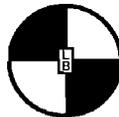

**ARCHITECTURAL RESOURCE SURVEY
CENTERVILLE ROAD (SR 273)
SR 259 TO SR 80**

New Castle County, Delaware

Prepared By:



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Prepared For:



The Delaware Department of Transportation

Draft
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ABSTRACT

This document presents the results of an architectural resource survey conducted by the Cultural Resource Group of Louis Berger & Associates, Inc., for the Delaware Department of Transportation in May 1996. The survey area consisted of a 1.7102-mile stretch of Centerville Road (SR 273) between Barley Mill Road (SR 259) and Campbell Road (SR 80), in Christiana Hundred, New Castle County, Delaware. Sixteen properties containing resources over 50 years of age were recorded within or adjacent to the project area. Of these properties, none were found to contain resources individually eligible for the National Register of Historic Places; however, the project area was found to contain properties which collectively constitute a National Register historic district.

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INTRODUCTION

On behalf of the Delaware Department of Transportation (DelDOT), the Cultural Resource Group of Louis Berger & Associates, Inc. (LBA), completed an architectural resource survey and evaluation of the properties associated with the proposed safety improvement plan along a 1.7102-mile portion of Centerville Road (SR 273) between Barley Mill Road (SR 259) and Campbell Road (SR 80), in Christiana Hundred, New Castle County (Figure 1). All work was performed in accordance with the terms of the executed Work Order No. 9 of a Statewide Contract for Cultural Resource Investigations (Agreement No. 711).

This architectural survey was performed from May 1 through May 9, 1996, and involved background research and architectural reconnaissance sufficient to determine whether any buildings or other structures meeting National Register of Historic Places Criteria (36 CFR 60.4) are present within the project area.

All work was conducted in compliance with Section 106 of the National Historic Preservation Act of 1966 (as amended), the Procedures for the Protection of Historic Properties (36 CFR 800), Section 4(f) of the National Transportation Act (23 CFR 771), the Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation, and the guidelines of the Delaware State Historic Preservation Office (DESHPO).

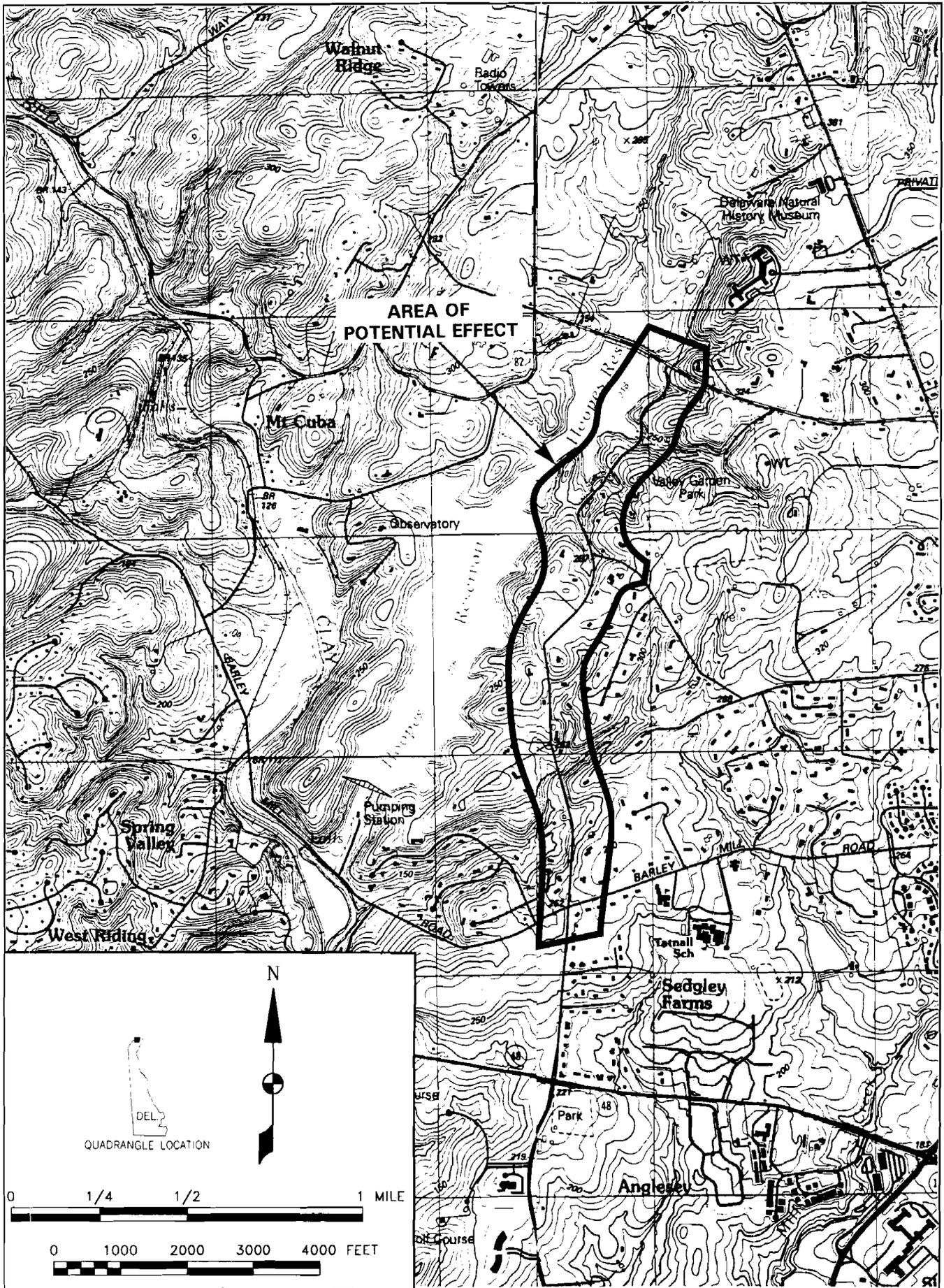


FIGURE 1: Project Location Map Showing Area of Potential Effect

SOURCE: USGS 7.5 Minute Pennsylvania-Delaware Quadrangles, Kennet Square and Wilmington North 1993

BACKGROUND RESEARCH

GENERAL OVERVIEW

The architectural resources examined in this study are situated on Centerville Road between Barley Mill Road (SR Route 259) and Campbell Road (SR 80), in Christiana Hundred, New Castle County. New Castle County is the northernmost of Delaware's three counties, and is bounded on the north by Pennsylvania, on the east by the Delaware River, on the south by Kent County, and on the west by Maryland (Conrad 1908:286).

New Castle County was originally divided into five subdivisions, or hundreds: Brandywine, New Castle, St. George's Creek, Appoquinimink, and Christiana (Conrad 1908:286). In 1710, with the addition of Pencader, Red Lion, Mill Creek, and White Clay Creek hundreds, the number of hundreds in New Castle County had increased to nine (Conrad 1908:287). Christiana Hundred is situated in northern New Castle County, in the Piedmont Zone (Herman and Siders 1989:1).

The land in this region of Delaware is generally level, with some rolling hills. The soil is a mixture of clay and loose rock which is generally fertile and well-suited to agriculture. The entire Piedmont Zone is riddled with major and minor streams, most of which flow from north to south and drain into the Christiana River. Major streams in the region include Red Clay Creek, White Clay Creek, Brandywine Creek, Pike Creek, Mill Creek, and Muddy Run. Other topographical features in Christiana Hundred include Iron and Chestnut hills, which are rich in iron ore; Mount Cuba; and the Edgar M. Hoopes Reservoir (Herman and Siders 1989:1).

Exploration and Frontier Settlement: 1630-1730 ±

The earliest European settlement in the Piedmont Zone was concentrated near water transportation routes, and during the mid- to late 1600s, the early Dutch, Swedish, and Finnish settlers did not stray far from the Delaware River. After 1680, when William Penn began to make land grants to English and Welsh settlers, and as agriculture replaced an economy based on hunting and trapping, settlements began to emerge along overland transportation routes (Ames et al. 1989:45). The settlers were primarily farmers occupying homesteads of 150 to 200 acres. The majority of these farmers raised livestock, generally cattle, swine, and sheep. Field crops were also raised, primarily wheat and Indian corn (Herman and Siders 1989:1).

Early Industrialization: 1770-1830 ±

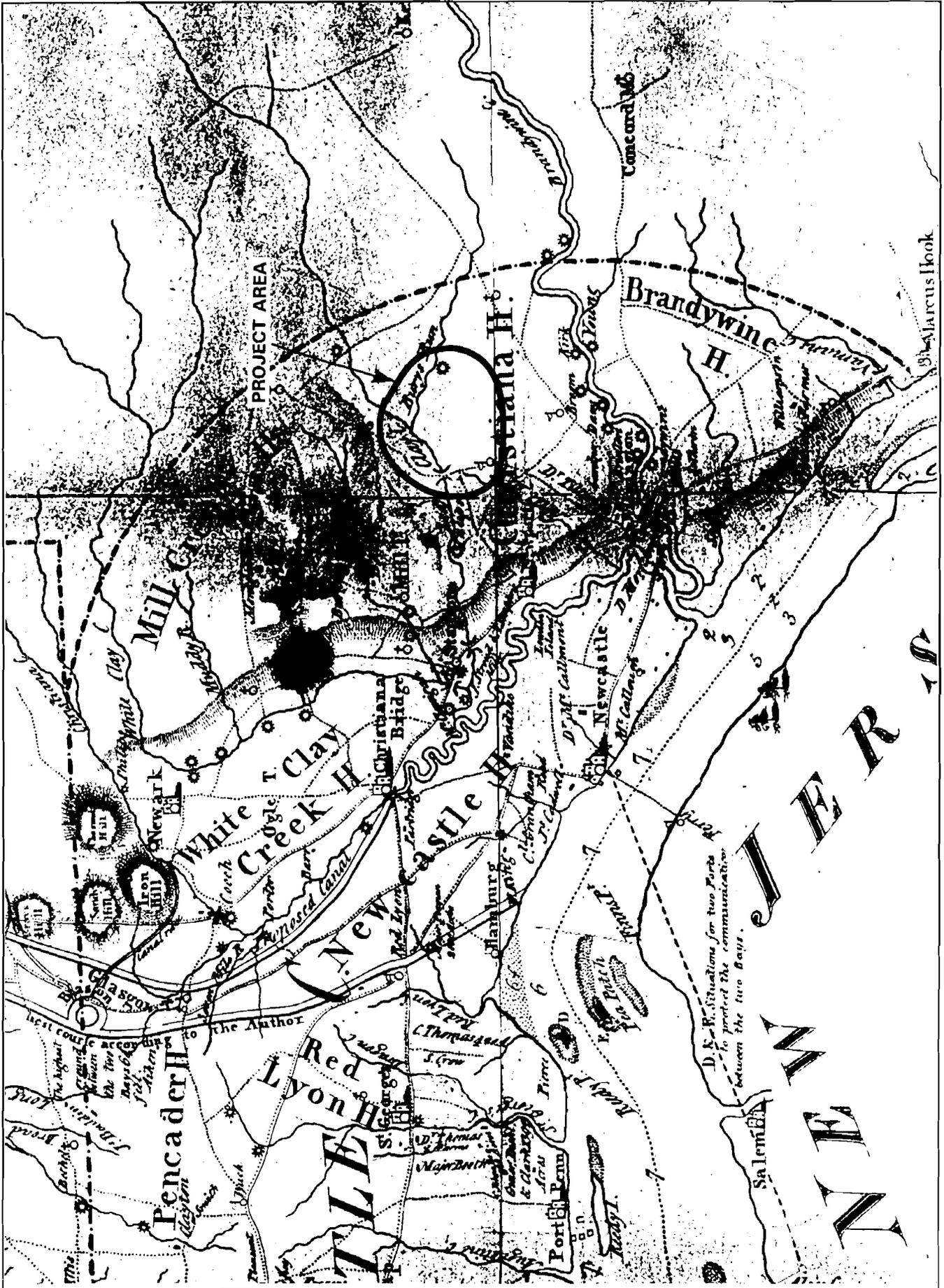
By the late eighteenth century, the Piedmont Zone had been thoroughly settled. As the population of the area increased during the early nineteenth century, farms began to decrease in size (New Castle County Department of Planning [NCCP] 1989:1-48). Although many streams were no longer navigable due to erosion caused by extensive clearing of land, these streams still

provided power for a variety of mills. The most famous mill erected in the region during this period was the DuPont powder works on the Brandywine River. Founded in 1802, it grew into one of Delaware's most important industries during the nineteenth century (Conrad 1908:421-422). Historical map evidence from 1801 shows a mill northwest of the project area, on Bury's Run (Figure 2). This may be the same site which is depicted on Heald's (1820) map as a "Manufactory." It was owned by "Mahessy," and was located near the crossroads of Campbell and Centerville roads (Figure 3). (Note: the alignment of Centerville Road in the northern part of the project area was moved east during the construction of the Edgar M. Hoopes Reservoir in the 1930s.) Although it is not shown on period maps, one landowner, William Dixon, operated a mill near the project area around 1800, as the 1803 tax assessment lists a stone gristmill among the buildings on his farm (New Castle County [NCC] Tax Assessments 1803-4).

Nucleated settlements grew up around mills and transportation junctions during this period, and Wilmington began to develop into a major urban area (Ames et al. 1989:47). A system of turnpikes was created in the county in the early 1800s, which aided farmers in bringing their products to distant markets (NCCP 1989:1-48). By the late eighteenth century, the road which in 1811 became the Kennett Turnpike (present-day SR 52) was a major north-south thoroughfare, beginning in Wilmington and extending northwest through Christiana Hundred (NCCP 1989:1-51). The road which later became known as the Newport Gap Turnpike, or more commonly, the Lancaster Turnpike (present-day SR 48), was also in use by the early 1800s. This road, which began in Wilmington, provided a direct link between Lancaster County farms and the ports of Wilmington and Newport (Spero 1991:172) (see Figures 2 and 3). It appears that by 1813, the part of Centerville Road which runs through the project area had been established, as a deed from that year refers to a "new road" leading to "the land of James McHassey" (New Castle County [NCC] Deed L-3-524). The road, which was often referred to as the Newport Road or as the road between Newport and Centerville in nineteenth-century deed records (NCC Deed A-8:251), connected Newport with Centerville, intersecting both the Lancaster and Kennett turnpikes. Both Campbell and Hillside roads also intersected the Centerville Road by that time (see Figure 3).

During the early 1800s, the economy remained agrarian. The average farm size decreased more than 30 percent, but as a result of agricultural intensification, the amount of improved land rose by 10 percent during the same period. New crops, such as clover and timothy, began to be raised (Herman and Siders 1989:8). After 1800, new industries, such as powder mills, snuff mills, tanneries, textile mills, sawmills, gristmills, and lime kilns arose in the Piedmont Zone (Herman and Siders 1989:9).

In the eighteenth century, houses in the Red Clay Valley area of the Piedmont Zone were chiefly of log construction, and later of frame construction. These houses usually had one-room or hall-and-parlor plans. During the mid-nineteenth century, log and frame construction gave way to houses built of stone (NCCP 1989:1-49). Brick houses, while also built in the area, were usually owned only by wealthy individuals (Herman 1987:2, 8).



SOURCE: Varle 1801

St. Marcus Hook

FIGURE 2: Project Area in 1801

Industrialization and Early Urbanization: 1830-1880 ±

Farm sizes continued to decrease during this period, causing an increased need for intensive cultivation. Major farm products for the region during this period were beef and butter. Farmers also grew wheat, corn, and oats, and hay for fodder (Herman and Siders 1989:12). Farm buildings erected during this period tended to be multifunctional—for example, bank barns with stabling below (Herman and Siders 1989:14).

In 1829, the Chesapeake and Delaware Canal was completed (Reed 1947:377). This waterway was a major transportation improvement for New Castle County and its farming community. New transportation methods and routes, such as canals and railroads, became feasible in part because of the increased population pressures in settled areas and the growing demand for agricultural products (DeCunzo and Garcia 1992:212). Four railroad lines were constructed in the Piedmont Zone during this period, beginning with the Philadelphia, Wilmington and Baltimore line. This railroad, begun in 1831, made its first run between Wilmington and the Susquehanna River in 1837 (Ames et al. 1989:50; Scharf 1888:425). The Wilmington and Baltimore line came in 1869, the Wilmington and Western line in 1872, and in 1886, the Baltimore and Ohio line made its way into the region (Ames et al. 1989:50). Towns such as Newark and Greenville expanded with the railroads, and while farm size decreased, industrial activities began to dominate the economy of the county (Ames et al. 1989:50).

By 1849, there were a number of settlements located along the project corridor, including the residences of B. Hartley, O. Euchus, and J. Guest (Figure 4). Historical map evidence indicates that the project area had changed little between 1849 and 1868, showing only one additional farmstead, belonging to I.G. Pyle, located on Centerville Road within the project area (Figure 5). This farmstead is no longer extant.

During the nineteenth century, significant changes occurred in the architecture of rural New Castle County. Older frame dwellings and tenements were replaced or were rebuilt on new locations (Bowers 1987:13-14). Specifically, from 1820 to 1870, there was much remodeling of existing structures, replacement of old buildings with new ones, and substantial remodeling of recent buildings (Herman 1987:12).

Urbanization and Early Suburbanization: 1880-1940 ±

During this period, farm size and total farm acreage continued to decline as farms were abandoned, giving way to suburban development. Farms during this period had decreased in size to under 100 acres, and tenant farming became more prevalent. Tenant farming remained the dominant farming practice into the twentieth century (De Cunzo and Garcia 1992:28). Map evidence from 1893 indicates that the number of dwellings in the vicinity of the project area had increased between 1868 and 1893, and some farms had been subdivided (Figure 6)

Major changes occurred in the landscape of the Piedmont Zone during the late nineteenth and early twentieth centuries, as industrialization and commercialization began to dominate the



FIGURE 4: Project Area in 1849

SOURCE: Rae and Price 1849

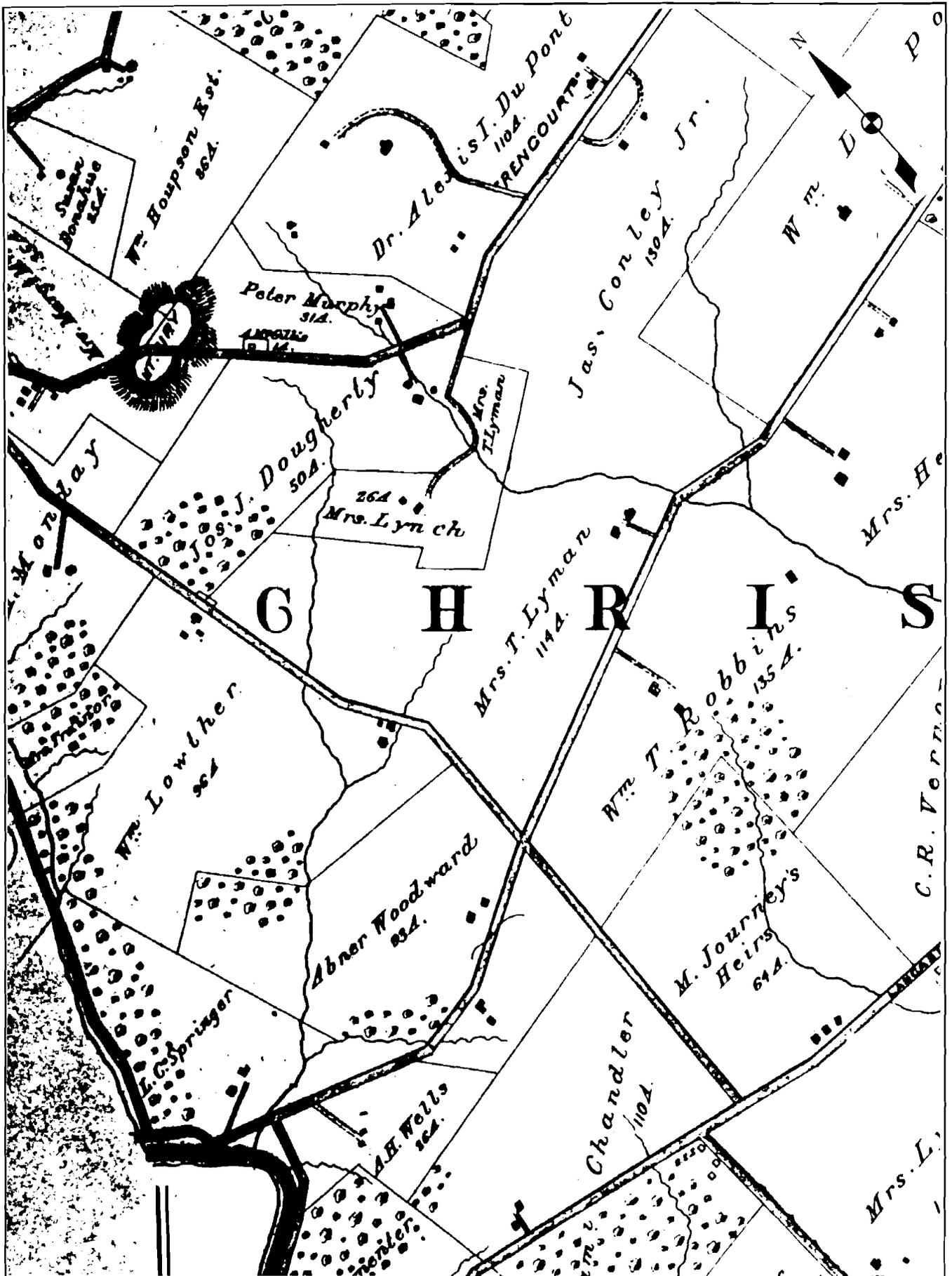


FIGURE 6: Project Area in 1893

SOURCE: Baist 1893

economy of the Piedmont Zone (De Cunzo and Garcia 1992:28). Large industries moved into Wilmington, and away from the natural power sources such as creeks. As these industries moved to the city, suburban expansion, led by a growing professional middle class, began. In association with suburban development, roads were improved to accommodate the automobile, and mass transit was developed (Ames et al. 1989:51).

An important event associated with increased urbanization and suburbanization in the vicinity of the project area was the construction of the Edgar M. Hoopes Reservoir. The reservoir was begun in 1926 by its contractor, John J. Walsh, and completed in 1932. Located immediately west of the project area, the placement of the reservoir sparked the development of a number of early twentieth-century country estates which were constructed along its shores. Most of the land now occupied by the reservoir was owned by Senator Thomas Coleman DuPont. Although it is not clear exactly what role Thomas Coleman DuPont played in the construction of the reservoir and subsequent suburbanization of the area, he did own most of the land now covered by the reservoir, as well as a large amount of land along the relocated Centerville Road. The Hoopes Reservoir was originally named the Old Mill Dam, after DuPont's homestead, which was called "Old Mill" (Silliman 1962:98). DuPont appears to have taken the opportunity provided by the construction of the reservoir to begin selling his land as residential parcels after the reservoir was completed (Delaware Historical Society 1926-1982). Many of these estates were built by the owners of profitable factories and mills in the city, who began purchasing large tracts of land west of Wilmington. These included members of the DuPont family, and other executives employed by the DuPont industries, as well as such men as William Alexander Worth, of the Worth Steel Company (Bevan 1929:81; Herman and Siders 1989:17).

After the 1950s, the population of Wilmington, which had grown rapidly in the late nineteenth and early twentieth centuries, began to decline. Suburban New Castle County, however, has continued to grow throughout the late twentieth century (Ames et al. 1989:51).

PREVIOUS ARCHITECTURAL SURVEYS

The earliest architectural survey within the project area was the *Junior League Historic Buildings Census*, which was completed in 1962. This survey, which only included buildings built prior to 1850, recorded two properties within the project area of potential effect. These were G-6, the Half-Century House, which is designated in the DESHPO files as N-522; and G-17, which is designated in the DESHPO files as N-524 (DESHPO Files; Junior League 1962). In 1989, the New Castle County Department of Planning prepared *The Red Clay Valley Scenic River and Highway Study*, which identified four resources within or adjacent to the project area of potential effect: N-521, Westbrae, a Colonial Revival-style mansion on Hillside Road; N-524, the William Dickson House, a circa-1790 stone house; N-525, the B. Hartley House, an early nineteenth-century stone house; and N-526, the William Lowther Farm, a mid- to late nineteenth-century farmstead (NCCP 1989).

Cultural resource survey files at the DESHPO identify seven historic properties within or adjacent to the project area of potential effect. These include the above-mentioned properties

N-521, N-522, N-524, N-525, and N-526, and, in addition, N-523, a springhouse and storage tank on Centerville Road which was associated with the Westbrae Water Company; and N-7681, a Colonial Revival-style house on Campbell Road (DESHPO Files).

The *Delaware Historic Bridges Survey and Evaluation*, undertaken in 1991, did not identify any bridges within the project area of potential effect (Spero 1991).

Research at the DESHPO revealed that no structures within or adjacent to the project area are listed in the National Register of Historic Places.

THE DELAWARE COMPREHENSIVE HISTORIC PRESERVATION PLAN

The *Delaware Comprehensive Historic Preservation Plan* (Ames et al. 1989) defines five geographic zones for the State of Delaware, identifying important themes and property types likely to be found within each zone. The Centerville Road project area, situated in Christiana Hundred, is located in the Piedmont Zone. The architectural resources identified within the project area fall into three chronological periods: Early Industrialization: 1770-1830 ±; Industrialization and Early Urbanization: 1830-1880 ±; and Urbanization and Early Suburbanization: 1880-1940 ±. For these resources, the most applicable themes are Architecture, Engineering, and Decorative Arts; Agriculture; Transportation and Communication; and Major Families, Individuals, and Events (Ames et al. 1989).

The *Delaware Historic Context Master Reference and Summary* (Herman and Siders 1989) states that historic landscapes and cultural resources are highly threatened in this zone. The survival rates for historic resources in the Piedmont Zone during the period of Early Industrialization: 1770-1830 ±, are good for dwellings, workers' housing, taverns, and major architectural buildings, but poor for millseats and mills. Resources within the period of Industrialization and Early Urbanization: 1830-1880 ±, are also threatened by zone-wide high-density development, and "while many structures with high levels of integrity and significance remain and require critical review on issues of material integrity, rarity, physical condition, and areas of significance, it is important to recognize that they are uniformly endangered" (Herman and Siders 1989:12). Within the period of Urbanization and Early Suburbanization: 1880-1940 ±, survival rates for resources related to early suburbanization are excellent, while those resources relating to agriculture and manufacturing are currently endangered, and require the same level of evaluation as property types from the period of Industrialization and Early Urbanization (Herman and Siders 1989:15).

