yard of the house features scattered mature trees and a grass lawn. Three additional structures evaluated by this survey, including the Star of Bethel I.O.O.F. Lodge No. 19 (N-1229; the other two are N-13773 and N-13774), stand east of the house along both sides of Grubb Road. Late twentieth-century suburban developments stretch south, west, and north of the Chavenson House.

The original portion of the Chavenson House consists of the one-story gable-roofed northern section closest to Grubb Road (Plate 21). A large gable-roofed garage adjoins the house's southern corner but is set further back from Grubb Road than the house. The main dwelling features asphalt-shingle roofing, gray vinyl siding, a concrete foundation, an exterior brick chimney pile along its northwest gable end, and four bays along its northeastern, shed-roofed elevation facing Grubb Road. The shed-roofed section encloses an earlier central porch and new construction to either side. The elevation's two center openings contain a four-panel wooden door topped with a horizontal band of four lights and paired six-over-six wooden sash windows. A gable wall dormer featuring decorative shingles and a circular vent appear to crown the two bays. Single six-over-six wooden sash units flank the two center bays. The southeast gable end has four bays as well, while the northwest gable exhibits one window opening. Six-light wooden awning windows, single and paired six-over-six wooden sash, and one-over-one aluminum sash compose the majority of the dwelling's window stock. The southeast entry contains a three-panel wooden door with a band of three upper lights topped by a shed-roofed entry hood. The garage displays a large vertically rolling door on its northeast elevation and a small cupola on its roof peak. Vinyl siding and asphalt shingles cover its walls and roofs.

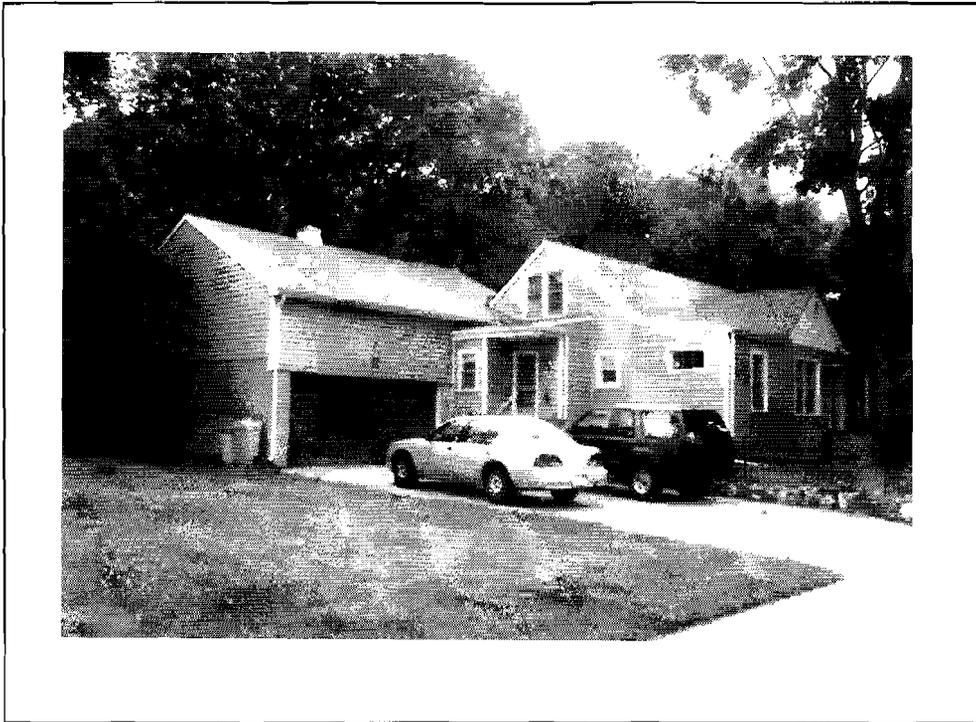


PLATE 21: Hymen Chavenson House (N-13772), Southeast and Northeast Elevations



PLATE 22: Wilmer and Margaret Talley House (N-13773), Southeast and Northeast Elevations