RESEARCH DESIGN

1. Objective:

The objective of this research was to determine whether the area of potential effect of the proposed Centerville Road improvement project contains architectural resources which meet National Register Criteria for eligibility, and/or whether any of these resources collectively constitute a National Register-eligible historic district.

2. Methodology:

Background research was conducted at the DESHPO and the Hall of Records, both in Dover; the Morris Library at the University of Delaware, Newark; the Historical Society of Delaware, and the New Castle County Deed Room and Tax Assessor's Office, both in Wilmington. Historical maps, general histories, biographical information, historical photographic collections, and deed and tax data were the main sources of information utilized in this study.

A field survey of architectural resources over 50 years of age within the proposed project area of potential effect identified 15 properties containing architectural resources 50 years of age or older. During the field survey, information was collected concerning the type, style, and condition of each resource. The age of each building surveyed was initially classified by visual assessment. Black-and-white 35mm photographs were taken of each recorded resource within the project area of potential effect. To evaluate the potential for a historic district, the field investigation included an examination of properties beyond the immediate project limits. Information as to the date of construction was later obtained from both deeds and the tax assessor's office as supporting evidence. All relevant cultural resource survey forms were completed for the recorded resources, and are included in Appendix A of this report.

3. Expected Results:

Based upon DESHPO file information, it was expected that at least seven properties would require investigation, and that an unspecified number of additional resources over 50 years of age would be identified within the project area of potential effect. It was not expected that resources dating from the period of Exploration and Frontier Settlement: 1630-1730 ±, would be extant in the project area, since European settlement was sparse in the area during this period, and the survival rate for these properties is low.

Expected property types dating from the periods of Early Industrialization: 1770-1830 ±, and Industrialization and Early Urbanization: 1830-1880 ±, would typically be associated with farmsteads, and would potentially include farmhouses, barns, springhouses, and/or other outbuildings. An eligible site should consist of a main dwelling with outbuildings and/or farm buildings of sufficient number and type to clearly convey the domestic and/or agrarian uses to which the property was put during the period of significance. The property should exhibit

overall integrity of design, materials, and immediate setting to be considered eligible for the National Register.

Farmstead resources relating to the architectural theme would most likely derive significance from Criterion C, having distinctive characteristics of a type or method of construction. Properties significant under the agriculture theme would most likely derive their significance from Criterion A. These would require documented associations with an event or trend that was important in the history of the area or county.

Expected property types dating from the period of Urbanization and Early Suburbanization: 1880-1940 ±, include bridges under the Transportation theme, and early twentieth-century Revival-style mansion houses under the themes of Architecture and of Major Families, Individuals, and Events.

Bridges would most likely derive significance from Criterion C, and should exhibit overall integrity of design, materials, and immediate setting to be considered eligible for the National Register.

An early twentieth-century mansion house may derive its significance from Criterion A, for its association with the early suburbanization of Christiana Hundred, or Criterion B, if it were the home of historically significant individuals. Such a property type could also derive significance from Criterion C if it embodied distinctive characteristics of its type, period, or methods of construction, or if it possessed high artistic value. As survival rates for these resources are currently excellent, eligible resources would be expected to possess a high degree of architectural or historical significance, as well as a high degree of integrity with respect to location, setting, design, materials, and workmanship.

ARCHITECTURAL RESOURCES: DESCRIPTION AND EVALUATION

INTRODUCTION

Sixteen properties over 50 years of age were recorded for this project (Figure 7). Following is a discussion of each property, including an architectural description, historical information, and an evaluation of National Register eligibility.

1. William Lowther Farm (Foxhole Farm) (Beers 1868) (N-526)
3401 Centerville Road
Tax Parcels 07-028.00-064 and 07-028.00-067
(Cultural Resource Survey Form in Appendix A)

Description: This property consists of a dwelling, a bank barn, and four other outbuildings situated on two parcels. The dwelling, which lies about 200 feet west of Centerville Road, is an L-plan, cross-gable, frame building with 1½- and 2-story elements, which appears to date from the mid-nineteenth century (Plates 1 and 2). The structure rests on a stone foundation, and is clad with stucco. Its roof is covered with asphalt shingles. The east elevation has five bays, the two southernmost of which are within the cross gable. The cross gable has an interior brick chimney on the west end of its ridge. The west elevation of this cross-gabled section has a 1½-story addition which appears to date to the mid-twentieth century. This addition has an interior concrete-block chimney. Windows are a combination of wooden 6/6 double-hung with 1½-inch wooden surrounds as well as wooden casements, and one first-story bay window on the south elevation side. The east elevation has the date of 1957 painted on it. The owner, Mrs. Meryl Lovett, states that this signifies the date when she and her husband made major renovations to the house, including the removal of the previous asbestos siding, which they replaced with stucco, as well as the addition of the rear ell section and replacement of all windows.

The most prominent secondary resource on the property is a mid- to late nineteenth-century frame barn which fronts Centerville Road (Plate 3). This structure is a bank barn, which has a lower section which appears to have accommodated livestock at one time. The barn's lower section is accessible at ground level on the south, east, and west elevations, and has a stone foundation to a height of approximately nine feet. The stone foundation is set into an earthen bank on the north elevation, where an asphalt drive meets the upper-level entrance. The barn is a gabled structure with a combination of board and batten siding and vertical board siding. The barn's main roof has asphalt shingles, but a shed-roofed section on its east elevation has cedar roof shingles. A notable feature on the east elevation is an obelisk-shaped stone pillar which supports the upper level. A 10x10-inch wooden post extant to the north of this pillar may have replaced a similar pillar. The interior of the barn reveals that the majority of floor joists and heavy timbers have been replaced within the last 50 years, and a small concrete-block wall has replaced some of the original stone foundation on the west elevation.

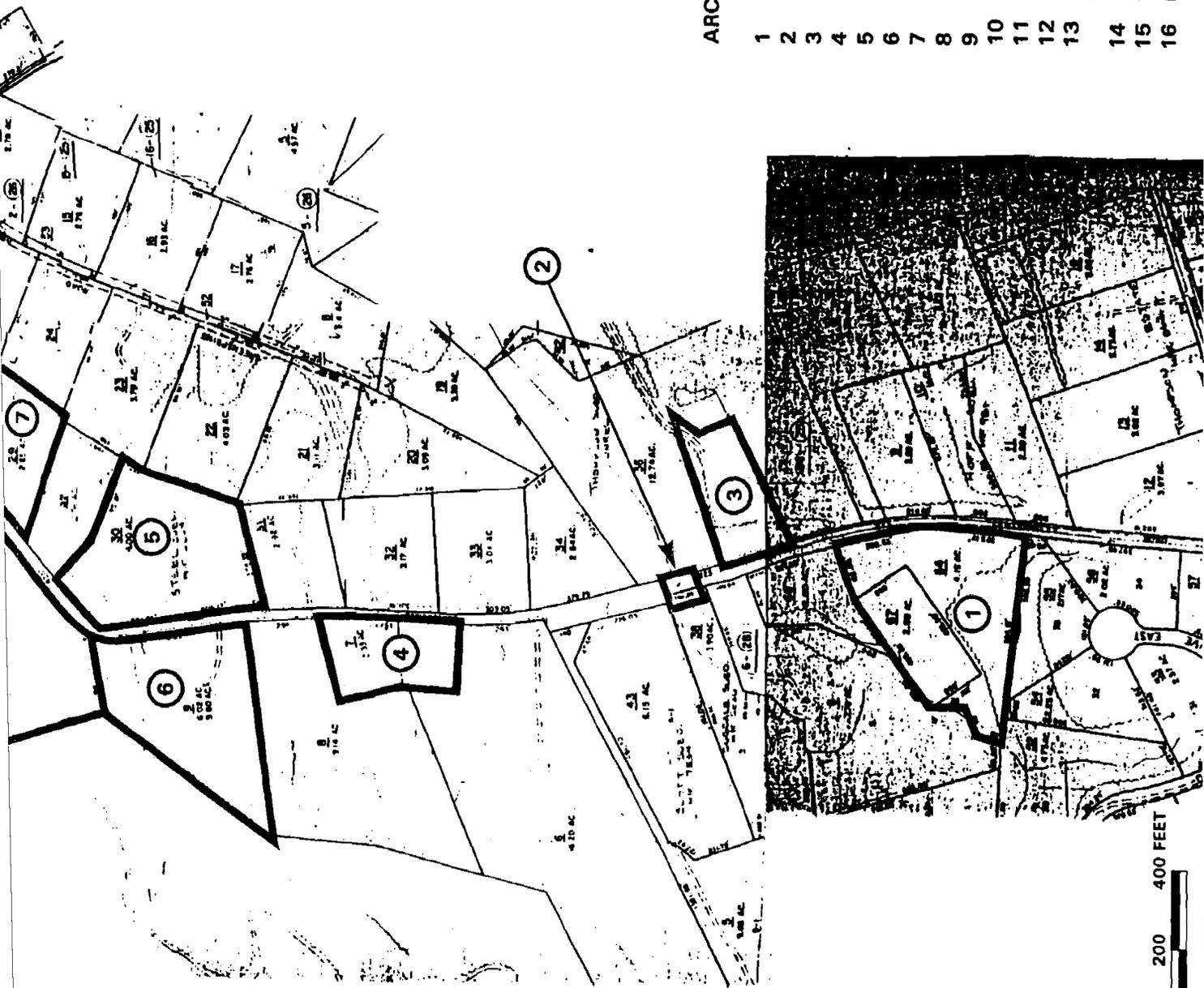
North of the barn is an open bay garage/storage shed (Plate 4). This structure's south elevation opens to the asphalt drive. It is a simple side-gabled frame building with a stone foundation. It is clad with vertical board siding, most of which has recently been replaced. The roof has asphalt shingles. West of the barn, but east of the dwelling, stand two outbuildings. The first is a gabled frame storage shed with stone foundation, vertical board siding, and asphalt-shingled roof which appears to date from the mid- to late nineteenth century, and the second is a shed-roofed chicken coop with a concrete foundation, board and batten siding, and asphalt-shingled roof which appears to date from the early twentieth century (Plates 5 and 6). South of the barn lies a two-bay, side-gabled shed set on a concrete slab. Its roof is clad with asphalt shingles. Its walls are clad with a combination of board and batten siding, and two-inch vertical wood strips set approximately one inch apart for ventilation. This shed appears to date from the early to mid-twentieth century (Plate 7).

A springhouse is located several hundred feet south of the house, barn, and other outbuildings. The structure, built of uncoursed rubble, has a gabled roof with asphalt shingles. The springhouse appears to date from the mid- to late nineteenth century (Plate 8).

Applicable Historic Context: Piedmont Zone, Industrialization and Early Urbanization: 1830-1880 ±; Theme: Agriculture; Property Type—Rural Farm Site; Theme: Architecture; Property Type—Mid-Nineteenth-Century I-House.

Evaluation: Rae and Price's map of New Castle County indicates that no structures existed on this site in 1849 (see Figure 4), but by 1868, Beers depicts the farmstead of William Lowther at this location (Beers 1868) (see Figure 5). Deed records show that Lowther acquired the property from William Cochran and Abner Woodward in 1865 (NCC Deed A-8-251; A-8-257). Although assessment records do not show William Lowther as owning land or buildings in the 1870s, his son, Moses Lowther, was assessed in 1873 for 100 acres of land which contained a springhouse and barn (NCC Tax Assessments, Christiana Hundred, 1873). Although no dwelling was found in tax assessment records, it is assumed that the house was present along with these buildings, as the Beers map and the deeds to adjacent properties indicate that the Lowthers were living on the property by 1868 (see Figure 5). William died in 1902, leaving the land to his son, Moses Lowther (New Castle County [NCC] Will Z-2-198), who in turn sold the land to Henry B. Thompson in 1908 (NCC Deed X-21-360). The present owners of the barn, springhouse, and garage, Horace and Martha Dugdale, acquired the land in 1948 (NCC Deed E-48-357). They created a subdivision which separated the house, chicken coop, and shed from the remaining buildings in 1958, and sold it to Vernon and Meryl Lovett, but it appears that the Lovetts had been tenants on the land previous to this transaction (NCC Deed N-61-345).

The William Lowther Farm meets National Register Criterion C, as it represents the distinctive characteristics of a mid-nineteenth-century farmstead. However, although the house at the William Lowther Farm possesses integrity of location, it has experienced major renovations and additions which have destroyed its integrity of materials, design, and workmanship. In addition, the barn and garage have had significant amounts of their historic fabric replaced over the years, diminishing their integrity of materials. The William Lowther Farm does not meet National Register Criteria with respect to integrity.



ARCHITECTURAL RESOURCES

- 1 WILLIAM LOWTHER FARMHOUSE (N-526)
- 2 BRIDGE NO. 136-A (N-13524)
- 3 HENRY B. THOMPSON HOUSE (N-13525)
- 4 BENJAMIN HARTLEY HOUSE (N-525)
- 5 FRANK G. TALLMAN HOUSE (N-13526)
- 6 GEORGE R. BEACH HOUSE (N-13527)
- 7 JAMES RANKIN DAVIS HOUSE (N-13528)
- 8 WILLIAM A. WORTH HOUSE (N-13529)
- 9 WILLIAM A. DICKSON HOUSE (N-524)
- 10 DEBORAH B. HALSEY WILSON HOUSE (N-13530)
- 11 WESTBRAE TENANT HOUSE (N-522)
- 12 WESTBRAE (N-521)
- 13 WESTBRAE SPRINGS SPRINGHOUSE AND HOLDING TANK (N-523)
- 14 STONE HEADWALL (N-13531)
- 15 VALLEY GARDEN PARK (N-13532)
- 16 HOMER D. EWING HOUSE (N-7681)

FIGURE 7: Architectural Resources Identified in Project Area

SOURCE: New Castle County Tax Assessments



PLATE 1: William Lowther Farm House, View to East



PLATE 2: William Lowther Farm House, View to West

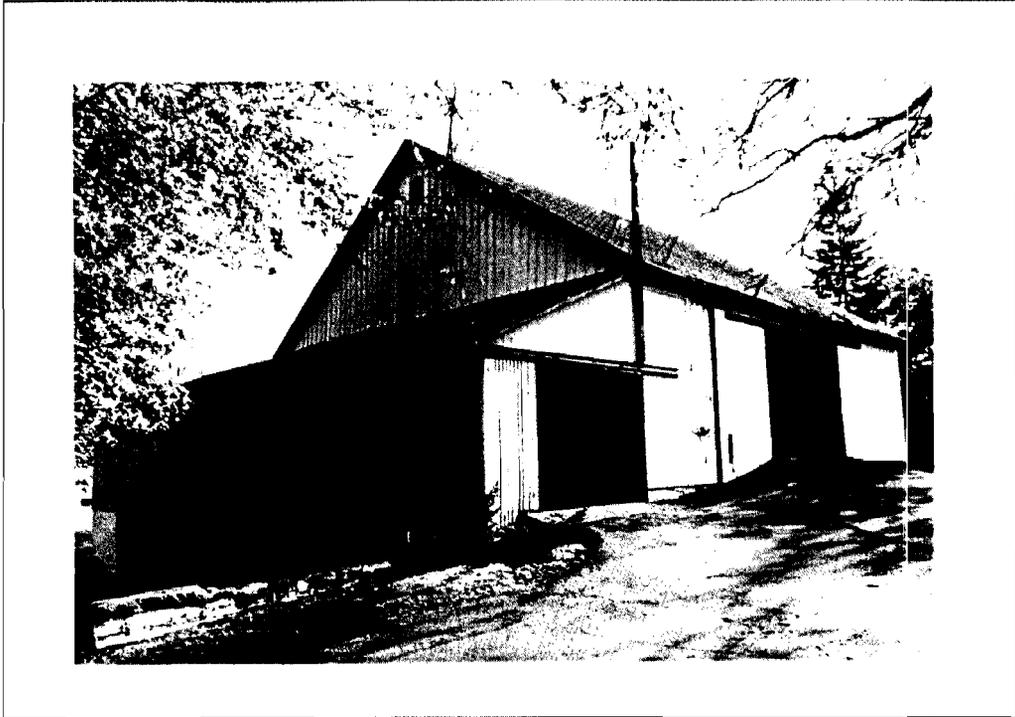


PLATE 3: William Lowther Farm House Barn, View to Southwest



PLATE 4: William Lowther Farm House Garage, View to North

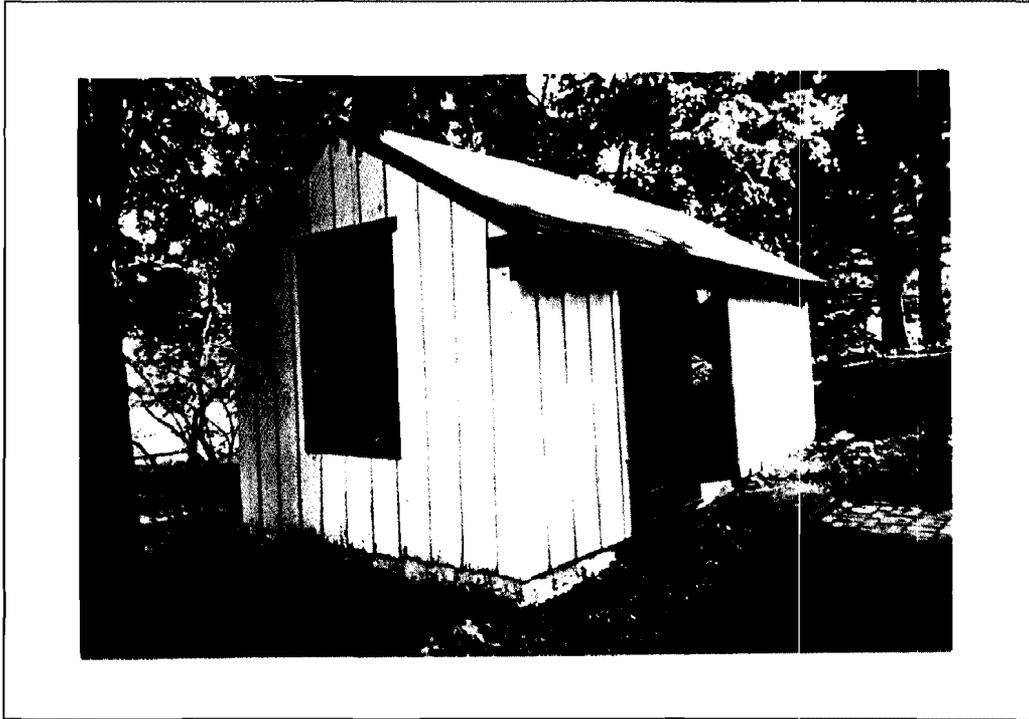


PLATE 5: William Lowther Farm House Shed, View to West

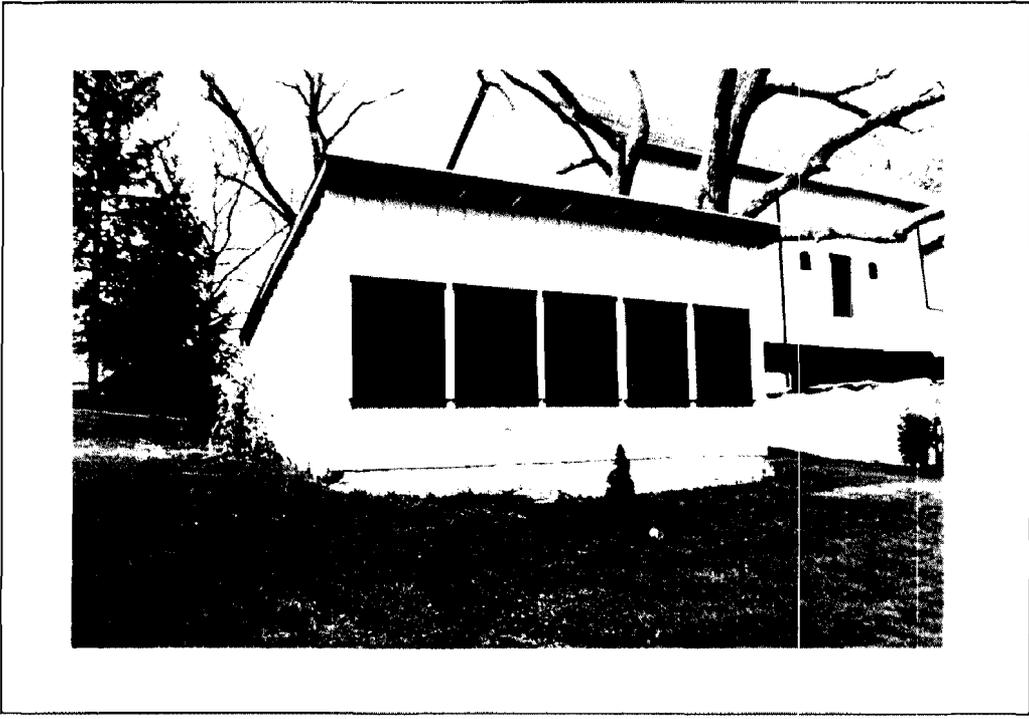


PLATE 6: William Lowther Farm House Chicken Coop, View to North



PLATE 7: William Lowther Farm House Shed, View to South



PLATE 8: William Lowther Farm House Springhouse, View to Southeast

**2. Bridge No. 136-A (N-13524)
Centerville Road
(Cultural Resource Survey Form in Appendix A)**

Description: This bridge carries Centerville Road over a small stream approximately 1,800 feet north of its intersection with Barley Mill Road (Plate 9). It is a stone, single-arch bridge measuring about 23 feet long and 28 feet wide. DeIDOT bridge inspection files give very little information as to the construction of this or similar bridges in the area, beyond indicating that the abutments are constructed of reinforced concrete (DeIDOT Bridge Inspection Files). The bridge is most likely a concrete structure with stone facing. The bridge has a single barrel arch with cut voussoirs and oversized keystone. Stone parapets rise approximately two feet above the road surface. The southern corner of the west parapet has a concrete cornerstone with the designation 136-A. The bridge appears to date from the mid-1930s.

Applicable Historic Context: Piedmont Zone, Urbanization and Early Suburbanization: 1880-1940 ±; Theme: Transportation and Communication; Property Type—Bridge

Evaluation: This bridge does not appear in the *Delaware Historic Bridges Survey and Evaluation* (Spero 1991). A map of bridges surveyed by DeIDOT, which is located in the DESHPO files, shows a bridge near this location which is designated No. 590-D (DESHPO Files). DeIDOT bridge inspection files indicate that Structure 590-D was replaced by a steel pipe in the 1980s. The bridge inspection files for Structure No. 136-A do not record its construction date; however, Bridge No. 136, which is nearly identical to this bridge and is located nearby on Barley Mill Road, was constructed around 1931 (DeIDOT Bridge Inspection Files). It is likely that Bridge No. 136-A was constructed during the same period. Bridge No. 136-A does not possess the significant historical associations necessary for eligibility under National Register Criterion A, nor can it be considered eligible under Criterion C, since it is not a technologically or architecturally significant example of its type (DeIDOT Bridge Inspection Files).



PLATE 9: Bridge No. 136-A, View to East

8. William A. Worth House (N-13529)

West side of Centerville Road, southwest of its intersection with Hillside Road

Tax Parcel 07-025.00-056

(Cultural Resource Survey Form in Appendix A)

Description: This property consists of an early twentieth-century Colonial Revival-style house, a garage, a shed, and a springhouse. The house is set on a hill, approximately 550 feet west of Centerville Road at the end of a long asphalt drive (Plates 31 and 32). The house is basically a symmetrical 2½-story, U-plan structure with symmetrical wings and one-story porches on each side. It is constructed of uncoursed stone, with a five-bay-wide main section. The first-story windows have 8/12/12 triple-hung wooden sashes and paneled wooden shutters. The second-story windows consist of 12/12 double-hung wooden sashes with louvered wooden shutters. Four-inch molded casing surrounds each window. Massive rough-squared stone lintels with keystones cap each window opening. The main entrance to the house is a central, four-foot-wide paneled door on the east elevation. It has a dentiled entablature supported by fluted pilasters. Three dormers pierce the east elevation of the main section's roof. These are gabled dormers with molded returns, having double-hung windows with arched top sashes and large decorative wooden "keystones." The roof is covered with cement-asbestos shingles. The main section has two brick interior end chimneys. On a datestone on the southern gable of the main section is inscribed: "J.R.W.-1937-W.A.W."

The 2-bay wings on each side of the main section are similar in design to the main section, each having 12/12 double-hung windows on the first and second stories, and a single dormer with a 6/6 double-hung window. The wings have westward-extending cross gables at the rear which are one bay deep, forming the house's U-plan. Each wing has a brick interior end chimney. A single-story enclosed wooden porch is attached to each wing. These porches have flat roofs with wrought-iron balustrades, and multipane fixed sash windows supported underneath by sections of wooden panels. Thin steel pillars support the porch roofs. According to the current owners, the Intercollegiate Studies Institute, these porches, which were originally only screened-in, were enclosed in 1994.

A stone wall which is attached to the north wing's east elevation extends approximately 75 feet, terminating at a 5x2-bay side-gabled stone garage. This garage is similar in construction to the main house, but is 1½-story, having two dormers on its southern slope and three on its northern slope (Plate 33). All the windows are 6/6 double-hung wood. The west elevation gable has a one-story, stone shed-roofed extension. Modifications appear to be limited to the interior, which appears to have been converted to offices and storage space.

About 75 feet east of the garage is a small front-gabled shed constructed of concrete block, but with a stone/stucco exterior finish (Plate 34). The roof is clad with cedar shingles. A small stone springhouse is set into a hill at the northeast corner of the property near Hillside Road (Plate 35). It is square, and has a pyramidal roof with asphalt shingles and a central roof cupola. A stone stairway on its south elevation leads to an entrance door. It appears to date from the same period as the main house.

Applicable Historic Context: Piedmont Zone, Urbanization and Early Suburbanization: 1880-1940 ±; Themes: Architecture; Major Families, Individuals, and Events; Property Type—Early Twentieth-Century Colonial Revival.

Evaluation: This house was built by William A. Worth and Jane R. Worth in 1937. In 1994, the house was sold to the Intercollegiate Studies Institute by the heirs of Jane R. Worth (NCC Deed 1849-55). William Alexander Worth was a prominent industrial figure in Delaware during the early twentieth century, having established the Worth Steel Company in Claymont (north of Wilmington) during the early 1920s. The Worth Steel Company was one of the leading industries in Delaware during the early twentieth century. Worth served as vice-president and treasurer of the company, beginning in 1923 (Bevan 1929:81). The house was his home from its construction in 1937 until his death in 1983 (NCC Will 82093). The house and outbuildings possess a high degree of integrity of location, setting, design, materials, and feeling. The William A. Worth House is best evaluated for National Register eligibility as a contributing element in the proposed Centerville Road Historic District, which is described in the Summary and Conclusions chapter of this report.



PLATE 31: William A. Worth House, View to South

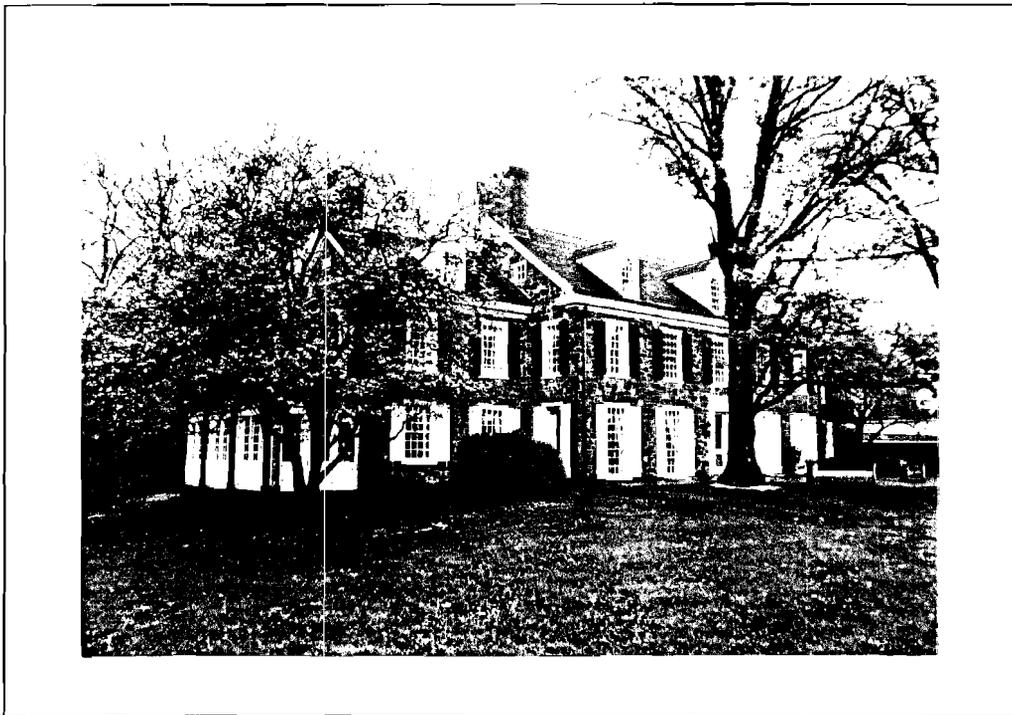


PLATE 32: William A. Worth House, View to Northwest



PLATE 33: William A. Worth House Garage, View to Northeast



PLATE 34: William A. Worth House Shed, View to East



PLATE 35: William A. Worth House Springhouse, View to East

9. William A. Dickson House (N-524)

West side of Centerville Road, at its intersection with Hillside Road

Tax Parcel 07-025.00-011

(Cultural Resource Survey Form in Appendix A)

Description: This property consists of a single dwelling, a garage, a springhouse, and a shed. The dwelling is a 2-story, 3x1-bay, side-gabled stone I-house dating from the late eighteenth century (Plates 36 and 37). The plan, which was originally rectangular, has been made irregular by additions which appear to range in date from the mid-nineteenth to the late twentieth centuries. The oldest section is constructed of uncoursed stone, covered with a thin layer of stucco. The principal facade, which faces south, has a one-story, screened-in porch with shed roof. The first- and second-story windows consist of wooden 6/6 double-hung sashes. The main entrance is a central door, flanked by two evenly spaced windows. The windows are set into openings having wooden frames constructed of 4-inch-wide rough-hewn timbers. The roof covering consists of slate. The main section has two interior gable-end chimneys constructed of brick.

The additions appear to have been built in three stages, beginning with a 1-bay, 2-story frame ell at the northeast corner of the north elevation which appears to date from the mid-nineteenth century. Its windows are 6/6 double-hung wooden sashes. Attached to the north gable of this ell is another one-story gabled section which appears to date from the mid-twentieth century. This section has both 6/6 and 1/1 double-hung windows. Both of these sections have asbestos siding and slate roofs. A third section, which is set into the inside corner of the ell, is a one-story frame structure which has vinyl siding and a metal standing-seam roof. The windows are vinyl-clad casements. This addition appears to date from the mid- to late twentieth century.

A mid- to late twentieth-century garage stands east of the house (Plate 38). It is a side-gabled, 2-bay building constructed of concrete block treated with stucco. Its roof is covered with asphalt shingles. South of the garage, by a stream near Centerville Road, is a stone springhouse which has a thin stucco coating (Plate 39). On the west gable is a datestone which reads: " W.D. 1790." The springhouse has a slate roof. Northwest of the house is a gabled stone shed, appearing to date from the mid-nineteenth century, which has a later concrete floor (Plate 40). The gables are pedimented and have wooden shingles. The roof is covered with asphalt shingles.

Applicable Historic Context: Piedmont Zone, Early Industrialization: 1770-1830 ±; Theme: Architecture; Property Type—Late Eighteenth-Century I-House.

Evaluation: Ownership of this property has been traced back to William and Susanna Dickson (also spelled Dixon or Dixson), who owned the land in the late eighteenth century. The datestone on the springhouse confirms that the springhouse was constructed in 1790, and the house, which has similar construction features, appears to have been built during the same period. Tax records from 1803 record William Dixon as owning 101 acres of land containing a stone house, a stone barn, a stone stable, and a stone gristmill (NCC Assessments 1803-4). In 1812, the Dicksons sold the land containing the house and farm buildings, but apparently not

the gristmill, to Reverend Samuel Henderson (NCC Deed M-3-419). Henderson sold the property to David Murphey in 1813 (NCC Deed L-3-524). Murphey owned the land until 1835, when he sold it to Richard Williams (NCC Deed S-4-441), who in turn quickly sold it to Joseph Guest in 1836 (NCC Deed V-4-359). Rae and Price depict J. Guest as the owner of a residence on this site in 1849 (see Figure 4), and Beers depicts Mrs. Guest as the owner in 1868 (see Figure 5). In the late nineteenth century, the land had passed to the ownership of William J. and Margaret Mandy, and was sold to Thomas Coleman DuPont in 1912 (NCC Deeds T-23-258 and X-23-128). Thomas Coleman DuPont sold this parcel to Ellen DuPont Meeds in 1926, and in 1937, Meeds sold it to Deborah B. Halsey Wilson (NCC Deeds M-40-339 and Z-34-343). Following her purchase, Wilson erected a new stone dwelling several hundred feet west of this house, and may have demolished one or more outbuildings in the process, as stone walls associated with this twentieth century-dwelling incorporate a datestone similar to the one on the springhouse. The datestone contains William Dickson's initials and is dated 1792. In 1970, after the death of Mrs. Wilson, the land was sold to Charles and Kathryn W. Cruice, who in turn sold the parcel to its present owners, J. Seth and Barbara Cruice, in 1989 (NCC Deeds Z-83-173 and 902-78).

The eligibility of this resource must be evaluated in light of the Delaware *Historic Context Master Reference and Summary*, which states that the survival rates for historic resources in the Piedmont Zone during the period of Early Industrialization: 1770-1830 \pm , are good for dwellings, workers' housing, taverns, and major architectural buildings, although historic landscapes and cultural resources from this period of significance are highly threatened in this zone.

The William A. Dickson House meets National Register Criterion C, as it represents the distinctive characteristics of a early nineteenth-century stone I-house. Although the house and existing outbuildings at the William Lowther Farm possess integrity of location, physical and documentary evidence shows that several of the historic outbuildings which were associated with this property are no longer extant, including a stone barn and stable, and a mill operation. These demolitions, as well as the construction of a new garage and the construction of the Deborah B. Halsey Wilson House west of the William Dickson House, have diminished the property's integrity of setting, feeling, and association. Additions and alterations to the house throughout the twentieth century have diminished the property's integrity of design, materials, and workmanship. The William A. Dickson House does not meet National Register Criteria with regard to integrity. The house must be considered a non-contributing element in the proposed Centerville Road Historic District, as it does not date to the period of significance of the district (Urbanization and Early Suburbanization: 1880-1940 \pm) and is not representative of the themes and styles characteristic of the district (Settlement Patterns and Demographic Change/Commuter Suburbs; Early Twentieth-Century Revival Styles). The Centerville Road Historic District is described in the Summary and Conclusions chapter of this report.



PLATE 36: William A. Dickson House, View to East



PLATE 37: William A. Dickson House, View to Southeast



PLATE 38: William A. Dickson House Garage, View to North



PLATE 39: William A. Dickson House Springhouse, View to East

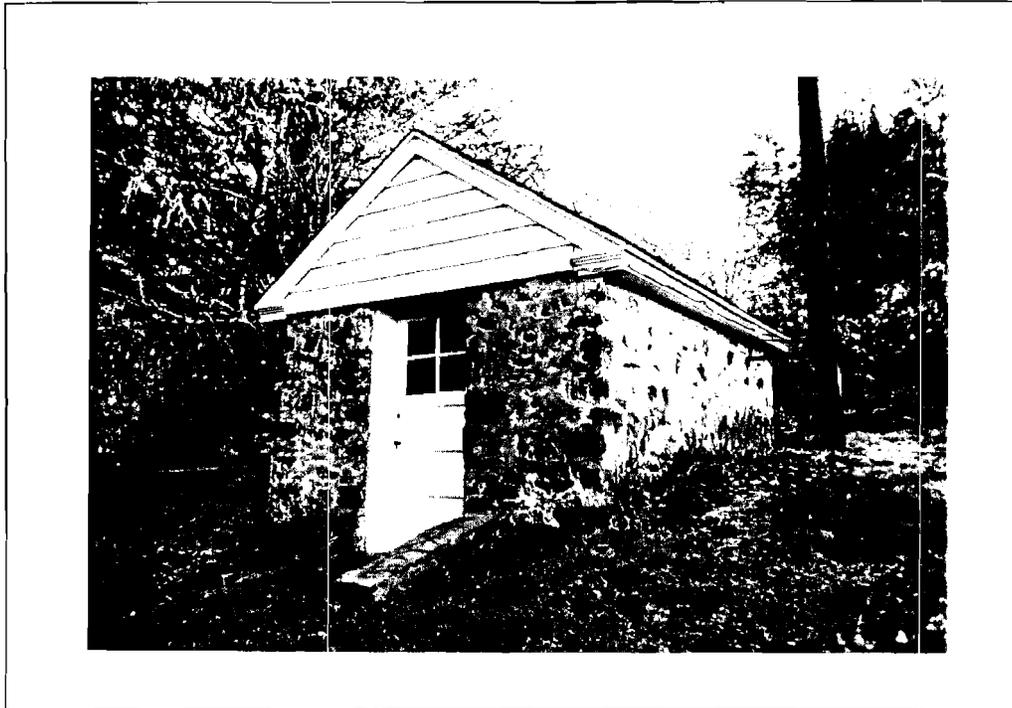


PLATE 40: William A. Dickson House Shed, View to West

10. Deborah B. Halsey Wilson House (N-13530)
4001 Centerville Road
Tax Parcel 07-025.00-011
(Cultural Resource Survey Form in Appendix A)

Description: This 2-story stone Colonial Revival-style house with an irregular plan is situated west of the William A. Dickson House at the end of a drive opposite Hillside Road (Plates 41 and 42). The materials and construction of this house are similar to those of the William A. Worth House. It is a side-gabled structure with its primary facade facing east. The building consists of five distinct sections: a 2-bay main or entrance section which has a 1-bay gabled wing attached to its north gable, and two side-gabled sections and one cross-gabled garage attached to its southern gable. Attached to the south elevation gable of the main section is a 2-bay wing, to which is attached another 2-bay wing. The cross-gabled garage is two bays wide. Windows consist primarily of 6/6 wooden double-hung sashes with 4-inch wooden surrounds; however, the main section has 9/6 double-hung windows on its first story. All first-story windows have recessed panel shutters, and the second-story windows have louvered shutters. Massive stone lintels and keystones identical to those on the William A. Worth House suggest that the same builder constructed both buildings. The roof, which is pierced by four brick chimneys, is clad with slate. A front entrance on the east elevation of the main section has a fanlight transom. Two shed-roofed, screened-in porches extend westward from the west elevation. A datestone set in the north elevation gable reads: "R.E.W. -1939- D.B.H.W."

South of the house lies a 1x2-bay, front-gabled, concrete-block garage on a concrete slab, with an asphalt-shingled roof (Plate 43). This garage dates from the mid-twentieth century. An in-ground concrete pool is situated near the north elevation of the house (Plate 44). A stone wall leading from the house to the pool has a datestone embedded in it which appears to have come from a building historically associated with the William A. Dickson House. It reads: "W^D S 1792." This appears to refer to William and Susanna Dickson, owners of the land during the late eighteenth century (NCC Deed M-3-419). North of the pool is a small frame shed with board and batten siding dating from the mid- to late twentieth century (Plate 45).

Applicable Historic Context: Piedmont Zone, Urbanization and Early Suburbanization: 1880-1940 ±; Theme: Architecture; Property Type—Early Twentieth-Century Colonial Revival.

Evaluation: The title history of this property is identical to that of the William A. Dickson House. The house was built in 1939 after Deborah B. Halsey Wilson purchased the land (NCC Deed 40-339). J. Seth and Barbara Cruice currently own this property (NCC Deeds Z-83-173 and 902-78). Although it is a fine example of early twentieth-century Colonial Revival architecture, it does not possess the high-style architectural qualities which distinguish other local examples of this relatively common architectural style, such as the neighboring William A. Worth House, and does not appear to meet National Register Criteria A, B, or C. The house may, however, be considered a contributing element in the proposed Centerville Road Historic District, which is described in the Summary and Conclusions chapter of this report.



PLATE 41: Deborah B. Halsey Wilson House, View to Northwest



PLATE 42: Deborah B. Halsey Wilson House, View to Southeast



PLATE 43: Deborah B. Halsey Wilson House Garage, View to South

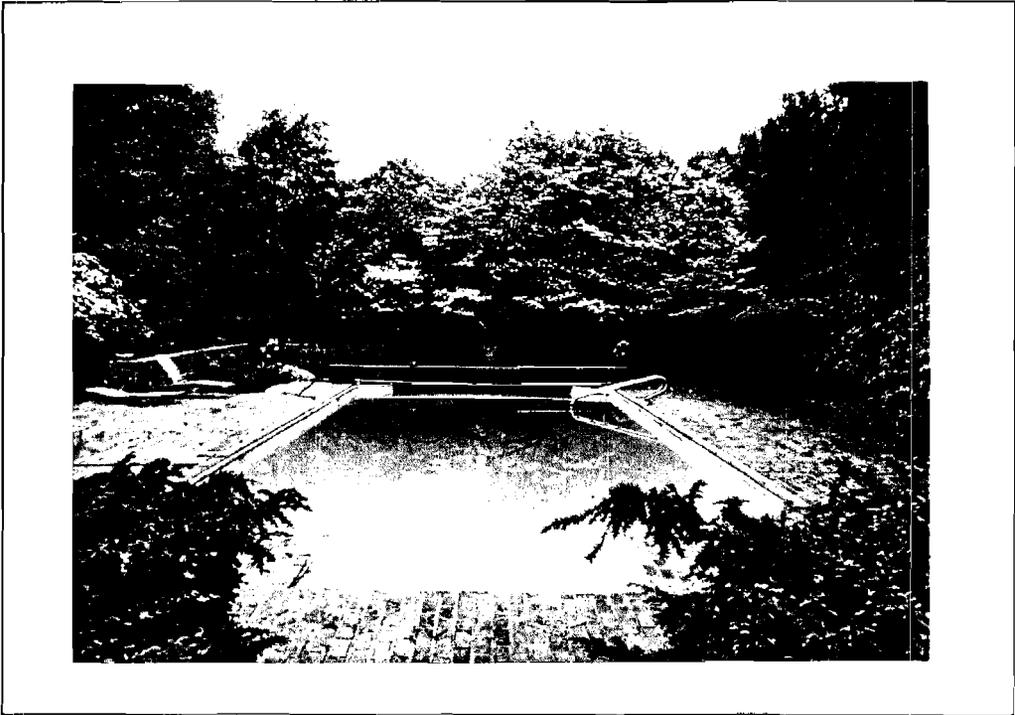


PLATE 44: Deborah B. Halsey Wilson House Pool, View to East



PLATE 45: Deborah B. Halsey Wilson House Shed, View to Northeast

11. Westbrae Tenant House (N-522)
1115 Hillside Road
Tax Parcel 07-025.00-13
(Cultural Resource Survey Form in Appendix A)

Description: This property consists of a dwelling and a garage. The house, which is set on a hill, consists of an original 3x2-bay, 1½-story side-gabled main block with a one-bay addition at the east gable end (Plates 46 and 47). The original section is frame, set on a stone foundation, with its principal elevation facing south. The first story of this elevation has a central entrance with a brick stairway and porch, covered by a shed roof. Windows on each side of the entrance have 6/6 wooden sashes. The roof is clad with asphalt shingles, and is pierced by a central interior ridge chimney. The 1x2-bay frame addition has a combination of 1/1 and 6/6 wooden sash windows. The rear of the house (north elevation) has a shallow roof pitch due to what appears to have been a late twentieth-century addition which raised the roof, creating a half story. Windows on the north elevation consist of a combination of late twentieth-century-style wooden 1/1 and 6/6 windows. The entire house is clad with vinyl siding.

A garage, which is constructed from a metal quonset hut with one curved side clipped to create an entrance bay, lies southwest of the house near Hillside Road. It appears to date from the mid-twentieth century (Plate 48).

Applicable Historic Context: Upper Peninsula Zone, Urbanization and Early Suburbanization: 1880-1940 ±; Theme: Architecture; Property Type—Folk Victorian.

Evaluation: According to the previous cultural resource survey form for this property, this dwelling was built as a tenant house associated with the mansion house of Frank and George Rhoads (Westbrae; see below) in the early twentieth century (DESHPO Cultural Resource Survey Form No. 522). George and Frank Rhoads sold this property to Walter Pyle in 1918 (NCC Deed Q-27-82). Walter Pyle was an owner of the prominent C. and W. Pyle Leather Goods Company in Wilmington at the turn of the century (Conrad 1908:386; DESHPO Cultural Resource Survey Form No. 521). Walter Pyle died in 1919, leaving the property to his son, Walter Pyle, Jr. (NCC Will N-4-131). In 1936, Walter Pyle, Jr., heir of Walter Pyle, Sr., sold the house back to George A. Rhoads (NCC Deed B-40-533). Upon the death of George Rhoads, the property was sold to Frank and Amalia Manegold, and then by Amalia Manegold to Robert K. Beste in 1956 (NCC Deeds Q-42-37 and Q-57-18). Beste sold the property to its present owners, Peter and Jeanne Huang, in 1980 (NCC Deed Z-111-24). This property does not possess sufficient architectural or historical significance to be eligible for the National Register of Historic Places. Furthermore, extensive alterations and additions have greatly diminished the property's integrity of design, materials, and workmanship. Due to these extensive alterations, the Westbrae Tenant House would be considered a non-contributing element in the proposed Centerville Road Historic District, which is described in the Summary and Conclusions chapter of this report.



PLATE 46: Westbrae Tenant House, View to North



PLATE 47: Westbrae Tenant House, View to Southeast



PLATE 48: Westbrae Tenant House Garage, View to Northwest

12. Westbrae (N-521)
1101 Hillside Road
Tax Parcel 07-025.00-014
(Cultural Resource Survey Form in Appendix A)

Description: This property consists of a large dwelling, three garages, and a pool. The dwelling is a large 2½-story, stone Dutch Colonial Revival-style house dating from the early twentieth century (Plates 49 and 50). It is a 5x3-bay, side-gabled stone house with stone interior end chimneys which rise above a gambrel roof. The roof is clad with cedar shingles. Most windows are 6/1 double-hung wooden sashes with elaborate molded wooden sills and stone lintels with keystones. Both roof slopes have three pedimented dormers. The principal facade faces west, and has a central-gabled portico entrance with concave ceiling. Both gable ends of the house have one-story enclosed porches with flat roofs which have decorative wooden balustrades. The porch roofs are supported by round wooden columns of the Tuscan Doric order. The east elevation has a central porte cochere which has a flat roof surrounded by a balustrade. The porte cochere roof is supported by two Doric-order columns. Centered on the porte cochere roof is a small arched window with leaded panes. A datestone on the south gable wall reads: "C.F.R. 1907."

Northwest of the house is an in-ground concrete pool (Plate 51). East of the house stands a 1x2-bay, front-gabled frame garage with a combination of vertical beaded-board and plywood siding (Plate 52). The roof is clad with asphalt shingles. This garage, which appears to date from the early twentieth century, is in poor condition. Southwest of this garage is a 1½-story, gabled garage with an L-plan (Plate 53). The building appears to have been constructed in two phases. A 3x1-bay section, which appears to date from the early twentieth century, has a stone foundation, central stone chimney, and gambrel roof, with a single dormer on both its northern and southern roof slopes. A one-story ell attached to the north elevation of this garage has a brick chimney. This ell appears to date from the mid-twentieth century. Both sections are clad with a combination of german siding and asphalt shingles. Windows consist of a variety of fixed-pane sashes and 2/2 and 6/6 double-hung. The interior of the half story of the main section appears to be finished, and may have been used as living quarters at some time. A steel quonset-hut garage identical to the one on the Westbrae Tenant House property is situated east of this garage (Plate 54).

Applicable Historic Context: Upper Peninsula Zone, Urbanization and Early Suburbanization: 1880-1940 ±; Theme: Architecture; Property Type—Early Twentieth-Century Colonial Revival.

Evaluation: This property's chain of title is identical to that of the Westbrae Tenant House until 1955, when the Manegolds sold this part of the property to Theodore L. Cairns (NCC Deed L-56-434). In 1984, Cairns sold it to Eileen Ward, and the title changed hands three more times before the property was purchased by its present owners, Kenneth S. and Alice J. Piech (NCC Deeds A-126-59, R-125-113, 636-262, and 1545-21). The house was constructed by George A. Rhoads in 1907, and sold to Walter Pyle in 1918. Walter Pyle was an owner of the prominent C. and W. Pyle Leather Goods Company in Wilmington at the turn of the century (Conrad

1908:386; DESHPO Cultural Resource Survey Form No. 521). When the land was sold back to George Rhoads in 1937, he developed a small spring water business on part of the property, which became known as Westbrae Springs. Westbrae is a good example of the early twentieth-century Dutch Colonial Revival style, possessing integrity of location and a high degree of integrity of design, materials, workmanship, feeling, and association. The house is eligible for the National Register of Historic Places as a contributing element in the proposed Centerville Road Historic District, which is described in the Summary and Conclusions chapter of this report.