One of the present owners, Alan Krusheski, related that his wife's grandfather, Hymen Chavenson, hired the Musser Brothers general contracting firm to build the house in 1941. Photographs in the possession of Mr. Krusheski showed the house during its construction and shortly after its completion. The photographs show only the one-story, gable-roofed core of the current structure. The main elevation of the structure consisted of a centrally located, gable-roofed entry porch flanked by six-over-six wooden sash. Mr. Krusheski said that the porch and the full width of the main elevation's first story were enclosed with the shed-roofed addition in the 1950s (Krusheski, personal communication 1999). Subsequent additions to the house have further obliterated the dwelling's historical appearance. Possessing poor integrity of design, workmanship, feeling, and association, the Chavenson House does not reflect the distinctive characteristics of a particular style, type, or method of construction. Research has not revealed any associations with individuals, events, or broad patterns contributing significantly to history. The house is not expected to provide information important to the study of history. The Chavenson House therefore does not meet National Register significance and integrity criteria.

Wilmer and Margaret Talley House (N-13773)

The Wilmer and Margaret Talley House stands along the south side of Grubb Road roughly 60 meters (200 feet) west of its intersection with Marsh Road, at 2210 Grubb Road. The house was newly identified by this survey. An asphalt driveway leads from Grubb Road past the southeast elevation of the house to a one-story gable-roofed garage a short distance south of the house (Plate 22). A small grass lawn separates the house from Grubb Road. Lawn and scattered trees compose the rear southwestern yard. Late twentieth-century suburban developments form the predominant housing type west of the house. Two buildings evaluated by this survey, including the Star of Bethel I.O.O.F. Lodge No. 19 (N-1229; the other building is N-13774), stand east of the Talley House on either side of Grubb Road.

The Talley House consists of a two-and-one-half-story Four-square dwelling, two-bays wide by two-bays deep, with tannish gray vinyl siding, an asphalt-shingled pyramidal roof, aluminized eaves, a cinder-block foundation, and a full-width hipped-roof porch across its main northeast elevation facing Grubb Road. The porch features tapered wooden posts, wooden balustrades, and a new wood-plank deck supported by cinder block piers. A hipped-roof dormer sits atop the center of the northeastern slope. The southeast elevation has an exterior brick chimney pile penetrating its eaves. A one-story, partially enclosed shed-roofed porch occupies the western half of the southwest elevation. Most of the window openings contain either single or paired one-over-one aluminum sash. The dormer has a one-light awning window and the enclosed portion of the rear porch displays an aluminum framed casement window. The northeast elevation's entry contains a metal two-panel door with an upper colored-glass light. A five-panel wooden door penetrates the northwest elevation. A metal panel door with nine upper lights occupies the doorway of the rear porch.

The garage features vertical vinyl siding, a cinder-block foundation, asphalt roof shingles, and aluminized eaves. Double-leaf six-panel doors with six upper lights provide vehicle entry through the garage's northeast gable end. The northwest elevation has a single six-light wooden casement window.

Lynn Osciak, the current owner, reported that the original construction of the house probably occurred during the 1920s (Osciak, personal communication 1999). This date coincides with Four-square architecture's period of greatest popularity, the early twentieth century. Deed transactions indicate that Wilmer and Margaret Talley acquired a tract partitioned from James Leach's estate in 1923 that included the present property (NCCRD Liber 32 Folio 77). The Talleys owned the property until 1946 (NCCRD Liber E46 Folio 142). Although Leach appears as the owner of buildings located at the southwest corner of the Grubb and Marsh roads intersection on maps from 1881 (Hopkins 1881) and 1893 (Baist 1893), the Talleys appear as

the most likely builders of the house, since the Four-square's popularity coincides more closely with their acquisition of the property.

The house is a much altered example of Four-square architecture. While retaining the exterior characteristics of Four-squares, most of the original fabric of the house, both inside and out, has been removed during recent remodelings. Vinyl siding has been applied over the original exterior walling and aluminum replacement sash now occupy nearly all fenestral openings. Ms. Osciak said that most of the original lath and plaster had been removed and replaced with wallboard when she reconfigured rooms throughout the house. Second-story ceiling joists were removed in the northern portion of the house in order to create a loft. As a result, the Talley House does not embody the distinctive characteristics of the Four-square architectural style. Research has not identified any relationships between the Talleys and individuals, events, or broad patterns contributing to history. The house is not expected to provide information important to the study of history. Thus the Wilmer and Margaret Talley House does not meet National Register significance and integrity criteria.