PLATE 49: Westbrae, View to Northeast



PLATE 50: Westbrae, View to Southwest

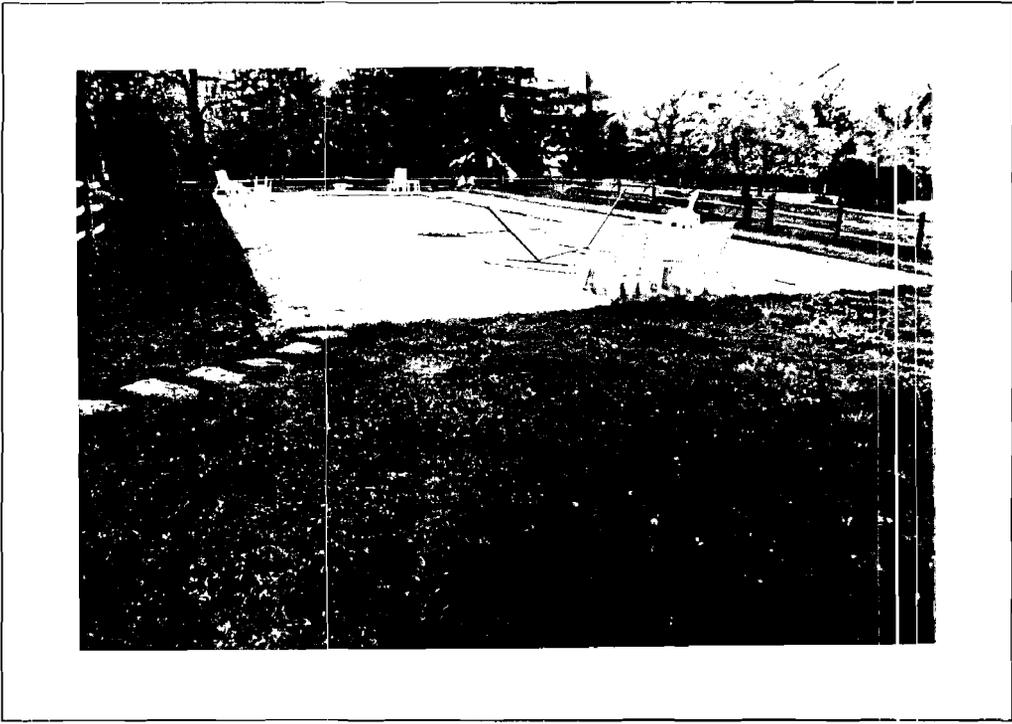


PLATE 51: Westbrae Pool, View to West



PLATE 52: Westbrae Garage No. 1, View to East



PLATE 53: Westbrae Garage No. 2 , View to Northeast

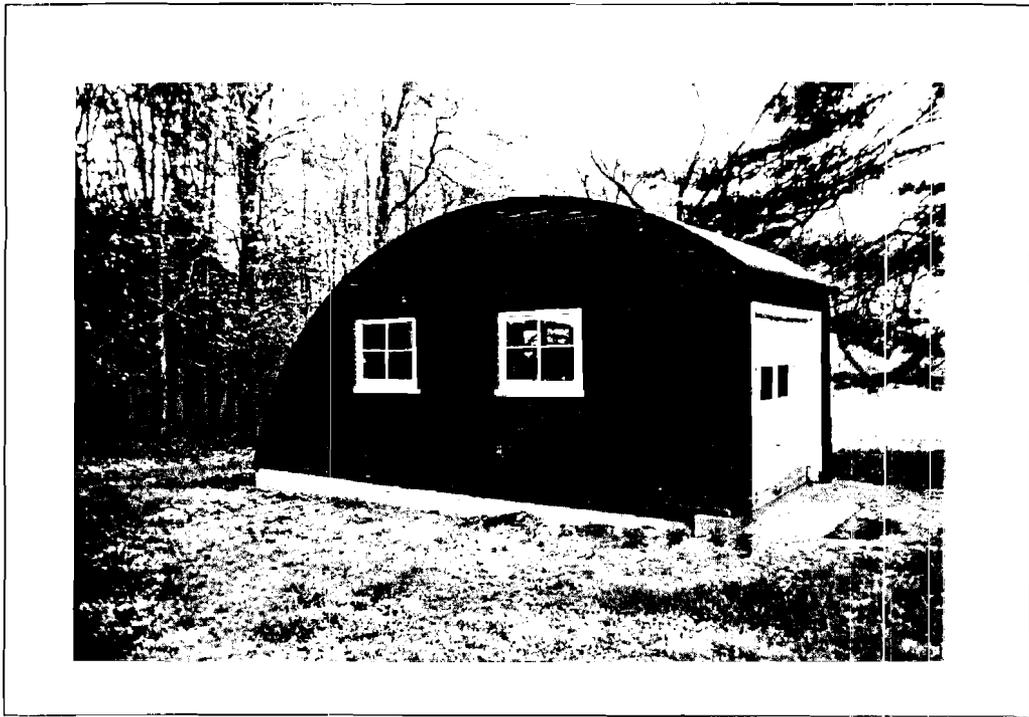
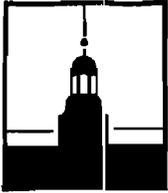


PLATE 54: Westbrae Garage No. 3 , View to East

APPENDIX A

Cultural Resource Survey Forms



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13524
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage _____

1. NAME OF PROPERTY: Bridge No. 136-A
2. STREET LOCATION: Centerville Road, 1/2 mile north of Barley Mill Road
3. OWNER'S NAME: Delaware Department of Transportation TEL. #: _____
ADDRESS: _____
4. TYPE OF RESOURCE(S): building _____ structure site _____
object _____ district _____ landscape _____
5. SURROUNDINGS: (check more than one if necessary)
fallow field _____ cultivated field _____ woodland _____
scattered buildings densely built up _____ other _____
6. FUNCTION: original _____ Bridge present _____ Bridge
7. LIST ADDITIONAL FORMS USED:
CRS-6 (1)

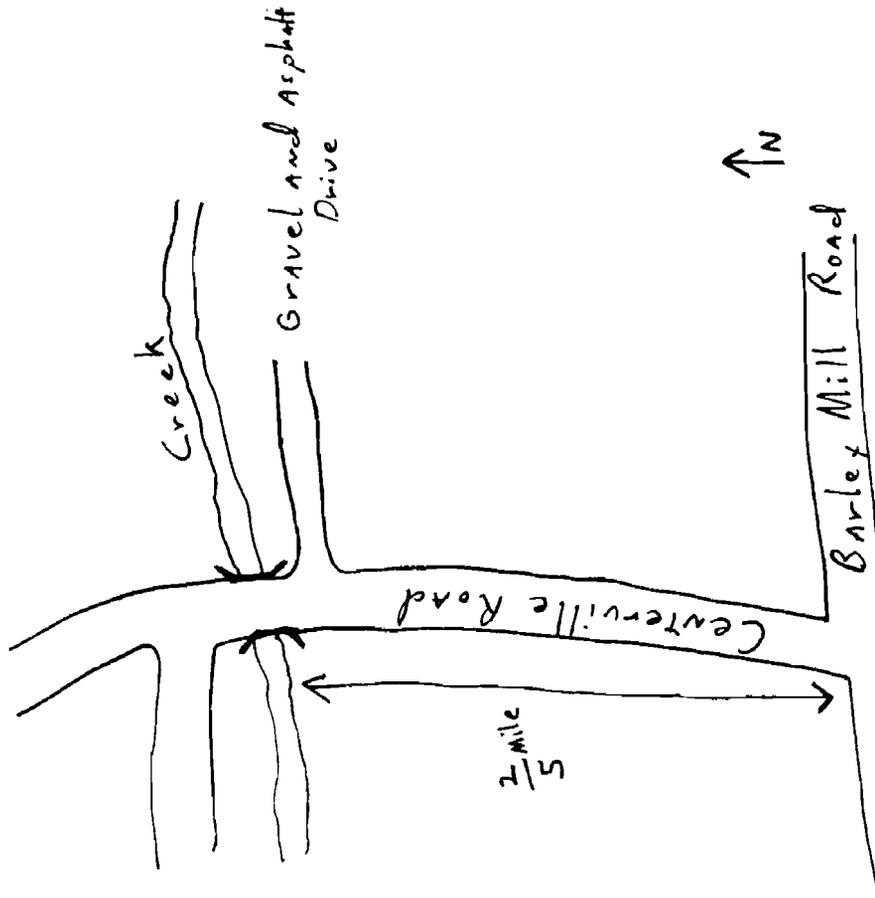
8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775
ORGANIZATION: Louis Berger & Associates Inc. DATE: 6/1/96
ADDRESS: 100 Halsted Street, East Orange NJ 07019

USE BLACK INK ONLY

CRS # N-13524

9. LOCATION MAP:

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
 - b) Associated traditions or stories
 - c) Noteworthy features
 - d) Comparison with others in area
 - e) Threats
 - f) Additional documentation
- d: similar to bridge No. 136 on Barley Mill Road.
f: additional documentation available in DelDOT bridge inspection files

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940
- b) Historic theme(s) Transportation and Communication

12. EVALUATION Eligible?: Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria

13. CERTIFICATION:

Surveyor: [Signature]

Date 6/20/96

PI: [Signature]

Date 6/21/96

CRS-1

8. DESCRIPTION (cont'd):

CRS # N-13524

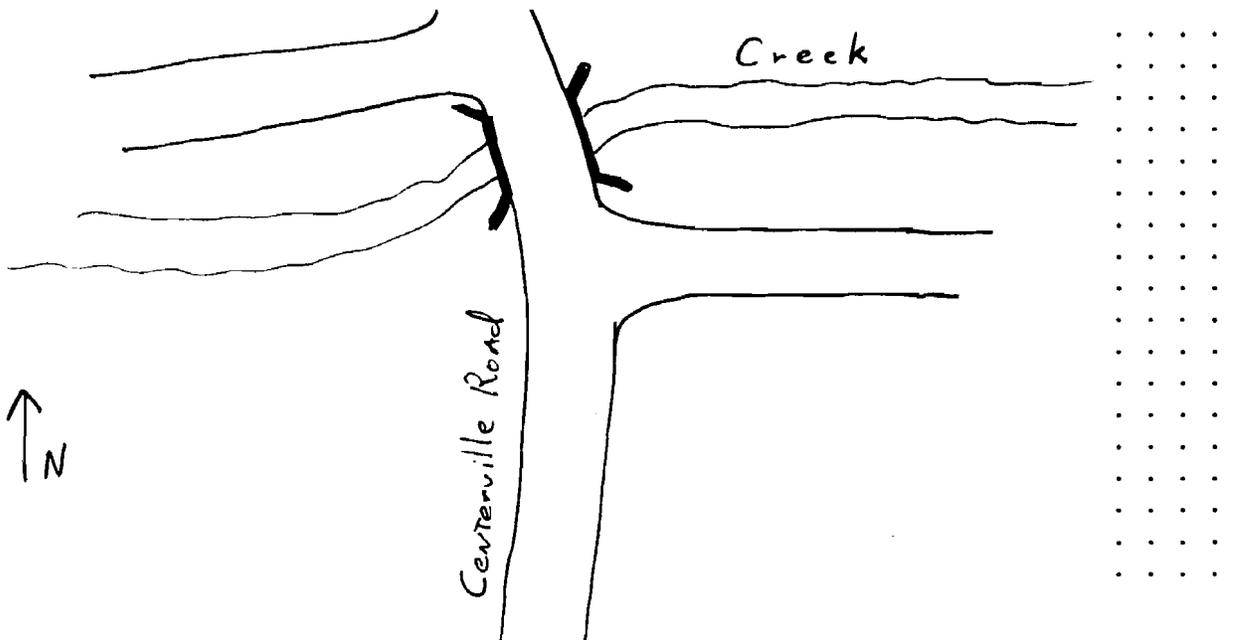
- e) Openings (if applicable)
 - doors
 - windows
 - access

- f) Interior (if applicable)
 - volume
 - linings

- g) Systems (if applicable)
 - heating/ventilating/cooling
 - plumbing
 - electrical
 - lighting

9. ASSOCIATED RESOURCES: _____

10. PLAN SKETCH MAP:



IND

11. SURVEYOR: David C. Berg DATE OF FORM: 6/20/86

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13525
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 2.15

1. NAME OF PROPERTY: Henry B. Thompson House
2. STREET LOCATION: East side of Centerville Road (SR 273) 1/4 mile North of
Barley Mill Road (SR 259).
3. OWNER'S NAME: John Rogers Long TEL. #: _____
ADDRESS: _____
4. TYPE OF RESOURCE(S): building structure _____ site _____
object _____ district _____ landscape _____
5. SURROUNDINGS: (check more than one if necessary)
fallow field _____ cultivated field _____ woodland _____
scattered buildings densely built up _____ other _____
6. FUNCTION: original Dwelling present Dwelling
7. LIST ADDITIONAL FORMS USED:
CRS-2; CRS-3 (3)

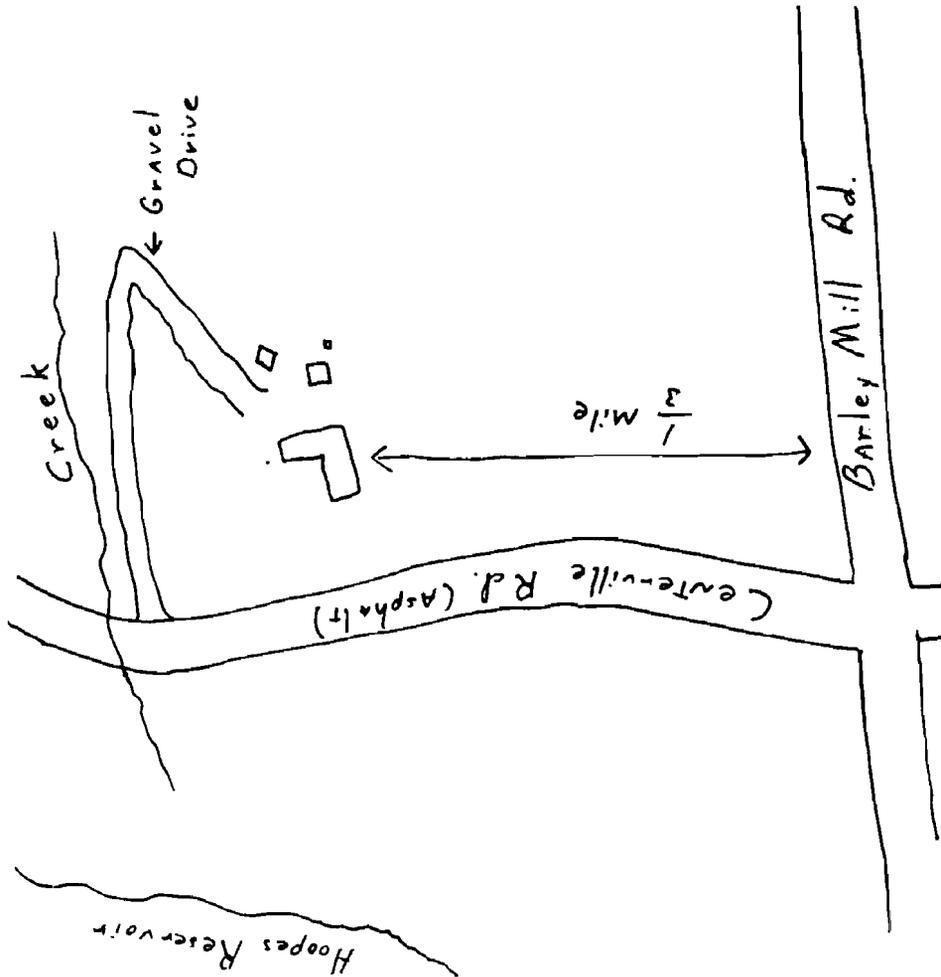
8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775
ORGANIZATION: Louis Berger & Associates DATE: 6/1/96
ADDRESS: 100 Halsted Street East Orange, NJ 07019

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # N-13525

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

c: Large L addition in 1995 has destroyed integrity.
All windows replaced at this time. Previous garage demolished.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization & Early Suburbanization 1880-1940
- b) Historic theme(s) Architecture

12. EVALUATION Eligible?: Yes() No(X) Potential() Unknown()

- a) Area(s) of significance
- b) NR criteria

13. CERTIFICATION:

Surveyor: David R. [Signature]

Date 6/19/96

PI: Dr. A. [Signature]

Date 6/21/96

CRS-1



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # N-13525
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 2.15

1. ADDRESS OF PROPERTY: East side of Centerville Road (SR 273) 1/4 mile north of
Barley Mill Road (SR 259)

2. DATE OF INITIAL CONSTRUCTION: circa 1927

3. FLOOR PLAN/STYLE: Gable-side, 5-bay, Colonial Revival Style

4. ARCHITECT/BUILDER:

5. INTEGRITY: original site moved

if moved, when and from where

list major alterations and dates (if known) 1995 - Large "L" addition which
doubled size of original building.

6. CURRENT CONDITION: excellent good

fair poor

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape "L"
stories 2 1/2
bays 5x2-bay, rectangular (historic) 3x2-bay ell (addition)
wings 2-story, 3-bay wing on east gable; 1 1/2 story 2-bay wing add. to this.
- b) Structural system Stone original section, frame additions.
- c) Foundation
materials stone foundation on all sections.
basement full basement
- d) Exterior walls (modern over original)
materials stucco on all exterior surfaces
color(s) white
- e) Roof
shape; materials Medium gable; Wood shingles.
cornice Molded cornice
dormers 3 original dormers, each slope of main roof. 2 dormers on wing
chimney location(s) 1 original interior stone chimney on west elevation. 1 -
similar chimney on addition gable. 1 interior stone chimney on wing gable.

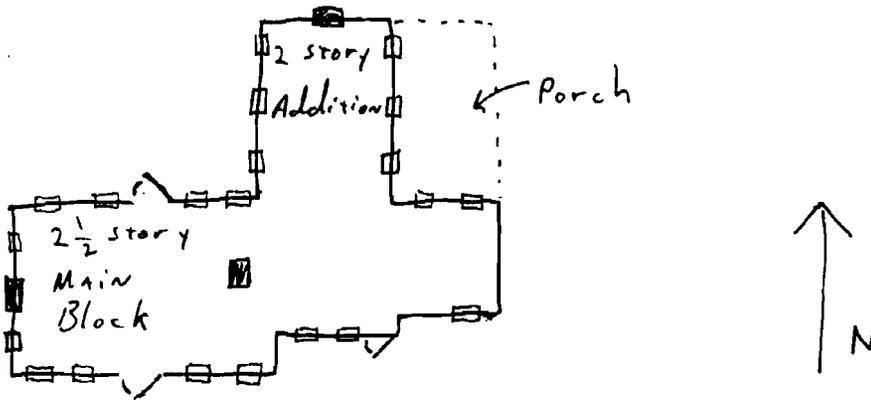
USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # N-13525

- f) Windows
 - spacing Generally regular fenestration, except for south elevation (2 bay-windows)
 - type 6/6 sash some 8/8 sash double-hung- all appear new - circa 1995
 - trim 4-inch surrounds with molded outer edges, wood sills.
 - shutters recessed panel wood, and louvered shutters wood
- g) Door
 - spacing south elevation, center
 - type recessed panel door
 - trim
- h) Porches
 - location(s) east elevation gable
 - materials wood floor, shed roof, screened-in
 - supports stone
 - trim
- i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: [Signature] DATE OF FORM: 6/19/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13525
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 2.15

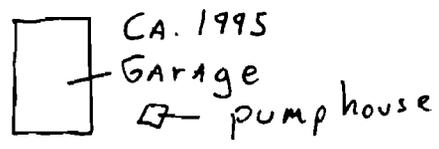
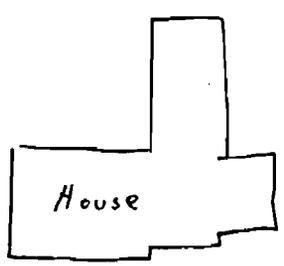
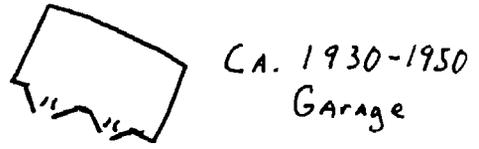
1. ADDRESS OF PROPERTY: East side of Centerville Road (SR 273) 1/4 mile north of Barley Road (SR259) Mi
2. FUNCTION: Garage
3. DATE: circa 1930-1950
4. STYLISTIC FEATURES: rectangular, concrete block with stucco
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system Concrete block
 - b) Wall coverings stucco
 - c) Wall openings
 - windows none
 - doors two large double door openings on south elevation
 - other
 - d) Foundation concrete
 - e) Roof
 - structural system gable-side
 - coverings asphalt shingle
 - openings none
 - f) Interiors
 - floor plan
 - partition/walls
 - interior finish
 - furnishings/machinery

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13525

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR: *[Signature]*

DATE OF FORM: 6/19/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13525
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 2.15

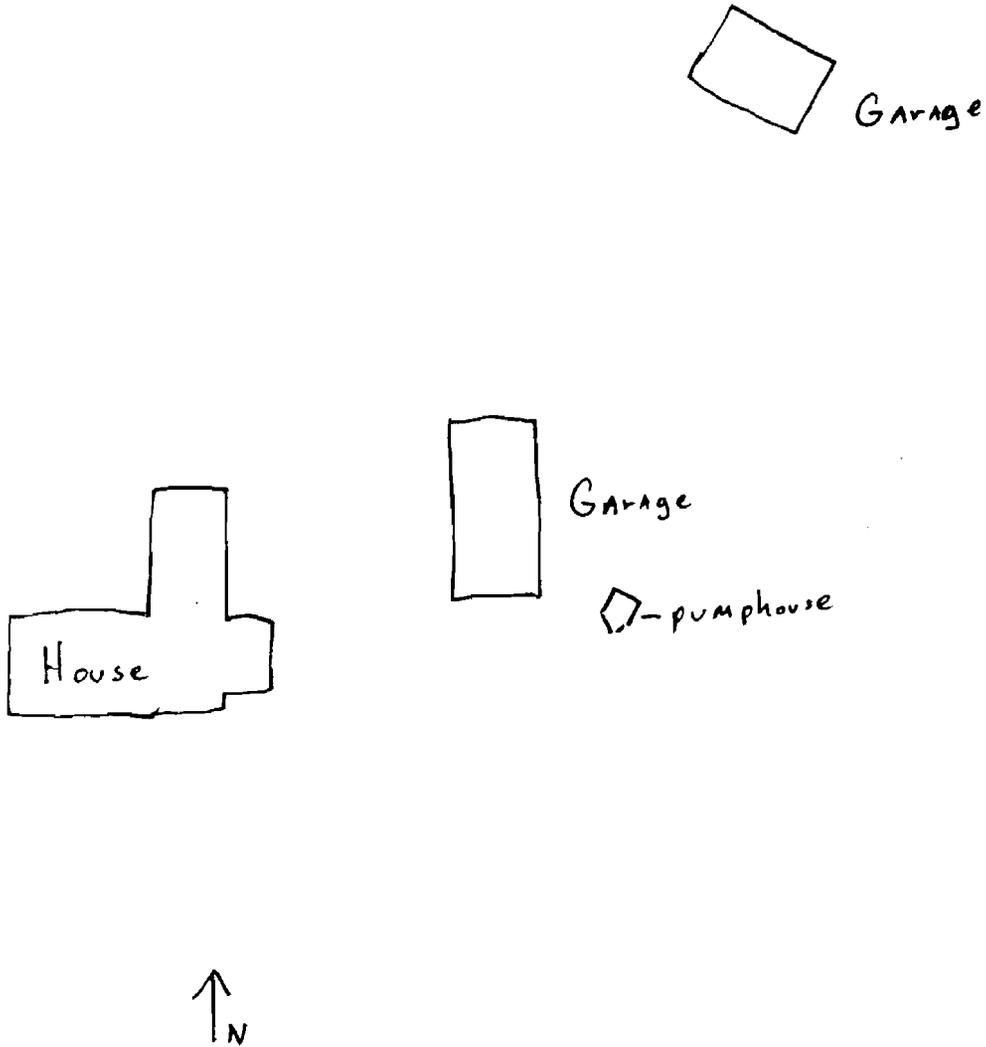
1. ADDRESS OF PROPERTY: East side of Centerville Road (SR 273) 1/4 mile north of Barley Mill Road (SR 259)
2. FUNCTION: Pump House
3. DATE: circa 1930-1950
4. STYLISTIC FEATURES: square, concrete block with stucco
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system concrete block
 - b) Wall coverings stucco
 - c) Wall openings
 - windows none
 - doors 1 door, wood with 9-light window
 - other _____
 - d) Foundation concrete
 - e) Roof
 - structural system frame, gable-front
 - coverings asphalt shingles
 - openings _____
 - f) Interiors
 - floor plan _____
 - partition/walls _____
 - interior finish _____
 - furnishings/machinery _____

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13525

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

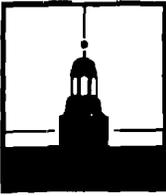
8. SURVEYOR:

[Handwritten signature]

DATE OF FORM:

6/20/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13525
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 2.15

1. ADDRESS OF PROPERTY: East side of Centerville Road (SR 273) 1/4 mile north of Barley Mill Road (SR 259)
2. FUNCTION: Garage
3. DATE: 1995
4. STYLISTIC FEATURES: Rectangle, concrete block with stucco, 8-inch wide clapboard
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system Concrete block walls to 9 feet, frame walls on 1/2 story
 - b) Wall coverings Stucco on concrete block, 8-inch clapboard (wood) on frame walls
 - c) Wall openings
windows 6/6 double hung wood sashes
doors 1 entrance door, 3 overhead garage doors on west elevation.
other two 1/2 story dormers with 6/6 double-hung windows on west elevation
 - d) Foundation Concrete foundation
 - e) Roof
structural system gable-side corrugated metal roof
coverings corrugated metal
openings two dormers on west slope
 - f) Interiors
floor plan

partition/walls

interior finish

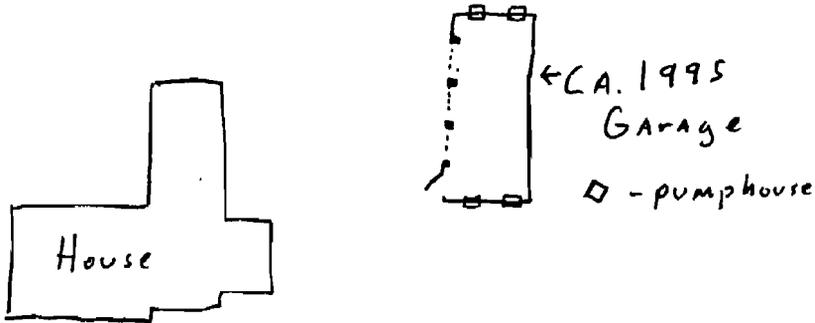
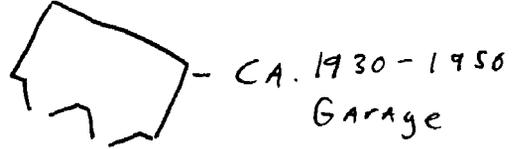
furnishings/machinery

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13525

Show relationship to main building and provide sketch plan of outbuilding.



.....
INDICATE NORTH ON SKETCH

8. SURVEYOR:

David R. [Signature]

DATE OF FORM:

6/20/96

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13526
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 6

1. NAME OF PROPERTY: Frank G. Tallman House
2. STREET LOCATION: 3800 Centerville Road
3. OWNER'S NAME: Gary and Angela Greenberg TEL. #: _____
ADDRESS: _____
4. TYPE OF RESOURCE(S): building structure _____ site _____
object _____ district _____ landscape _____
5. SURROUNDINGS: (check more than one if necessary)
fallow field _____ cultivated field _____ woodland _____
scattered buildings densely built up _____ other _____
6. FUNCTION: original Dwelling present Dwelling
7. LIST ADDITIONAL FORMS USED:
CRS-2 CRS-3 (2)

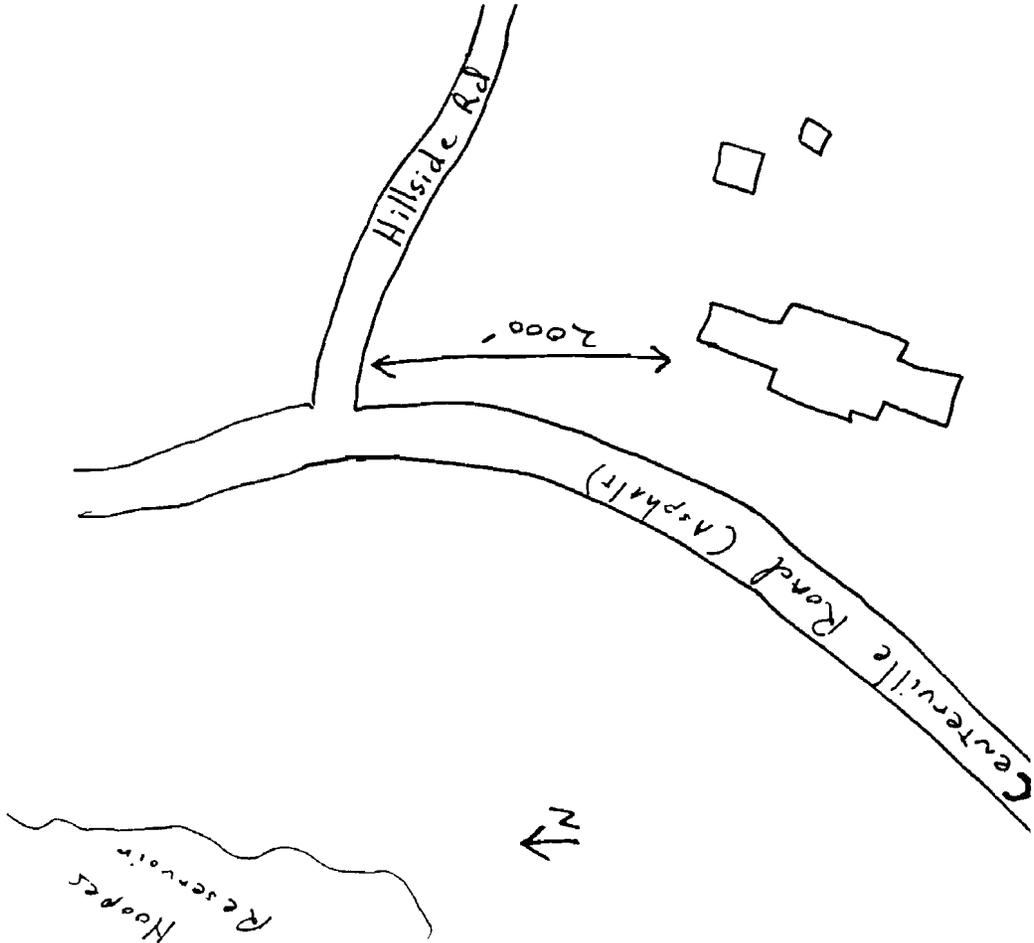
8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775
ORGANIZATION: Louis Berger & Associates, Inc. DATE: 6/1/96
ADDRESS: 100 Halsted Street, East Orange, NJ 07019

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # N-13526

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

Intact Colonial Revival Style, not as elaborate as other examples in vicinity such as William A. Worth House.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940
- b) Historic theme(s) Architecture

12. EVALUATION Eligible?: Yes No Potential Unknown

- a) Area(s) of significance History, Architecture
- b) NR criteria Contrib. Resource in Centerville Road Historic District - A; C;

13. CERTIFICATION:

Surveyor: David J. [Signature]

Date 6/29/81

PI: [Signature]

Date 6/21/86



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # N-13526
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 6

1. ADDRESS OF PROPERTY: 3800 Centerville Road
2. DATE OF INITIAL CONSTRUCTION: circa 1939
3. FLOOR PLAN/STYLE: Gable-cross, / Colonial Revival Style
4. ARCHITECT/BUILDER: _____

5. INTEGRITY: original site moved _____
if moved, when and from where _____
list major alterations and dates (if known) _____

6. CURRENT CONDITION: excellent _____ good
fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape Rectangular
stories 2 1/2 story with 1 1/2 story sections
bays 3x2-bay main section with 2x2-bay wings; 2x2-bay garage on N.wing, porch on S
wings 1 1/2 story 2-bay wings on N. and S. gable ends.
- b) Structural system brick walls with some frame sections.
- c) Foundation
materials concrete
basement full basement
- d) Exterior walls (modern over original)
materials brick, 8-inch clapboard on gables and porch.
color(s) white paint
- e) Roof
shape; materials gabled with slate
cornice boxed cornice
dormers Wings: 2 dormers on W. Elv. Main section: 3 dormers on E. Elv.
chimney location(s) one exterior brick on north elv. gable of main section
one interior brick on the ridge of the south elv. wing.

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # N-13526

f) Windows

spacing irregular variety, generally in pairs of bays except cross gable.
type 6/6, 12/12, 8/12 double-hung wood
trim 4-inch wood surrounds
shutters 1st-story: paneled wood, 2nd story: louvered wood

g) Door

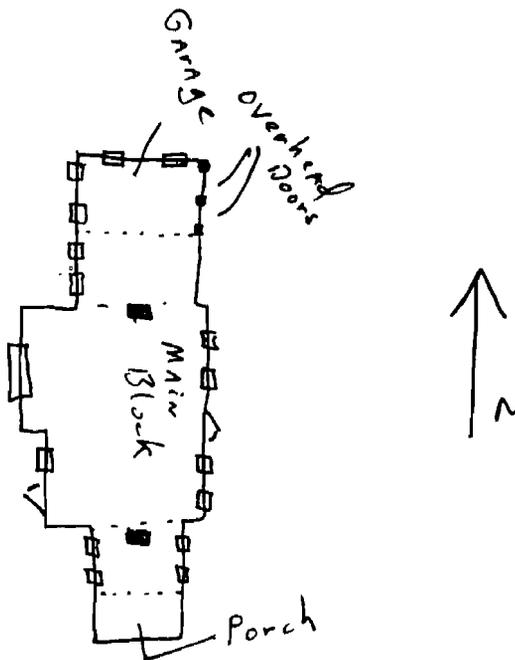
spacing southernmost bay of main section west elev.
type paneled wood door
trim

h) Porches

location(s) south elevation wing
materials brick floor, shed roof with slate, multi-pane window sashes (fixed)
supports concrete foundation
trim

i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR:

David C. Berg

DATE OF FORM:

6/20/86

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13526
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 6

1. ADDRESS OF PROPERTY: 3800 Centerville Road
2. FUNCTION: Shed
3. DATE: circa 1950
4. STYLISTIC FEATURES: rectangular frame, minimal colonial revival
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system Frame, side-gabled
 - b) Wall coverings vertical wood siding
 - c) Wall openings
windows 6-pane fixed wood sash (1)
doors wood door built from siding material
other
 - d) Foundation concrete or concrete slab
 - e) Roof
structural system frame, gabled
coverings cedar shingles
openings none
 - f) Interiors
floor plan

partition/walls

interior finish

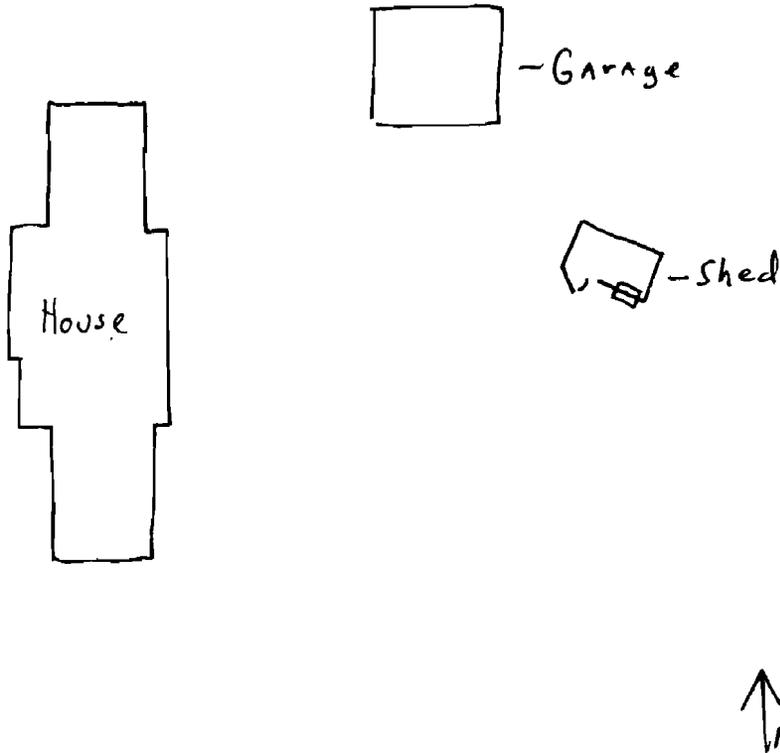
furnishings/machinery

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13526

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR: David C Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13526
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 6

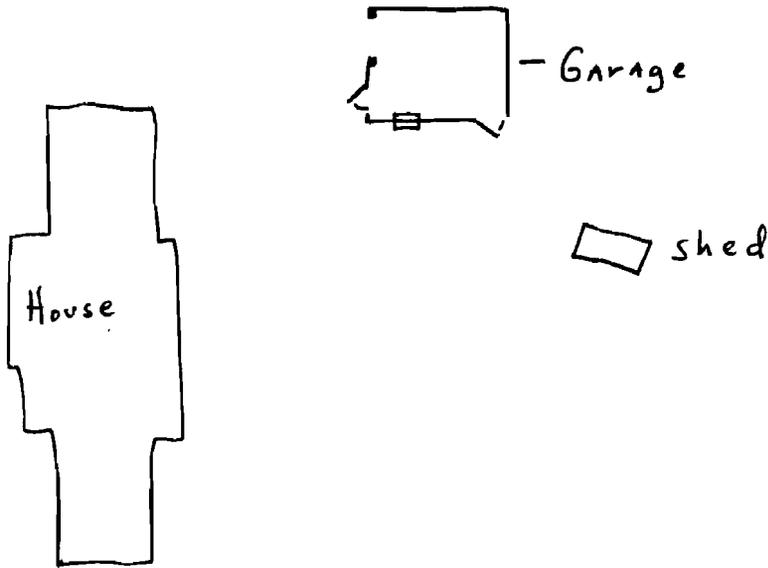
1. ADDRESS OF PROPERTY: 3800 Centerville Road
2. FUNCTION: Garage
3. DATE: circa 1985
4. STYLISTIC FEATURES: rectangular with Colonial Revival Styling, gable-front
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system Brick walls, frame pedimented gable
 - b) Wall coverings Brick with aluminum siding on pedimented gable
 - c) Wall openings
windows 6/6 double-hung on gable pediment, 6/6 double-hung on sides
doors overhead garage door and paneled wood entrance door with 4-pane light.
other _____
 - d) Foundation concrete
 - e) Roof
structural system frame gabled with pent roof on west gable end
coverings asphalt shingles
openings none
 - f) Interiors
floor plan _____
partition/walls _____
interior finish _____
furnishings/machinery _____

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13526

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY

DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13527
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 6

1. NAME OF PROPERTY: George R. Beach House

2. STREET LOCATION: 3801 Centerville Road

3. OWNER'S NAME: Georgina M. Bissell TEL. #: _____

ADDRESS: _____

4. TYPE OF RESOURCE(S): building structure _____ site _____
object _____ district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____

scattered buildings densely built up _____ other _____

6. FUNCTION: original Dwelling present Dwelling

7. LIST ADDITIONAL FORMS USED:

CRS-2 CRS-3 (2)

8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775

ORGANIZATION: Louis Berger & Associates, Inc. DATE: 6/1/96

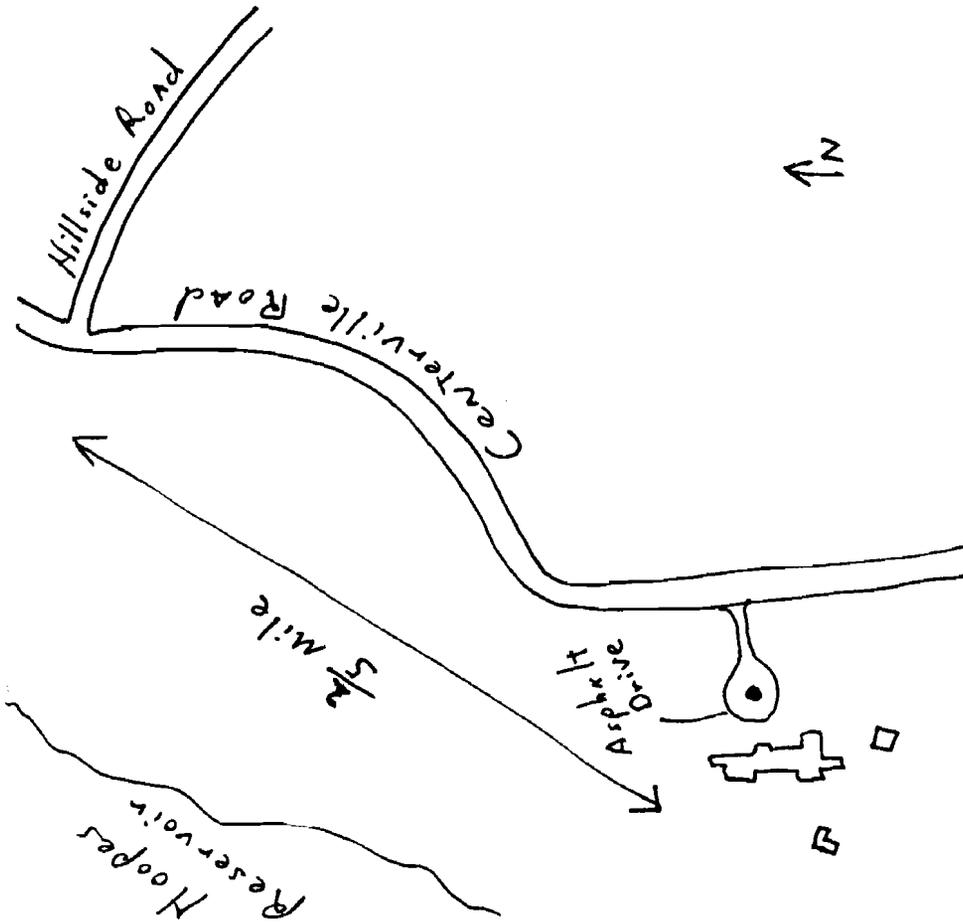
ADDRESS: 100 Halsted Street, East Orange NJ 07019

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # N-13527

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
 - b) Associated traditions or stories
 - c) Noteworthy features
 - d) Comparison with others in area
 - e) Threats
 - f) Additional documentation
- d: unusual French Eclectic Style among a preponderance of Colonial Revival Style dwellings.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940
- b) Historic theme(s) Architecture

12. EVALUATION Eligible?: Yes (X) No () Potential () Unknown ()

- a) Area(s) of significance History, Architecture
- b) NR criteria Contrib. Resource in Centerville Road H.O. A; c

13. CERTIFICATION:

Surveyor:

[Signature]

Date 6/20/96

PI: *[Signature]* Date 6/20/96



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # N-13527
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 6

1. ADDRESS OF PROPERTY: 3801 Centerville Road
2. DATE OF INITIAL CONSTRUCTION: circa 1939
3. FLOOR PLAN/STYLE: Hipped roof, 9-bay principal facade, irregular/ French Eclectic
4. ARCHITECT/BUILDER: _____
5. INTEGRITY: original site moved _____
if moved, when and from where _____
list major alterations and dates (if known) _____
6. CURRENT CONDITION: excellent _____ good
fair _____ poor _____
7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:
 - a) Overall shape
stories 2 stories
bays 9-bay principal facade-east elevation, asymmetrical plan
wings northernmost single bay is 1-story wing, 2 story win on south elevation
 - b) Structural system brick-load bearing
 - c) Foundation
materials brick
basement full basement
 - d) Exterior walls (modern over original)
materials brick
color(s) spotty whitewash
 - e) Roof
shape; materials hipped roof with asbestos/terra cotta shingles
cornice none
dormers
chimney location(s) two interior brick chim neys, one on west slope of main section, the other on east slope of south wing.

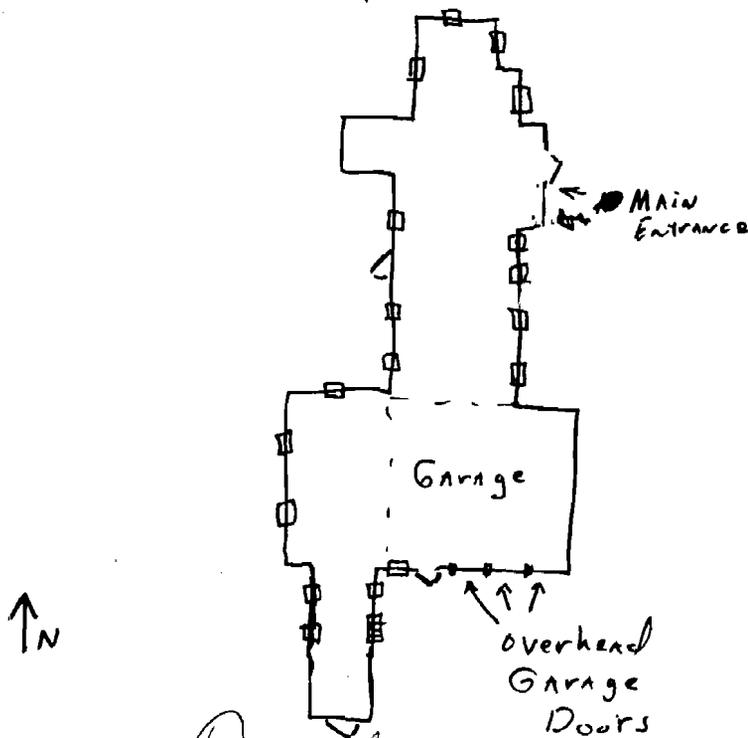
USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # N-13527

- f) Windows
 - spacing regular fenestration except for window above main entrance
 - type full length casemets (French Doors) on 1st Story, 3-pane casements on 2nd
 - trim
 - shutters Louvered wood shutters
- g) Door
 - spacing Main entrance off center, 4th bay from north corner.
 - type louvered wood door, no windows.
 - trim 4-inch surrounds, louvered shutters
- h) Porches
 - location(s)
 - materials
 - supports
 - trim
- i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:



9. SURVEYOR: David C. Berg

DATE OF FORM: 6/20/46

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13527
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 6

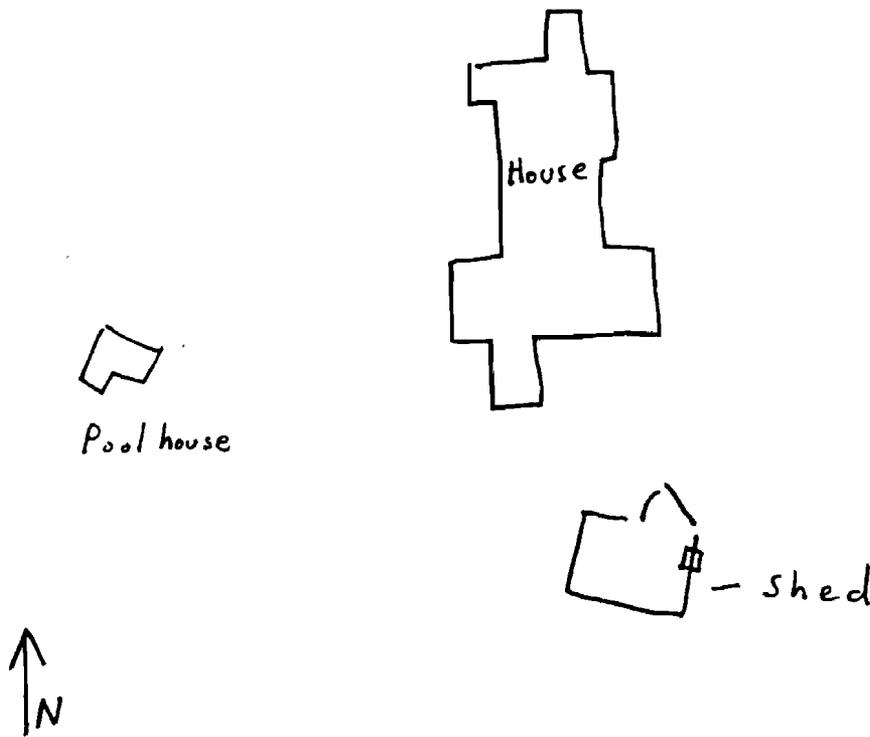
1. ADDRESS OF PROPERTY: 3801 Centerville Road
2. FUNCTION: Shed
3. DATE: circa 1940
4. STYLISTIC FEATURES: square, concrete block with brick facade, gable-side
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system concrete block
 - b) Wall coverings brick north elevation facade, painted white
 - c) Wall openings
windows
doors
other
 - d) Foundation concrete
 - e) Roof
structural system frame
coverings asphalt shingles
openings none
 - f) Interiors
floor plan
partition/walls
interior finish
furnishings/machinery

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13527

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13527
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 6

1. ADDRESS OF PROPERTY: 3801 Centerville Road

2. FUNCTION: Pool House

3. DATE: circa 1940-1950

4. STYLISTIC FEATURES: _____

5. ARCHITECT/BUILDER: _____

6. DESCRIPTION:

a) Structural system frame and concrete block

b) Wall coverings

c) Wall openings
windows
doors
other

d) Foundation

e) Roof
structural system
coverings
openings

f) Interiors

floor plan

partition/walls

interior finish

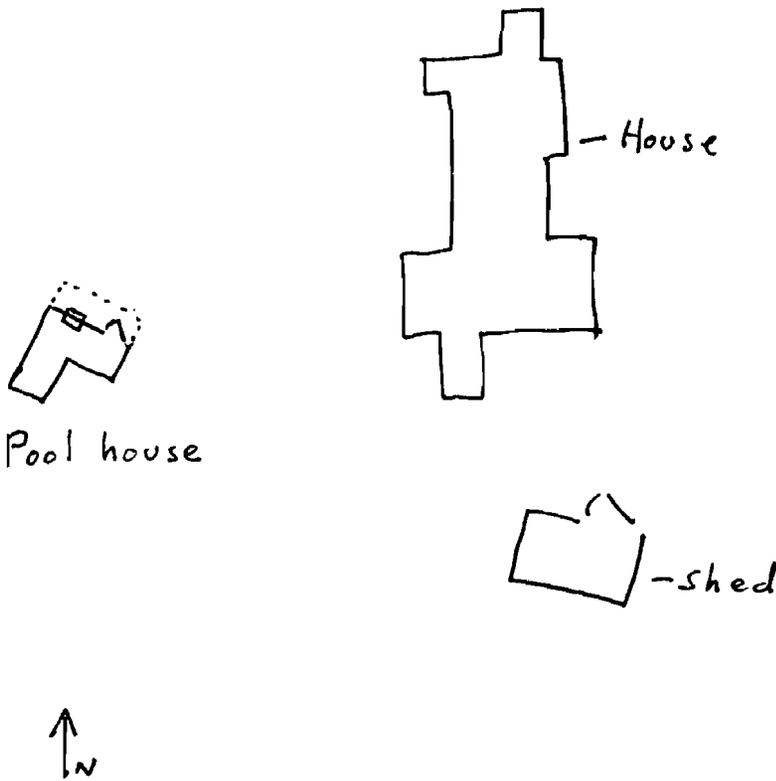
furnishings/machinery

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13527

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR: David C. Berg DATE OF FORM: 6/20/86

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13528
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 5.86

1. NAME OF PROPERTY: James Rankin Davis House
2. STREET LOCATION: 3900 Centerville Road
3. OWNER'S NAME: Ann Louise McEvoy TEL. #: _____
ADDRESS: _____
4. TYPE OF RESOURCE(S): building structure _____ site _____
object _____ district _____ landscape _____
5. SURROUNDINGS: (check more than one if necessary)
fallow field _____ cultivated field _____ woodland _____
scattered buildings densely built up _____ other _____
6. FUNCTION: original Dwelling present Dwelling
7. LIST ADDITIONAL FORMS USED:
CRS-2, CRS-3 (1)

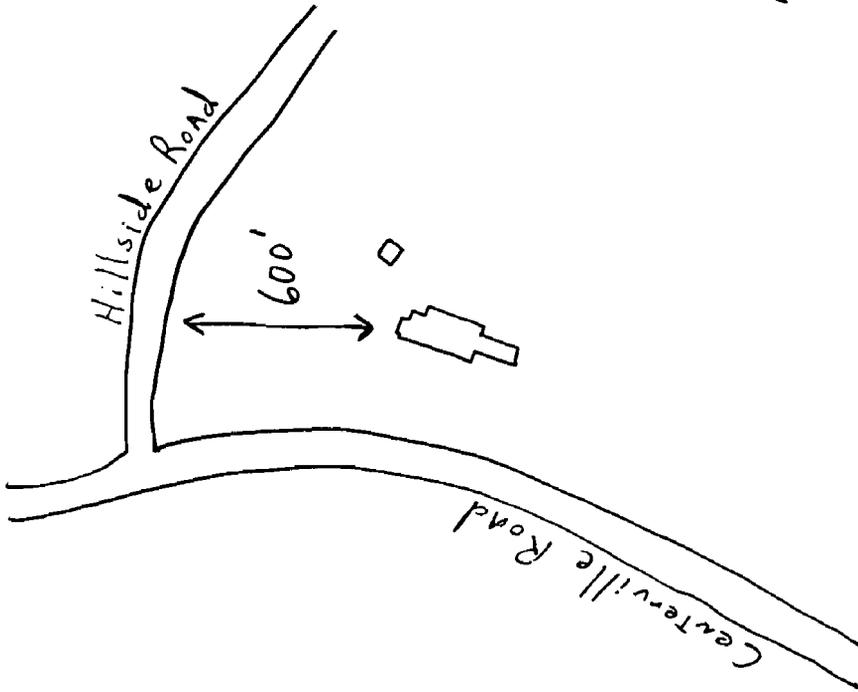
8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775
ORGANIZATION: Louis Berger & Associates, Inc. DATE: 6/1/96
ADDRESS: 100 Halsted Street, East Orange NJ 07019

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # N-13328

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940
- b) Historic theme(s) Architecture

12. EVALUATION Eligible?: Yes No Potential Unknown

- a) Area(s) of significance History, Architecture
- b) NR criteria Contrib. Resource in Centerville Road H.O. A; C

13. CERTIFICATION:

Surveyor: Paul C. Boy

Date 6/20/88

PI: E. H. Leeper

Date 6/21/88

CRS-1



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # N-13528
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 5.86

1. ADDRESS OF PROPERTY: 3900 Centerville Road
2. DATE OF INITIAL CONSTRUCTION: circa 1940-1950
3. FLOOR PLAN/STYLE: Gable-side, 3-bay with wings/Colonial Revival Style
4. ARCHITECT/BUILDER: _____

5. INTEGRITY: original site moved _____
if moved, when and from where _____
list major alterations and dates (if known) _____

6. CURRENT CONDITION: excellent _____ good
fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:
 - a) Overall shape rectangular
stories 2-story main block
bays 3-bay (w-w-d)
wings 2-bay south wing (w-w), 1-bay north wing (w), 1-bay garage at north wing
 - b) Structural ^{wing} system stone walls-load bearing, with some frame infill, frame walls at portions of east elevation.
 - c) Foundation materials concrete
basement full
 - d) Exterior walls (modern over original)
materials Principal elevation (west elv) stone, east elv. mostly clapboard
color(s) clapboard painted white, stone-natural
 - e) Roof
shape; materials gabled, frame with cedar shingled roof
cornice boxed
dormers 2- W. elv. south wing. 1-garage N. elv. 1-shed roofed on east elv.
chimney location(s) single stone exterior chimney on south elevation gable