Grubb Double House (N-13774)

The Grubb Double House, newly identified by this survey, stands approximately 30 meters (100 feet) west of the intersection of Grubb Road and Marsh Road, on the south side of Grubb Road, at house number 2204. Asphalt parking lots occupy the lot between the house and Grubb Road along its northeast elevation as well as beside the northeast gable end and much of the rear southwestern yard. A grass lawn occupies the remainder of the rear yard. A modern commercial building stands on the southwest corner of the Grubb Road/Marsh Road intersection immediately east of the double house. Two buildings evaluated by this survey (N-13772 and N-13773) stand along the south side of Grubb Road immediately west of the double house. A third building evaluated by this survey, the Star of Bethel I.O.O.F. Lodge No. 19 (N-1229), stands on the northwest corner of the Grubb/Marsh roads intersection opposite the subject house. Late nineteenth-century suburban developments spread further west along Grubb Road. The former double house now contains commercial space and three apartments.

The Grubb Double House encompasses the western portion of two structures, forming an overall ell plan. The original double house stands two-stories tall, with four bays along its northeast elevation facing Grubb Road, and one room deep on its northwest gable end. Interior gable-end brick chimney piles punctuate the asphalt-shingled gable roof of the double house (Plate 23). A shorter two-story gable structure, two bays wide along its northeast elevation, and a one-story flat-roofed structure extending roughly 20 meters (65 feet) southward from the taller building's southeast gable end, together compose a more recent addition to the double house.

Asbestos shingles sheathe the former dwelling's walls. A wooden box cornice ornaments the eaves. Stuccoed stone serves as the foundation of the double house. One-over-one aluminum sash occupy most of the dwelling's four evenly spaced bays on both its northeast and southwest elevations. A canvas awning shades the glass door and six-light casement window in the western end of the northeast elevation. The glass door provides entry from the Grubb Road parking area into the first-story commercial space. A 15-light wood-framed bungalow door shaded by a shed-roofed entry hood permits entry into the commercial space from the rear, southwestern, parking area. A modern two-story wooden deck and stairs attached to the eastern end of the southwest elevation lead to the second-story apartments. An entrance to the first-story apartment lies under the two-story deck.

Although the interior spaces of the former double house have been greatly remodeled in order to provide a larger commercial area on the first story and two apartments on the second story, some of the earlier