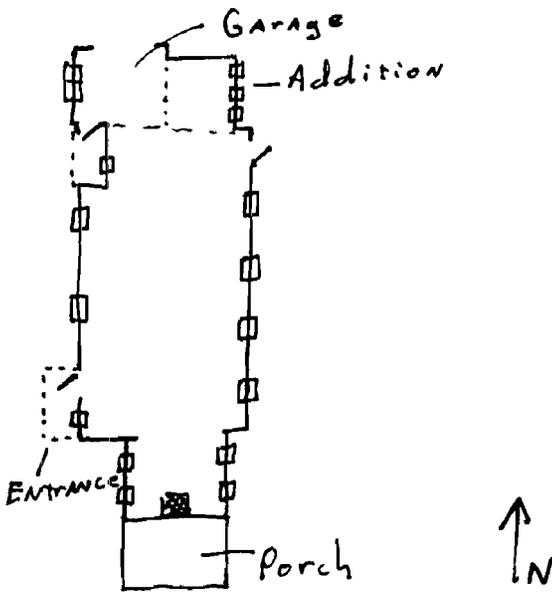
USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # N-13528

- f) Windows
spacing irregular
type 6/12 1st. story, main section 6/6 2nd story others-6/6 and casements.
trim 4-inch surrounds
shutters louvered wood shutters
- g) Door
spacing west elevation, south of center.
type paneled door and 8-pane casement under portico roof
trim
- h) Porches
location(s) south elevation gable
materials frame, wood screens
supports
trim
- i) Interior details (if accessible)

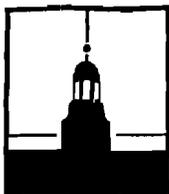
8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13528
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 5.86

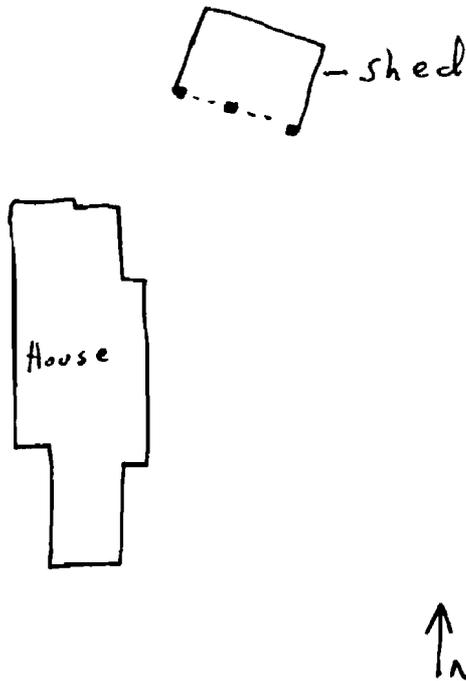
1. ADDRESS OF PROPERTY: 3900 Centerville Road
2. FUNCTION: Shed
3. DATE: circa 1940-1950
4. STYLISTIC FEATURES: Gabled-side rectangular, frame
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system frame
 - b) Wall coverings board and batten siding
 - c) Wall openings
 - windows none
 - doors none
 - other two open bays on south elevation.
 - d) Foundation concrete slab
 - e) Roof
 - structural system frame, gabled
 - coverings asphalt shingles
 - openings none
 - f) Interiors
 - floor plan
 - partition/walls
 - interior finish
 - furnishings/machinery

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13528

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY



DELAWARE STATE HISTORIC PRESERVATION OFFICE
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13529
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 14

1. NAME OF PROPERTY: William A. Worth House
2. STREET LOCATION: West side of Centerville Road, at the intersection of Hillside Rd
3. OWNER'S NAME: Intercollegiate Studies Institute TEL. #: _____
ADDRESS: _____
4. TYPE OF RESOURCE(S): building structure _____ site _____
object _____ district _____ landscape _____
5. SURROUNDINGS: (check more than one if necessary)
fallow field _____ cultivated field _____ woodland _____
scattered buildings densely built up _____ other _____
6. FUNCTION: original _____ Dwelling _____ present _____ Offices _____
7. LIST ADDITIONAL FORMS USED:
CRS-2 CRS-3 (3)

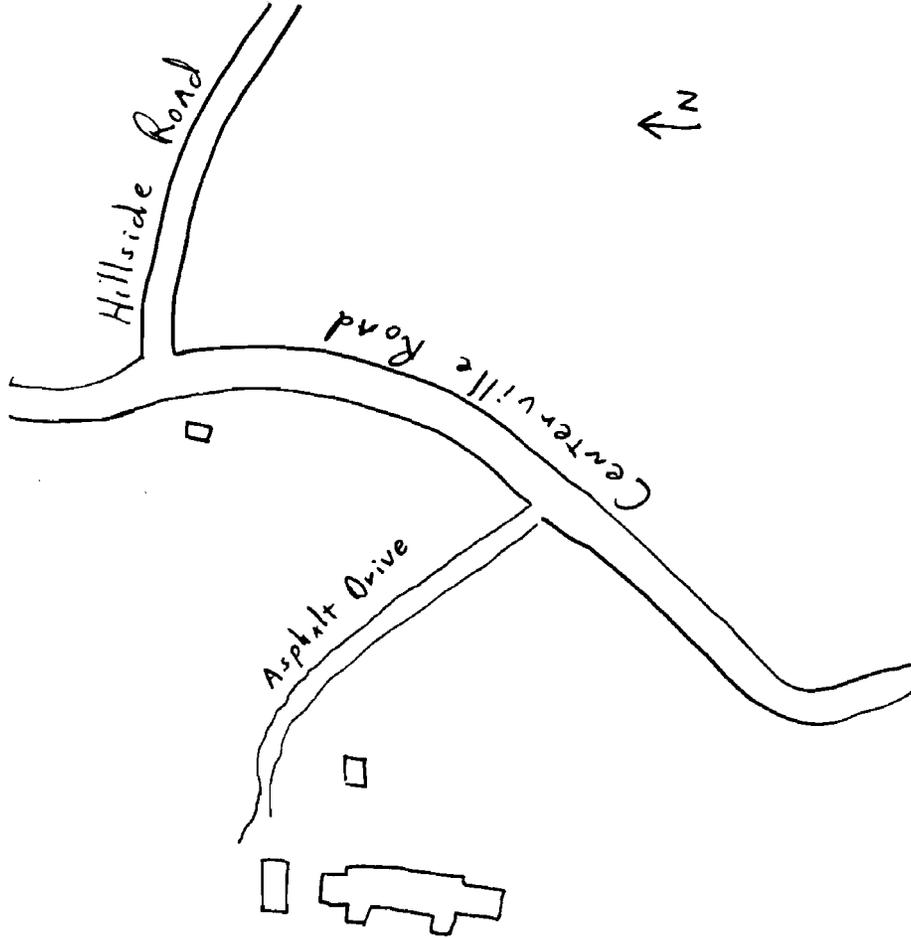
8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775
ORGANIZATION: Louis Berger & Associates, Inc. DATE: 6/1/96
ADDRESS: 100 Halsted Street, East Orange, NJ 07019

USE BLACK INK ONLY

CRS # N-13529

9. LOCATION MAP:

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

c: Ornate Colonial Revival Style with symmetrical wings
 Wide board Oak floors inside, curved staircase
 in central hall. High integrity both interior and exterior.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization & Early Suburbanization 1880-1940
- b) Historic theme(s) Architecture; Major Families, Individuals, and events

12. EVALUATION Eligible?: Yes ~~XX~~ No() Potential() Unknown()

a) Area(s) of significance History

Architecture

b) NR criteria *Contributing Resource in Centerville Road Historic District*

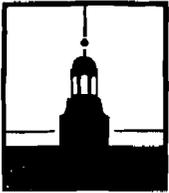
13. CERTIFICATION:

Surveyor: *[Signature]*

Date *6/20/96*

PI: *[Signature]*

Date *6/21/96*



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # N-13529
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 14

1. ADDRESS OF PROPERTY: West side of Centerville Road, at the intersection of Hillside Road.

2. DATE OF INITIAL CONSTRUCTION: 1937

3. FLOOR PLAN/STYLE: Gable-side, 5-bay main section with 2-bay wings/Colonial Revival

4. ARCHITECT/BUILDER: _____

5. INTEGRITY: original site moved _____

if moved, when and from where _____

list major alterations and dates (if known) none

6. CURRENT CONDITION: excellent good _____
fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape "U" shape with porches extending north and south of "U"
stories 2 1/2
bays 5-bay
wings two 2-bay wings, one on each gable.

b) Structural system stone

c) Foundation
materials stone
basement full basement

d) Exterior walls (modern over original)
materials stone, uncoursed rubble
color(s) natural stone

e) Roof
shape; materials gable with rear extensions at wings
cornice Ogee moulded cornice with gable returns
dormers 3 gabled dormers on main section east elev. 1 dormer-each wing.
chimney location(s) Interior brick chimneys at each main gable, and one at each wing gable.

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # N-13529

f) Windows

spacing regular fenestration: 3 windows per floor, 2 per floor on wings
type triple pane 8/12/12 -1st floor main section, 12/12 2nd flr.wings all 12/12
trim 4-inch surrounds with moulded edges
shutters recessed panel on 1st floor, louvered on 2nd

g) Door

spacing East elevation, center
type 4-foot wide paneled with 20 window panes
trim dentiled flat entablature with fluted pilasters on sides.

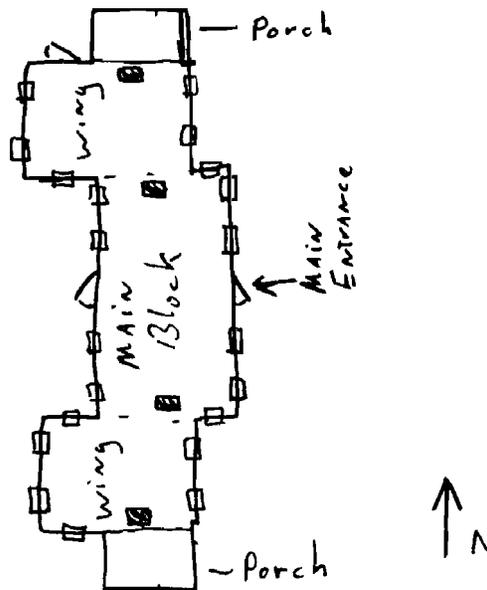
h) Porches

location(s) one at each wing gable
materials brick floors, wood, multi-pane fixed windows
supports thin steel posts
trim wrought iron balustrade on flat roof of each porch

i) Interior details (if accessible)

Ornate central curved staircase at rear of central hall.
Original wide board oak floors.

8. SKETCH PLAN OF BUILDING:



INDICATE NORTH ON SKETCH

9. SURVEYOR: David C Berg

DATE OF FORM: 6/20/46

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13529
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 14

1. ADDRESS OF PROPERTY: West side of Centerville Road, at the intersection of Hillside Road.
2. FUNCTION: Garage (historic) Office (current)
3. DATE: 1937
4. STYLISTIC FEATURES: side gabled, stone, Colonial Revival Style
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system stone walls, uncoursed rubble on 3 sides, frame wall on south eave side.
 - b) Wall coverings natural stone, Horizontal plank siding on south elevation.
 - c) Wall openings
windows Two 6/6 windows on east and west elevation gable sides.
doors four wood garage door bays and one entrance door on south elevation.
other two dormers on south roof slope, 3 on north slope.
 - d) Foundation stone, probably concrete footings
 - e) Roof
structural system frame, side gabled, moulded Ogee cornice.
coverings asbestos shingles simulating cedar shingles
openings 2 dormers on south slope, 3 on north slope all with 6/6 windows
 - f) Interiors
floor plan
partition/walls
interior finish
furnishings/machinery

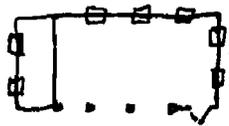
USE BLACK INK ONLY

7. SKETCH PLAN:

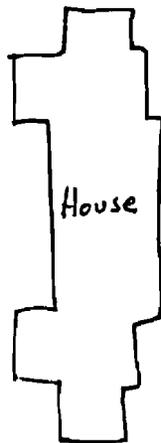
CRS # N-13529

Show relationship to main building and provide sketch plan of outbuilding.


springhouse

 - Garage

 - shed


House



INDICATE NORTH ON SKETCH

8. SURVEYOR:

David C. Berg

DATE OF FORM:

6/20/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13529
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 14

1. ADDRESS OF PROPERTY: West side of Centerville Road, at the intersection of Hillside Road
2. FUNCTION: Shed
3. DATE: circa 1940
4. STYLISTIC FEATURES: square plan, concrete block, Colonial Revival Syling
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system concrete block
 - b) Wall coverings stone veneer with stucco painted white to simulate age.
 - c) Wall openings
windows
doors
other
 - d) Foundation concrete with concrete floor
 - e) Roof
structural system frame, gabled with 3-foot overhang on east elevation.
coverings cedar shingles
openings none
 - f) Interiors
floor plan
partition/walls
interior finish
furnishings/machinery

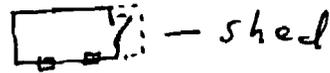
USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13529

Show relationship to main building and provide sketch plan of outbuilding.

□
/
Spring
house



INDICATE NORTH ON SKETCH

8. SURVEYOR: David C. Berg DATE OF FORM: 6/20/46

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13529
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage _____

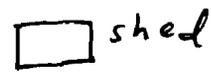
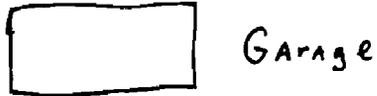
1. ADDRESS OF PROPERTY: West side of Centerville Road, at the intersection of Hillside Road.
2. FUNCTION: Springhouse.
3. DATE: circa 1937
4. STYLISTIC FEATURES: square, stone walls, Colonial Revival Styling.
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system stone walls
 - b) Wall coverings natural stone
 - c) Wall openings
 - windows single 4-pane wood awning window on north elevation
 - doors single wood entrance door at south elevation
 - other _____
 - d) Foundation _____
 - e) Roof
 - structural system frame, pyramidal
 - coverings asphalt shingles
 - openings louvered cupula at peak.
 - f) Interiors
 - floor plan _____
 - partition/walls _____
 - interior finish _____
 - furnishings/machinery _____

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13529

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13530
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 7.19

1. NAME OF PROPERTY: Deborah B. Halsey Wilson House

2. STREET LOCATION: 4001 Centerville Road

3. OWNER'S NAME: J. Seth and Barbara Cruice TEL. #: _____

ADDRESS: _____

4. TYPE OF RESOURCE(S): building structure _____ site _____
object _____ district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)

fallow field _____ cultivated field _____ woodland _____

scattered buildings densely built up _____ other _____

6. FUNCTION: original Dwelling present Dwelling

7. LIST ADDITIONAL FORMS USED:

CRS-2 CRS-3 (2)

8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775

ORGANIZATION: Louis Berger & Associates, Inc. DATE: 6/1/96

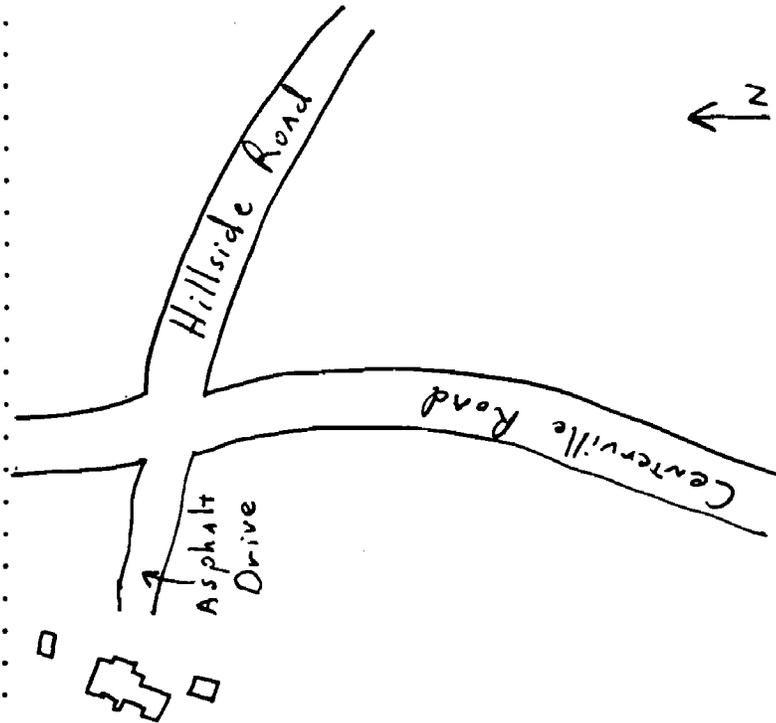
ADDRESS: 100 Halsted Street, East Orange, NJ 07019

USE BLACK INK ONLY

9. LOCATION MAP:

CRS # N-13530

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization & Early Suburbanization 1880-1940
- b) Historic theme(s) Architecture

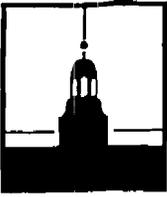
12. EVALUATION Eligible?: Yes No Potential Unknown

- a) Area(s) of significance History, Architecture
- b) NR criteria - contrib. resource in Centerville Road H, D, A, C

13. CERTIFICATION:

Surveyor: [Signature] Date 6/24/92

PI: [Signature] Date 4/20/96



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # N-13530
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 7.19

- 1. ADDRESS OF PROPERTY: 4001 Centerville Road
- 2. DATE OF INITIAL CONSTRUCTION: 1939
- 3. FLOOR PLAN/STYLE: Gable-side, 2-bay main block with wings and cross gable garage
- 4. ARCHITECT/BUILDER: _____

- 5. INTEGRITY: original site moved _____
if moved, when and from where _____
list major alterations and dates (if known) _____

- 6. CURRENT CONDITION: excellent good _____
fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape rectangular
stories 2-story
bays East elv: (w-d) West elv. (w-w-w) on main block.
wings North gable wing (w). South gable wings: (w-w), (w-w-w), cross gable garage at south elevation (w-w). Principal elv. total: 10-bays across.
- b) Structural system stone. frame wall on principal E. elv. of southern wing.
- c) Foundation
materials stone
basement full
- d) Exterior walls (modern over original)
materials stone, cedar shingles on south and west elvs. of garage, S. wing
color(s) natural stone, dark brown cedar shingles.
- e) Roof
shape; materials gable, side; slate
cornice moulded Ogee cornice
dormers none
chimney location(s) four brick chimneys; one at extreme north gable, one at south gable of main section, one at south gable of first south wing, one at garage east gable.

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # N-13530

f) Windows

spacing regular fenestration

type 6/6 double-hung sashes throughout except main block 1st story: 9/6 9/9

trim massive stone lintels with keystones, 4-inch moulded surrounds.

shutters recessed panel shutters

g) Door

spacing north bay of main section, east elevation

type paneled door, fanlight, stone voussoirs over opening, shutters on sides.

trim

h) Porches 2

location(s) west elevation, one porch attached to each main wing.

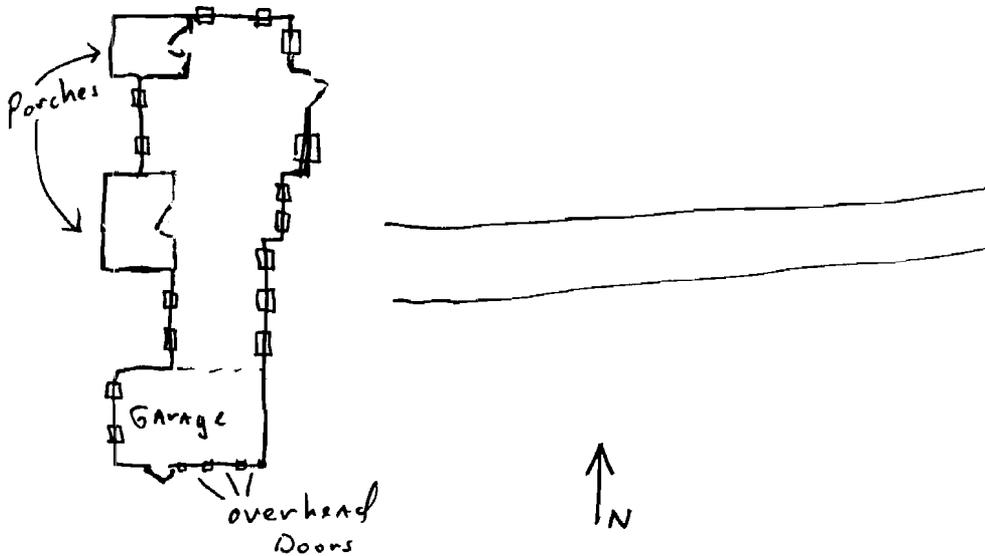
materials wood frame screens, brick floor, shed roofs

supports brick floor

trim

i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:

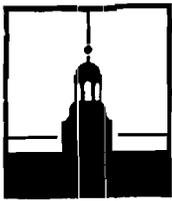


INDICATE NORTH ON SKETCH

9. SURVEYOR: David C. Berg

DATE OF FORM: 6/20/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13530
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 7.19

1. ADDRESS OF PROPERTY: 4001 Centerville Road
2. FUNCTION: Garage (historic) Garage/shed (current)
3. DATE: circa 1940
4. STYLISTIC FEATURES: Gable-front, rectangular, concrete block
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system concrete block
 - b) Wall coverings stucco, unpainted
 - c) Wall openings
windows one 12-pane steel awning window on each eave side.
doors wood overhead garage door on north gable. wood entrance door on W. elev.
other
 - d) Foundation concrete with concrete slab floor
 - e) Roof
structural system frame, pedimented gable.
coverings asphalt shingles
openings none
 - f) Interiors
floor plan rectangular, open
partition/walls none
interior finish exposed framing members
furnishings/machinery

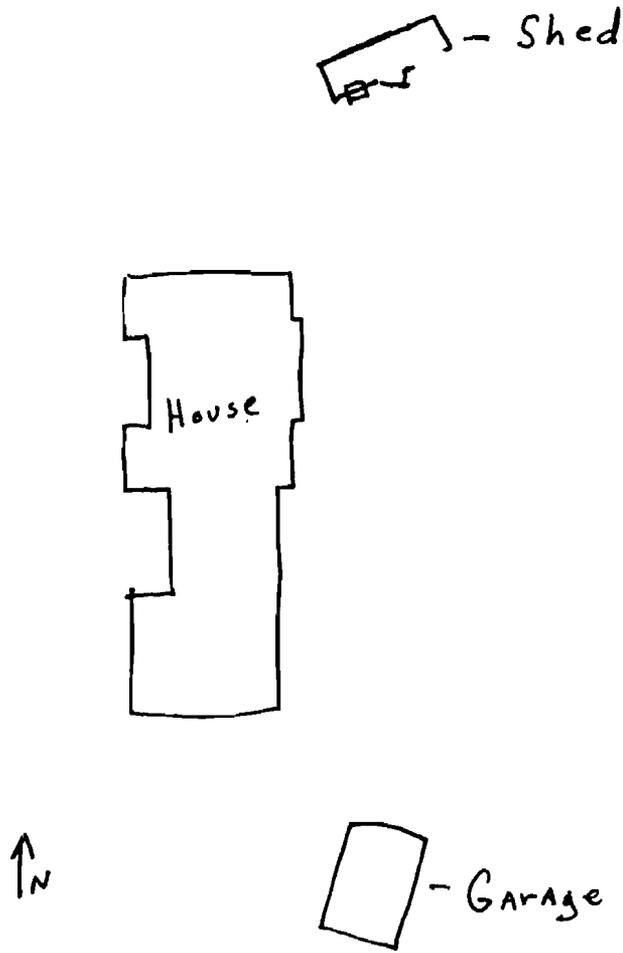
USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13530

Show relationship to main building and provide sketch plan of outbuilding.

.....



.....

INDICATE NORTH ON SKETCH

8. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13530
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 7.19

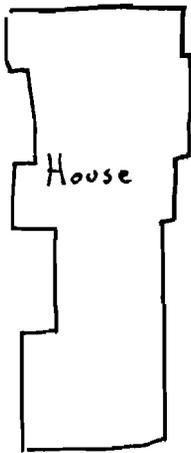
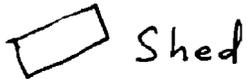
1. ADDRESS OF PROPERTY: 4001 Centerville Road
2. FUNCTION: Shed (historic) Shed (current)
3. DATE: circa 1950
4. STYLISTIC FEATURES: gable, side, rectangular
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system frame,
 - b) Wall coverings board and batten siding
 - c) Wall openings
 - windows 6-pane fixed window on south elevation (principal facade)
 - doors central wood entrance door on south elevation.
 - other open bay at east corner of south elevation
 - d) Foundation building is set on concret blocks, no other foundation visible.
 - e) Roof
 - structural system frame, side gabled
 - coverings asphalt shingles
 - openings none
 - f) Interiors
 - floor plan
 - partition/walls
 - interior finish
 - furnishings/machinery

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13530

Show relationship to main building and provide sketch plan of outbuilding.



INDICATE NORTH ON SKETCH

8. SURVEYOR:

David C. Berg

DATE OF FORM:

6/20/86

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13531
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage _____

1. NAME OF PROPERTY: Stone Headwall

2. STREET LOCATION: East side of Centerville Road, south of Campbell Road

3. OWNER'S NAME: City of Wilmington TEL. #: _____

ADDRESS: _____

4. TYPE OF RESOURCE(S): building structure _____ site _____
object _____ district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)
fallow field _____ cultivated field _____ woodland
scattered buildings _____ densely built up _____ other _____

6. FUNCTION: original culvert headwall present culvert headwall

7. LIST ADDITIONAL FORMS USED:
CRS-6

8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775

ORGANIZATION: Louis Berger & Associates, Inc. DATE: 6/1/96

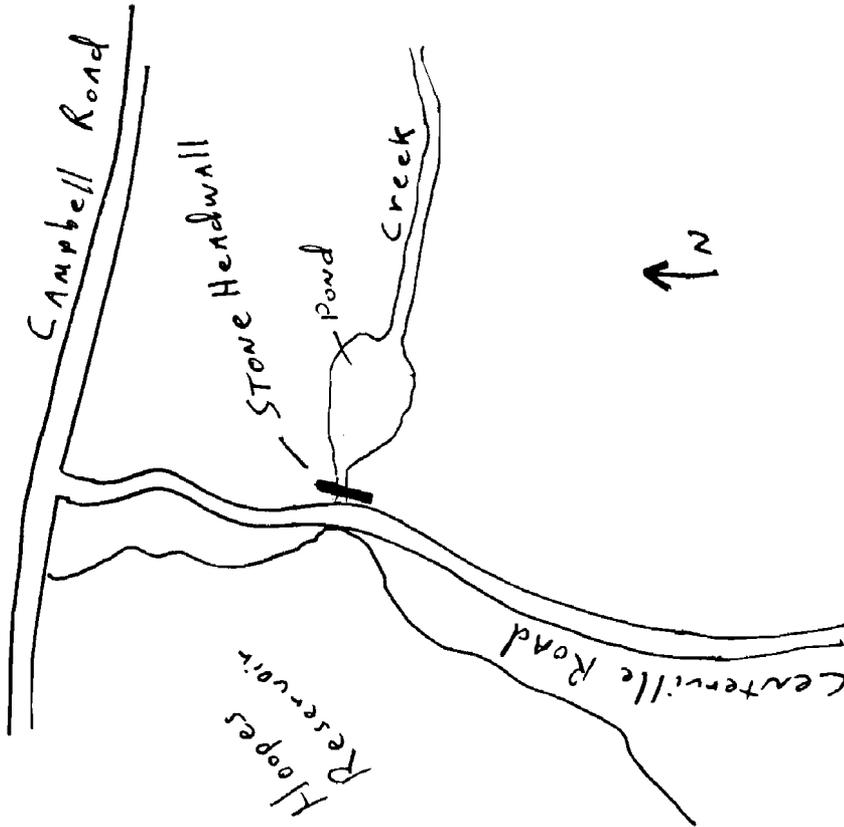
ADDRESS: 100 Halsted Street, East Orange NJ 07019

USE BLACK INK ONLY

CRS # N-13531

9. LOCATION MAP:

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

a: headwall built around 1930 during re-alignment of Centerville Road resulting from construction of Hoopes Reservoir. It is similar to stone walls and bridge in Valley Garden Park which is directly east of the headwall.

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940
- b) Historic theme(s) Transportation and Communication

12. EVALUATION Eligible?: Yes No Potential Unknown

- a) Area(s) of significance History Architecture
- b) NR criteria Contrib. Resource in Centerville Road H-D. ~~A~~ Criterion A + C

13. CERTIFICATION:

Surveyor: [Signature]

Date 6/20/96

PI: [Signature]

Date 6/21/96

8. DESCRIPTION (cont'd):

CRS # N-13531

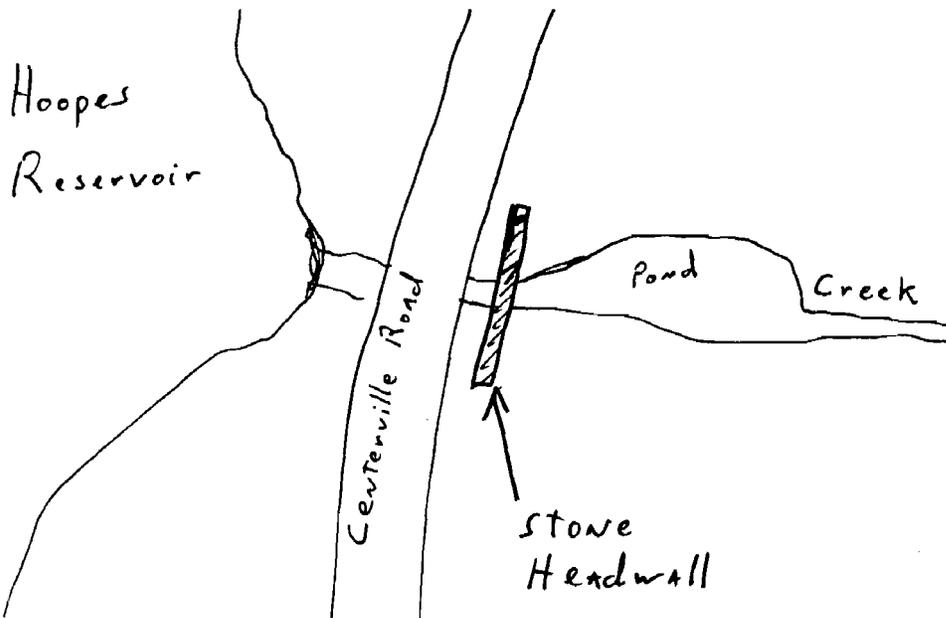
- e) Openings (if applicable)
 - doors
 - windows
 - access

- f) Interior (if applicable)
 - volume
 - linings

- g) Systems (if applicable)
 - heating/ventilating/cooling
 - plumbing
 - electrical
 - lighting

9. ASSOCIATED RESOURCES: _____

10. PLAN SKETCH MAP:



INDICATE NORTH ON SKETCH

11. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY

CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

CRS # N-13532
SPD Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 102.02

1. NAME OF PROPERTY: Valley Garden Park

2. STREET LOCATION: Southeast corner of intersection of Centerville and Campbell Roads

3. OWNER'S NAME: City of Wilmington TEL. #: _____

ADDRESS: _____

4. TYPE OF RESOURCE(S): building structure site _____
object _____ district _____ landscape _____

5. SURROUNDINGS: (check more than one if necessary)
fallow field cultivated field _____ woodland
scattered buildings _____ densely built up _____ other _____

6. FUNCTION: original Park present Park

7. LIST ADDITIONAL FORMS USED:
CRS-2 CRS-3 (1) CRS-6 (3)

8. SURVEYOR: David C. Berg TEL. #: (202) 331-7775

ORGANIZATION: Louis Berger & Associates, Inc. DATE: 6/1/96

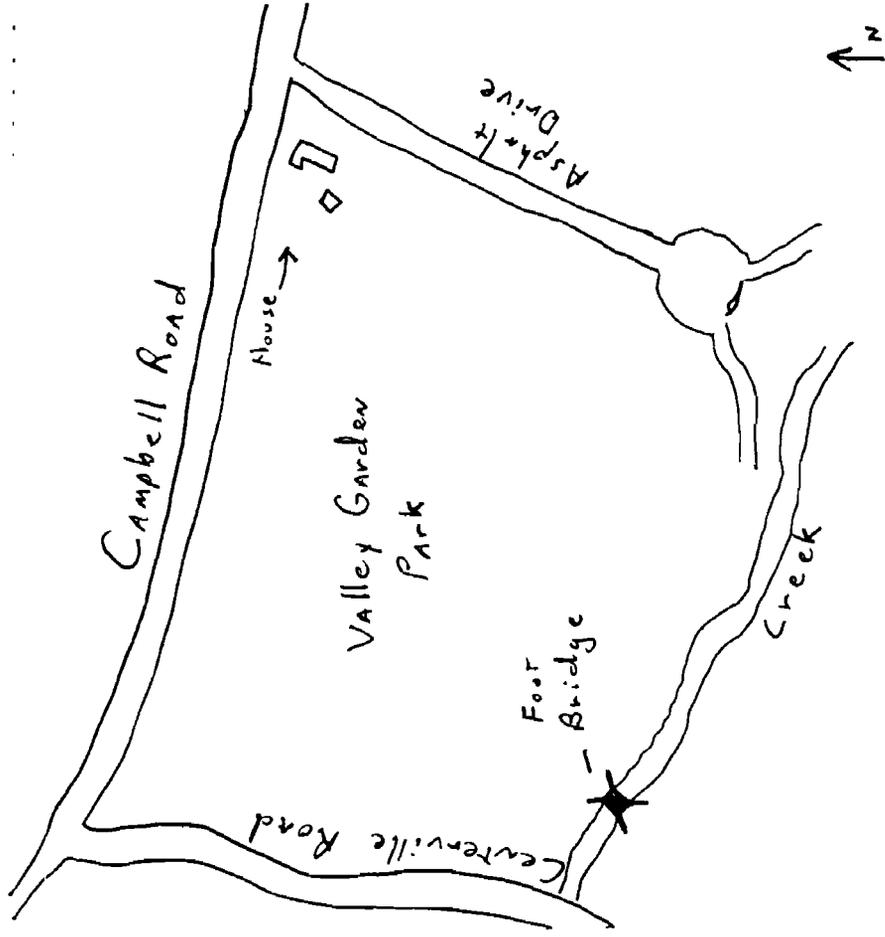
ADDRESS: 100 Halsted Street, East Orange, NJ 07019

USE BLACK INK ONLY

CRS # N-13532

9. LOCATION MAP:

Please indicate position of resource in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

10. OTHER INFORMATION Consider the following:

- a) Relationship to setting
- b) Associated traditions or stories
- c) Noteworthy features
- d) Comparison with others in area
- e) Threats
- f) Additional documentation

f: documentation in the form of photographs available at the Delaware Historical Society, Wilmington
 File: "Hoopes Reservoir/Valley Garden Photograph Collection."

11. COMPREHENSIVE PLANNING:

- a) Time period(s) Urbanization and Early Suburbanization 1880-1940
- b) Historic theme(s) Architecture

12. EVALUATION Eligible? Yes (X) No () Potential () Unknown ()

- a) Area(s) of significance History Architecture
- b) NR criteria Contrib. Resource in A and C Centerville Road Historic District

13. CERTIFICATION:

Surveyor: [Signature] Date 4/2/94
 PI: [Signature] Date 4/2/94



CULTURAL RESOURCE SURVEY
MAIN BUILDING FORM

CRS # N-13532
SPD Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 102.02

1. ADDRESS OF PROPERTY: Southwest corner of intersection of Centerville and Campbell Rds.

2. DATE OF INITIAL CONSTRUCTION: circa 1930-1932

3. FLOOR PLAN/STYLE: Gable-side; 3-Bay with 2-bay wing/ Colonial Revival Style

4. ARCHITECT/BUILDER: _____

5. INTEGRITY: original site X moved _____

if moved, when and from where _____

list major alterations and dates (if known) _____

6. CURRENT CONDITION: excellent _____ good X

fair _____ poor _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

a) Overall shape "L"
stories 2 stories
bays 3-bay main section (d-w-w), 2-bay wing at N. gable (w-w) 1-bay ell on wing
wings 2-story, 2-bay wing on north elevation gable.

b) Structural system stone

c) Foundation materials stone
basement unknown

d) Exterior walls (modern over original)
materials uncoursed stone
color(s) natural stone

e) Roof
shape; materials gable, frame with asbestos shingles
cornice moulded Ogee cornice
dormers none
chimney location(s) Three total, two interior at gable ends, one on west elevation
roof slope.

USE BLACK INK ONLY

7. DESCRIPTION (cont'd):

CRS # N-13532

f) Windows

spacing regular fenestration

type 9/9 double hung on main section east elev. 6/9 on wing - both floors

trim 4-inch surrounds

shutters

g) Door

spacing south corner of east elevation

type

trim

h) Porches

location(s)

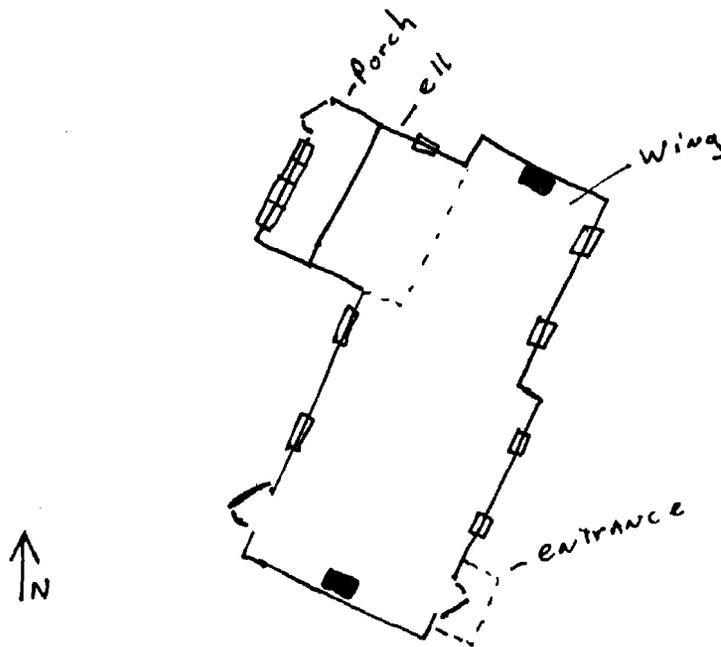
materials

supports

trim

i) Interior details (if accessible)

8. SKETCH PLAN OF BUILDING:



9. SURVEYOR: David C. Berg

DATE OF FORM: 6/20/86

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
RELATED OUTBUILDING FORM

CRS # N-13532
SPC Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 102.02

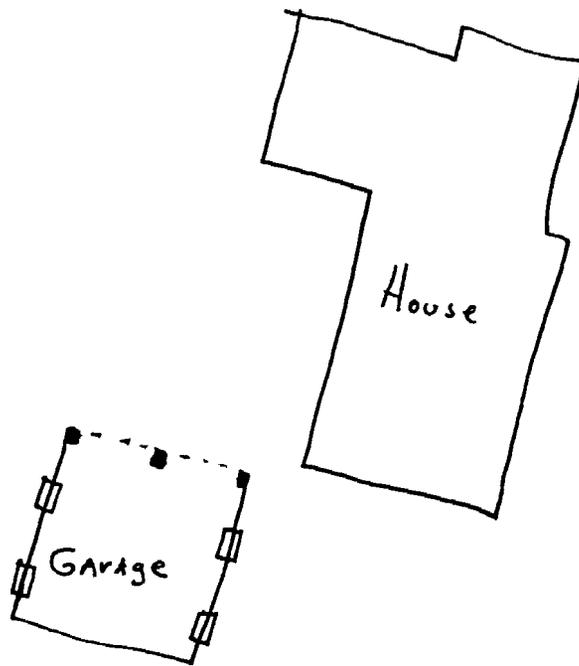
1. ADDRESS OF PROPERTY: Southwest corner of intersection of Centerville and Campbell Rds
2. FUNCTION: Garage
3. DATE: circa 1930-1932
4. STYLISTIC FEATURES: 2-bay, front gabled/Colonial Revival Style
5. ARCHITECT/BUILDER: _____
6. DESCRIPTION:
 - a) Structural system stone
 - b) Wall coverings stone/pedimented gable with 8-inch wood clapboard
 - c) Wall openings
windows
doors
other
 - d) Foundation
 - e) Roof
structural system gable-frame
coverings asbestos shingles
openings none
 - f) Interiors
floor plan
partition/walls
interior finish
furnishings/machinery

USE BLACK INK ONLY

7. SKETCH PLAN:

CRS # N-13532

Show relationship to main building and provide sketch plan of outbuilding.



8. SURVEYOR: David C. Berg DATE OF FORM: 6/20/46

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
STRUCTURE FORM

CRS # N-13532
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 102.02

1. ADDRESS OF PROPERTY: Southwest corner of intersection of Centerville and Campbell Rds

2. TYPE OF STRUCTURE: Stone walls

3. DATE OF INITIAL CONSTRUCTION: circa 1930-1932

4. STYLISTIC INFLUENCE: _____

5. ARCHITECT/BUILDER: _____

6. INTEGRITY: original site moved _____

if moved, when and from where _____

major alterations and date _____

7. CURRENT CONDITION: excellent _____ good

fair _____ poor _____

8. DESCRIBE THE STRUCTURE AS COMPLETELY AS POSSIBLE:

a) Overall shape
height 3-feet high
length variable
width about 18 inches

b) Structural system stone

c) Foundation
type
material

d) Exterior claddings (modern over original)
walls, parapets
roofs

USE BLACK INK ONLY

8. DESCRIPTION (cont'd):

CRS # N-13532

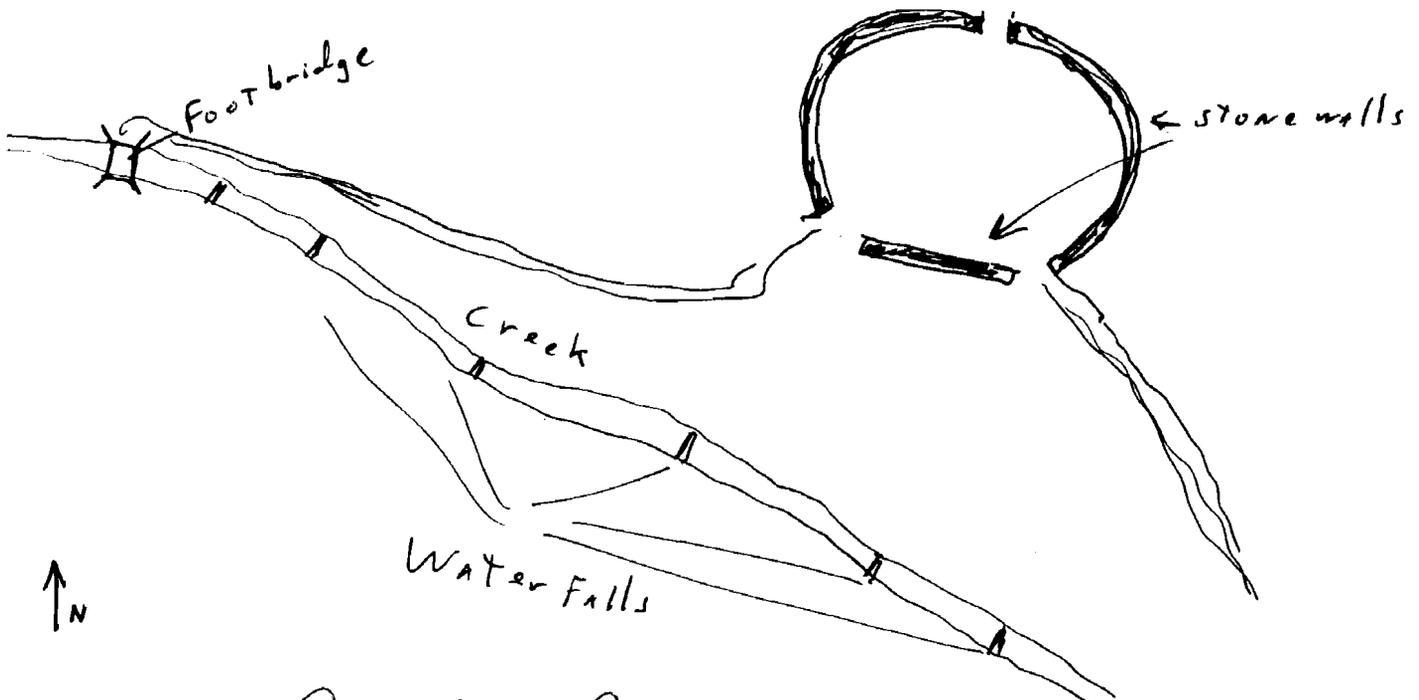
- e) Openings (if applicable)
 - doors
 - windows
 - access

- f) Interior (if applicable)
 - volume
 - linings

- g) Systems (if applicable)
 - heating/ventilating/cooling
 - plumbing
 - electrical
 - lighting

9. ASSOCIATED RESOURCES: Valley Garden Park House, Garage, waterfalls, and footbridge

10. PLAN SKETCH MAP:



11. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY

8. DESCRIPTION (cont'd):

CRS # N-13532

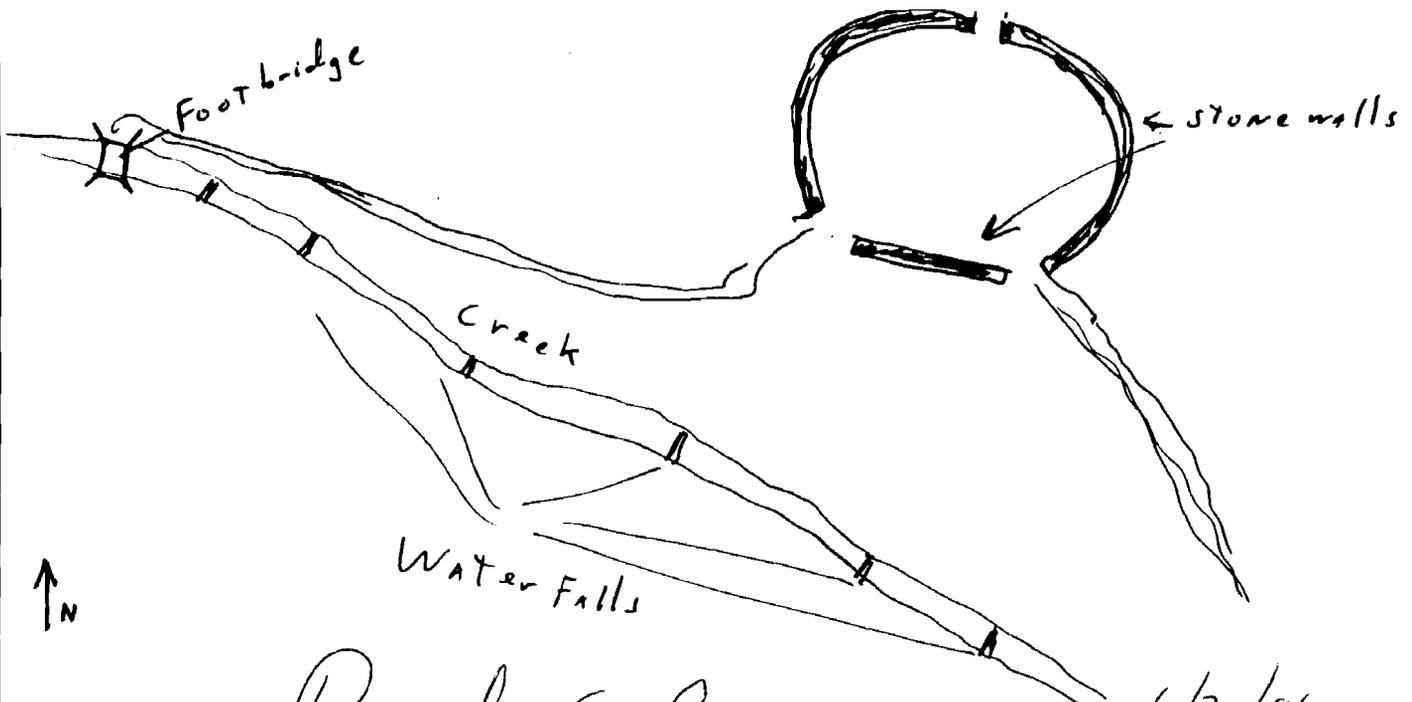
- e) Openings (if applicable)
 - doors
 - windows
 - access

- f) Interior (if applicable)
 - volume
 - linings

- g) Systems (if applicable)
 - heating/ventilating/cooling
 - plumbing
 - electrical
 - lighting

9. ASSOCIATED RESOURCES: Valley Garden Park House, Garage, Waterfalls, and stone walls

10. PLAN SKETCH MAP:



11. SURVEYOR: David C. Berg DATE OF FORM: 6/20/96

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
STRUCTURE FORM

CRS # N-13532
SPO Map 8-9-36
Hundred Christiana
Quad Wilmington North
Zone Piedmont
Acreage 102.02

1. ADDRESS OF PROPERTY: Southeast corner of intersection of Centerville and Campbell Rds.
2. TYPE OF STRUCTURE: waterfalls
3. DATE OF INITIAL CONSTRUCTION: circa 1930-1932
4. STYLISTIC INFLUENCE: _____
5. ARCHITECT/BUILDER: Wheelwright and Stevens, Landscape Architects
6. INTEGRITY: original site moved _____
if moved, when and from where _____
major alterations and date _____
7. CURRENT CONDITION: excellent _____ good _____
fair poor _____
8. DESCRIBE THE STRUCTURE AS COMPLETELY AS POSSIBLE: numerous stone walls in stream designed to create small waterfalls in park.
 - a) Overall shape
height 2-feet
length 6-8 feet
width about 2 feet
 - b) Structural system stone
 - c) Foundation
type
material
 - d) Exterior claddings (modern over original)
walls, parapets
roofs

USE BLACK INK ONLY

8. DESCRIPTION (cont'd):

CRS # N-13532

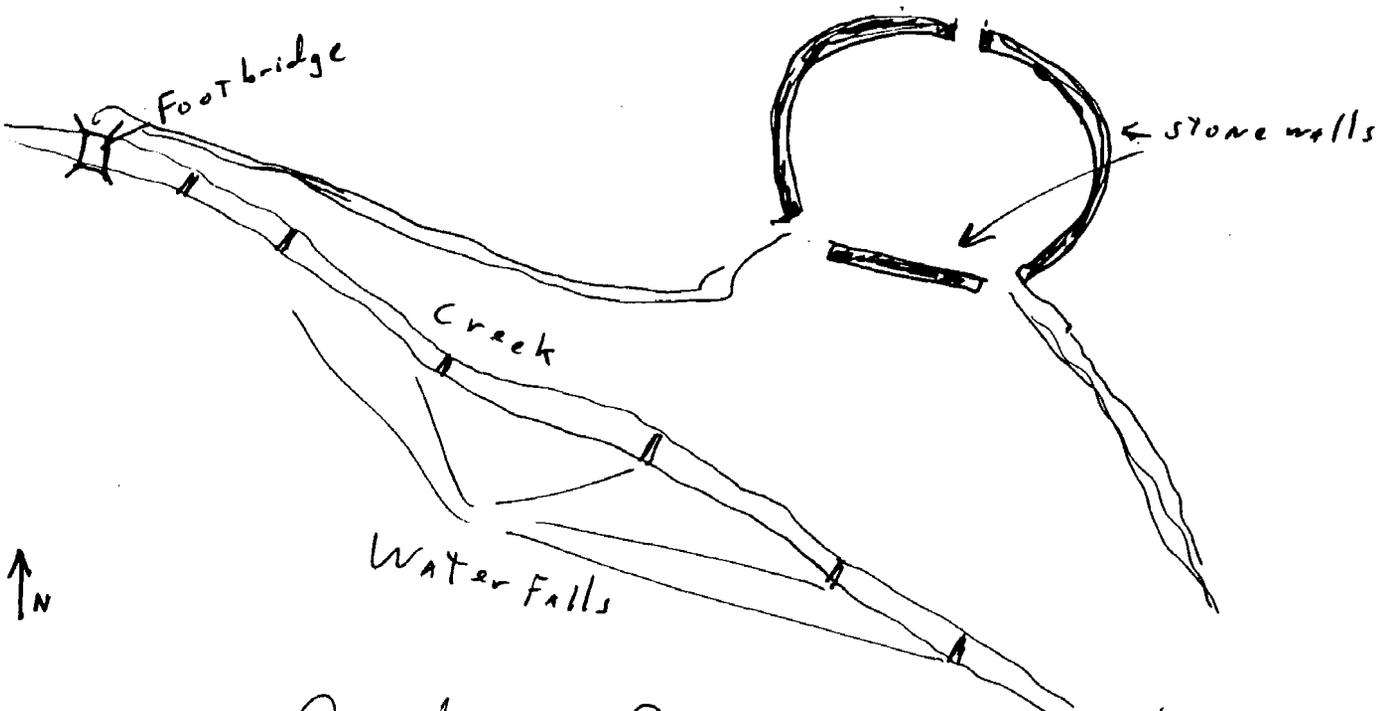
- e) Openings (if applicable)
 - doors
 - windows
 - access

- f) Interior (if applicable)
 - volume
 - linings

- g) Systems (if applicable)
 - heating/ventilating/cooling
 - plumbing
 - electrical
 - lighting

9. ASSOCIATED RESOURCES: Valley Garden Park House, Garage, Stone walls, Footbridge

10. PLAN SKETCH MAP:



11. SURVEYOR: David C. Berg

DATE OF FORM: 6/20/96

USE BLACK INK ONLY

INVESTIGATION CARD
HISTORIC PRESERVATION PROGRAM
DIVISION OF HISTORICAL AND
CULTURAL AFFAIRS

GRID NUMBER:

C-1, 184
H-521

SUBJECT: "Westbrae" - Gray stone house

ADDRESS: Hillside Road, Greenville

OWNER: T. L. Cairns 658-4508

TENANT:

INVESTIGATOR: Mrs. H. Cadot DATE: 3/19/72

REMARKS: Built by George A. Rhoades c.1907. He "traded" houses with Walter Pyle (nephew of illustrator Howard Pyle) who lived in house 1918-1926, when sold back to Rhoades, who had developed small spring water business - "Westbrae Springs" (address, Centerville Road, C-1, 135) Original farm house a log cabin, removed and reconstructed by R. Raley. Walter Pyle was C. & W. Pyle Leather Co. (for book-bindings, etc.) wife, Ellen B.T. Pyle-many

"Saturday Evening Post" covers, 20's and 30's. Made studio out of cabin built by Geo. Rhoades, used for camping before main house built. (Information from daughter, Ellen Pyle Lawrence, 239-5430. Date stone: "C.F.R" 1907, 20th c. fieldstone house; gate stones mark drive.