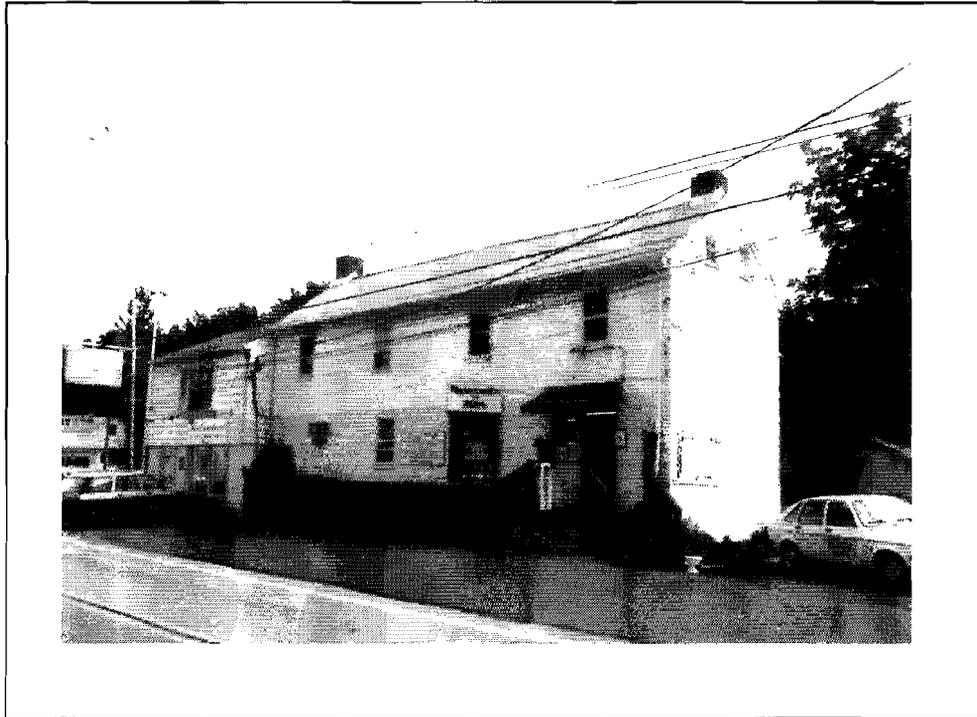


PLATE 23: Grubb Double House (N-13774), Northeast and Northwest Elevations

structure's original fabric survives. Boxed winder stairs leading from the basement to the first and second story remain in the west corner of the building. Plywood paneling covers a first-story hearth opening in the northwest gable end as well. Evidence of mantels and earlier paneling are not visible, however. The original interior party wall separating the first stories of the double house has been removed. An examination of the basement fabric revealed that the boxed winder stairs in the south corner of the house had also been removed from the basement level. Mill-sawn joists and the undersides of floorboards display coats of whitewash. Chimney bases are intact on both gable ends.

The southern addition features asphalt roof shingles, aluminum siding on its second story, and concrete-block first-story construction. One-over-one aluminum sash occupy most of the window openings. Triple one-over-one aluminum sash penetrate the second story of the addition's northeast elevation. A metal door with upper lights and a large glass display window occupy the elevation's first story. Metal stairs appended to the southeast gable end of the addition provide access to its second-story apartment. The flat-roofed wing, constructed of concrete block with terra cotta coping, extends southward from the southeast gable end and contains large built-in freezers from a liquor store that once operated in the building's commercial space.

Nineteenth-century maps and atlases depicting the Grubb and Marsh roads intersection show buildings at this corner of the crossroads as early as 1849. The Rea and Price map of the county labels three structures at the intersection as "Grubb's Shops." Two of the three buildings appear to be oriented toward Marsh Road, while the third is situated on Grubb Road at the approximate location of the double house (Rea and Price 1849). The earliest business establishments at Grubbs Corners were "the mechanic shops of Samuel Grubb and others of that family" (Scharf 1888:907). The double house may have served as quarters for workers at Grubb's shops. An 1868 atlas shows S.L. Grubb as the owner of two buildings at the intersection, one facing each road (Beers 1868). On 1881 and 1893 views, James Leach is described as the owner of three structures at the crossroads, including a blacksmith shop on the 1881 map (Baist 1893; Hopkins 1881). Leach acquired the corner property from Grubb's estate in 1868 (NCCRD Liber J8 Folio 181). Each of the four map views shows a structure at the approximate location of the present double house.

Although the Grubb Double House is probably related to Samuel Grubb's shops, located at the crossroads during the early nineteenth century, and the blacksmith shop that operated at the corner during James Leach's tenure of the property, remodelings of the double house have extensively altered the historical appearance and removed most of the original fabric. The double dwelling's exterior walls now feature asbestos shingles and aluminum replacement sash. New fenestral openings have been made or original openings enlarged to provide access to the first-story commercial space, while other original openings have been closed. A modern two-story deck appended to the southeastern end of the house provides access through a new entry to the second story's eastern apartment. An elongated two-story concrete-block and frame ell built onto the dwellings' east gable end also detracts from the historic feeling of the double house. The reconfiguration of the double dwelling's interior space, most notably the removal of most of the first-story interior party wall, also limits the ability of the house to reflect its historical use. Despite the double house's potential relationship to the early development of the Grubbs Corners crossroads, the double house's severe loss of integrity of materials, workmanship, feeling, and design mitigates against its significance with respect to broad patterns of history and associations with important persons or events. The Grubb Double House also does not reflect the distinctive characteristics of a particular architectural style, type, or method of construction, due to its loss of integrity. The house is not expected to provide information contributing to the understanding of history. As a result, the Grubb Double House does not meet National Register significance and integrity criteria.