PHOTOGRAPH



INVESTIGATION CARD
HISTORIC PRESERVATION PROGRAM
DIVISION OF HISTORICAL AND
CULTURAL AFFAIRS

GRID NUMBER:

C-1, 181
N-572

SUBJECT:

ADDRESS: 1115 Hillside Road

OWNER: Robert K. Beste 655-0347

TENANT: Jim Perry

INVESTIGATOR: Mrs. H. Cadot DATE: 3/19/72

REMARKS: Built as tenant house c.1905 by
George Rhoades when building "Westbrae".
Quonsit hut garage added W.W.II.

August 18, 1976
Same condition
L.W. & J.M.

PHOTOGRAPH



INVESTIGATION CARD
HISTORIC PRESERVATION PROGRAM
DIVISION OF HISTORICAL AND
CULTURAL AFFAIRS

GRID NUMBER:

C-1, 186
N-523

SUBJECT: Springhouses and Pressure Storage Tank

ADDRESS: Newport-Centerville Road
north of junc. of Rd. 264

OWNER: Westbrae Water Co.
sign marks entrance

TENANT:

INVESTIGATOR: T. Cadot
H. Cupp

DATE: 3/19/72

REMARKS: There is an old stone springhouse and a stone storage tank which was filled by gravity flow and created pressure for filling the water bottles. There is a newer springhouse which is known as the milk cooler so may have been used for that purpose at one time. (See card # . Home of George A. Rhoades, who developed Westbrae Springs in early 1900's. Springhouses may have belonged to earlier farmhouse-log cabin removed to home of R.A. Raley.)

August 18, 1974
all three structures
in good condition
H.W. & J.M.

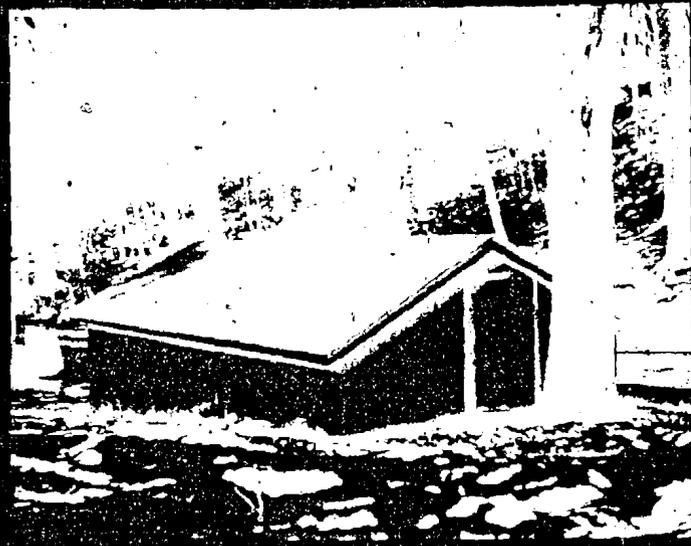
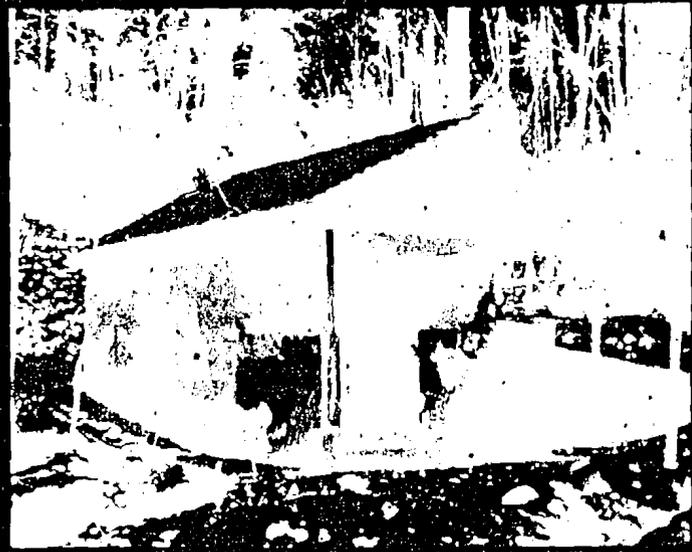
PHOTOGRAPH

large cement block
bedg has some
remnants of fieldstone
and may be significant

658-4817 ask for Henry (OVER)



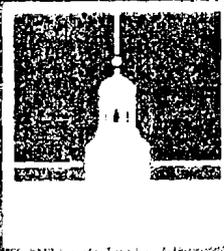
HOLDING TANK



25

CULTURAL RESOURCE SURVEY
STRUCTURAL DATA FORM

DELAWARE BUREAU OF
ARCHAEOLOGY AND HISTORIC
PRESERVATION
HALL OF RECORDS
DOVER, DELAWARE 19901
(302) 678-5314



Form CRS-1
FOR OFFICE USE ONLY

CRS # 10-524
Quad
SPD map # 08-0436
Hundred
DOCUMENT 20-06778/00714

1. ADDRESS OF STRUCTURE _____
2. DESCRIBE THE STRUCTURE AS COMPLETELY AS POSSIBLE:

- a) Overall shape rectangular
stories two
bays three
wings one two story wing projection off
the rear with lean-to on the back of the wing
- b) Structural system
stone
- c) Foundation stone
materials stone
basement
- d) Exterior walls stone stuccoed over
materials
color(s) white
- e) Roof gable materials gable, covered w/ asbestos shingles
shape
cornice boxed false plate cornice
dormers
chimney location(s) two interior end chimneys--common bond, two courses
- f) Windows
spacing symmetrical, two bays first floor, two bays 2nd floor
type six over six, some w/ old glass, wooden sash
trim
shutters 2nd floor windows, wooden vertical plank shutters
- g) Door
spacing center bay, facade
type wooden
trim
- h) Porches
location(s) one on facade, covers three bays
materials stone foundations, frame, screened in
supports square wooden posts
trim
roof covered w/ asbestos shingles
- i) Interior details (if appropriate)

SKETCH PLAN

USE BLACK INK ONLY

3. CONDITION: good x poor/damaged

Remarks: _____

4. INTEGRITY: a) original mfg. _____ b) wood _____
c) if wood, when was replaced _____
d) list major alterations and dates (if known) _____

5. DATE OF INITIAL CONSTRUCTION: _____

6. ARCHITECT/BUILDER: _____

7. RELATED OUTBUILDINGS:

a) barn _____ b) carriage house _____ c) garage x d) privy _____
e) shed _____ f) greenhouse _____ g) shop _____ h) garden _____
i) icehouse _____ j) antennae x k) other _____

Describe: garage/Modern two car gable roof w/ asbestos shingling,
architectural rectangular stone whitewashed, door in gable end, two
boards that hold up porch coming out of gable end

8. BRIEFLY DISCUSS THE ORIGINAL AND PRESENT USES OF THE STRUCTURE // NOTE ANY ASSOCIATIONS WITH HISTORIC EVENTS OR PERSONS:

9. Primary Conservator (Name and address of individual)

10. _____

CULTURAL RESOURCE SURVEY
LOCUS IDENTIFICATION FORM

DELAWARE BUREAU OF
ARCHAEOLOGY AND HISTORIC
PRESERVATION
HALL OF RECORDS
DOVER, DELAWARE 19901
(302) 678-5314



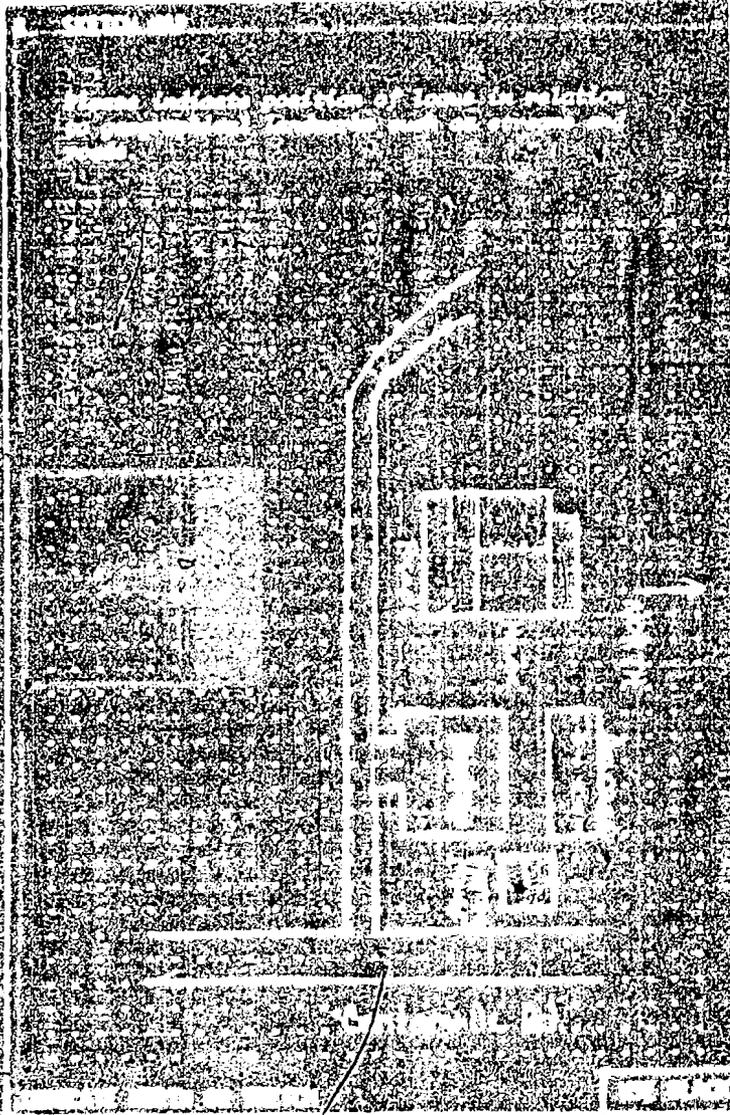
FORM CRS-3

FOR OFFICE USE ONLY

CRS # 11-524
Quad
SPO map # 08-08-54
Hundred 100-100
DOCUMENT 20-06/78/04/7

1. NAME OF LOCUS: _____
2. STREET LOCATION: 1 mi. south on Centerville Rd. from int. of Rt. 82 south & Centerville Rd.
3. OWNER'S NAME: _____ TEL. # _____
ADDRESS: _____
4. TYPE OF LOCUS: a) structure b) district _____ c) archaeological site _____
d) other _____
5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field b) cultivated field _____ c) woodland
d) scattered buildings e) densely built up _____ f) other _____
6. THREATS TO LOCUS: (check more than one if necessary)
a) none known _____ b) zoning _____ c) roads _____ d) developers _____
e) deterioration _____ f) other _____
7. REPRESENTATION ON OTHER SURVEYS:
TITLE: _____
TITLE: _____
TITLE: _____
8. YOUR NAME: _____ TEL. # _____
YOUR ADDRESS: _____
ORGANIZATION (if any) _____ DATE: _____

USE BLACK INK ONLY



2. CONCEPTS

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area

ENGINEERING COMPUTATION SHEET

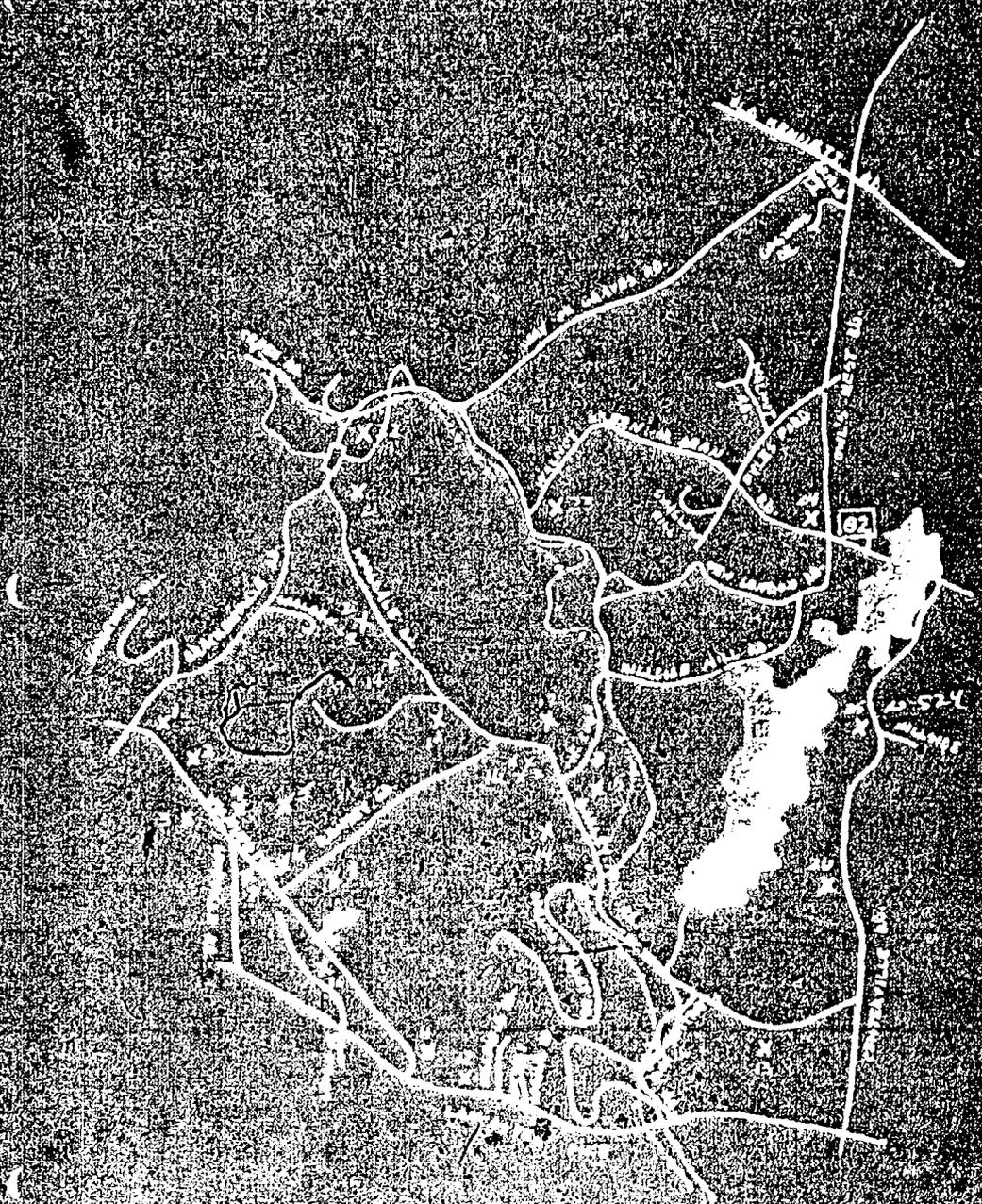
SHEET NO. _____

DATE OF DRAWING _____

Reserve Rights on Old Grant

WORK _____

Alton River Dec. 16 1978



N-524

NEGATIVE #6-6

SUBJECT: Hill Cottage
Corner of Hillside and
Centerville Roads
Centerville, Missouri

DATE: Feb. 12, 1968

PHOTOGRAPHER:
Carolyn Craig

REFERENCES:

REMARKS:
Mrs. Reynolds Wilson - present owner
Original owner William Dickson, built c. 1790



INVESTIGATION CARD
HISTORIC PRESERVATION PROGRAM
DIVISION OF HISTORICAL AND
CULTURAL AFFAIRS

GRID NUMBER:

C-1, 187

11-579

SUBJECT:

ADDRESS: Centerville Road, Greenville

OWNER: J. Seth Cruice 658-9507

TENANT: Terrence J. Dinneen

INVESTIGATOR: Mrs. H. Cadot DATE: 3/19/72

REMARKS: Built c.1790, by William Dickson or
Dixson. Chimney on right not functional.
Probably added in 1930's by Mrs. Reynolds
Wilson, who added rear section. She used it
as summer residence while building larger
house at top of drive now owned by J.S. Cruice.
Rounded window reveals in old section. Spring-
house marked W.D. 1790. Jr. L. #G-6.

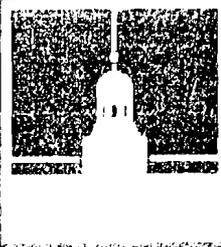
August 18, 1976
holsee and springhouse
good condition L.W. & D.M.

PHOTOGRAPH



CULTURAL RESOURCE SURVEY
STRUCTURAL DATA FORM

DELAWARE BUREAU OF
ARCHAEOLOGY AND HISTORIC
PRESERVATION
HALL OF RECORDS
DOVER, DELAWARE 19901
(302) 678-5314



Form CRS-1
FOR OFFICE USE ONLY

CRS # U-528
Quad
SPO map # map-36
Hundred Section 4
DOCUMENT 20-06/78/0476

- 1. ADDRESS OF STRUCTURE: 3701 Centerville Rd.
- 2. DESCRIBE THE STRUCTURE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
stories 2
bays 4
wings modern wings on rear & side
- b) Structural system
stone masonry
- c) Foundation
materials stone, stuccoed & painted
basement (not accessible)
- d) Exterior walls
materials stone, stuccoed & painted
color(s) grey with red trim
- e) Roof
shape gabled, wood shingles
cornice box, with false plate
dormers none
chimney location(s) 1 interior and brick chimney with 2 course corbel cap
- f) Windows
spacing 4 bay, door in second bay from left
type modern stone windows
trim
shutters first floor: paneled / second floor: louvered
- g) Door
spacing 4 bay, door in second bay from left
type modern, wood
trim
- h) Porches
location(s) ends, like Arco (modern)
materials wood
supports square posts
trim
- i) Interior details (if accessible)

SKETCH PLAN

USE BACK INK ONLY

3. CONDITION: good deteriorated _____

remarks: _____

4. INTEGRITY: a) original site _____ b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____

5. DATE OF INITIAL CONSTRUCTION: _____

6. ARCHITECT/BUILDER: _____

7. RELATED OUTBUILDINGS:

a) barn _____ b) carriage house _____ c) garage _____ d) privy _____
e) shed _____ f) greenhouse _____ g) shop _____ h) gardens _____
i) icehouse _____ j) springhouse _____ k) other - ?

describe: unknown purpose, Description, size & shape of a privy, stone or concrete, painted over, pyramidal wood shingled roof

8. BRIEFLY DISCUSS THE ORIGINAL AND SUBSEQUENT USES OF THE STRUCTURE. NOTE ANY ASSOCIATIONS WITH HISTORIC EVENTS OR PERSONS:

9. PRIMARY REFERENCES (include location of reference)

10. SURVEYOR: Valerie Brown DATE OF FORM: 12-10-78

USE BLACK INK ONLY

CULTURAL RESOURCE SURVEY
LOCUS IDENTIFICATION FORM



FORM CRS-3

FOR OFFICE USE ONLY

DELAWARE BUREAU OF
ARCHAEOLOGY AND HISTORIC
PRESERVATION
HALL OF RECORDS
DOVER, DELAWARE 19901
(302) 678-5314

CRS # N-528
Quad
SPO map #
Hundred CHRISTIANA
DOCUMENT 20-06/78/G4/7

1. NAME OF LOCUS: _____
2. STREET LOCATION: _____
3. OWNER'S NAME: _____ TEL. # _____
ADDRESS: 3701 Centerville Rd
4. TYPE OF LOCUS: a) structure b) district _____ c) archaeological site _____
d) other _____
5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field c) woodland
d) scattered buildings e) densely built up _____ f) other _____
6. THREATS TO LOCUS: (check more than one if necessary)
a) none known b) zoning _____ c) roads _____ d) developers _____
e) deterioration _____ f) other _____
7. REPRESENTATION ON OTHER SURVEYS:
TITLE: _____ # _____
TITLE: _____ # _____
TITLE: _____ # _____
8. YOUR NAME: Valerie Cesna TEL. # 738-8437
YOUR ADDRESS: 317 Kirkbride Office Bldg., Newark, DE
ORGANIZATION (if any) American Studies Program DATE: 12-10-78
University of Delaware

USE BLACK INK ONLY

N-525

NEGATIVE 16-17

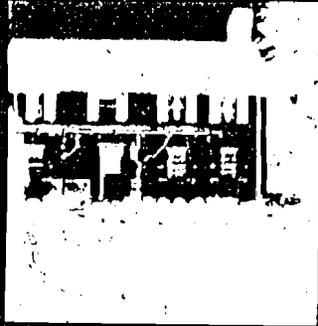
SUBJECT: 3701
Conoverville Road

DATE: Feb. 24, 1992

PHOTOGRAPHER:
Carolyn Craig

REFERENCES:

REMARKS:
Mr. J. Thompson - ~~DATA~~



INVESTIGATION CARD
HISTORIC PRESERVATION PROGRAM
DIVISION OF HISTORICAL AND
CULTURAL AFFAIRS

GRID NUMBER:

C-1, 188
11-51

SUBJECT:

ADDRESS: 3701 Centerville Road

OWNER:

TENANT: Fred H. Pollard

INVESTIGATOR: Mrs. H. Cadot DATE: 3/19/72

REMARKS: Jr. League #G-17. Pre 1849.
Owned by J. Thompson Estate. Old section-
library & guest room above, right side of
photo. James Thompson* (Tha: "Silk King")
lived in house and restored old section.
Contains old mantel, paneling, perhaps added
by Thompson? Deep windows. Estate cannot be
settled till 7 yrs. after Thompson's dis-
appearance.

*Son of Henry B. Thompson

*August 18, 1974
good condition H.W. & J.M.*

PHOTOGRAPH



TITLE OF PROJ. OR STUDY _____

PROJ. OR STUDY No. _____

SUBJECT *Location of sites on CR 8 forms*

WORKS _____

COMPUTED *John R. Rona* DATE *Dec. 10* 19 *78*



INVESTIGATION CARD
HISTORIC PRESERVATION PROGRAM
DIVISION OF HISTORICAL AND
CULTURAL AFFAIRS

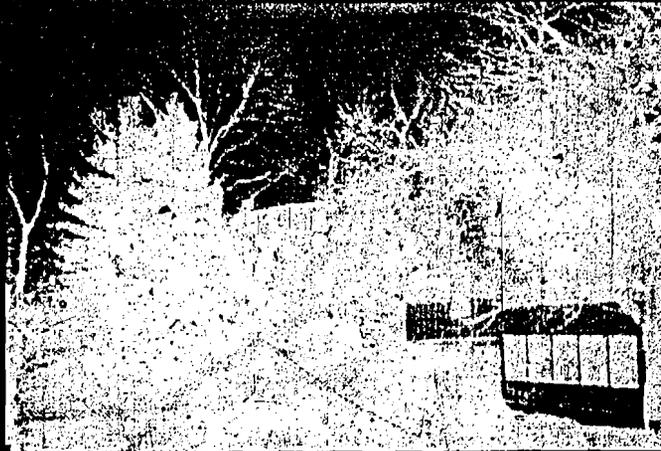
GRID NUMBER:

C-1, 189

SUBJECT: House & barn
ADDRESS: *Foxhole Farm*
3401 Centerville Road, Greenville
OWNER: H. K. Dugdale
TENANT: Vernon D. Lovett
INVESTIGATOR: Mrs. H. Cadot DATE: 3/19/72
REMARKS: Probably built about 1900.

August 18, 1976
4. W. & P. M.
Barn: fieldstone foundations
frame above

PHOTOGRAPH



CULTURAL RESOURCE SURVEY
STRUCTURAL DATA FORM



DELAWARE BUREAU OF
ARCHAEOLOGY AND HISTORIC
PRESERVATION
HALL OF RECORDS
DOVER, DELAWARE 19901
(302) 678-5314

Form CRS-1
FOR OFFICE USE ONLY

CRS # N-71081
Quad WILMINGTON NORTH
SPO map # B-9-30
Hundred CHRISTIANA
DOCUMENT 20-06/78/08/14

1. ADDRESS OF STRUCTURE : CAMPBELL ROAD
2. DESCRIBE THE STRUCTURE AS COMPLETELY AS POSSIBLE:

COLONIAL FEDERAL
a) Overall shape
stories 2 1/2
bays 5 CENTER
wings - SIDE - (STONE)

b) Structural system - STONE/FRAME

c) Foundation
materials STONE -
basement

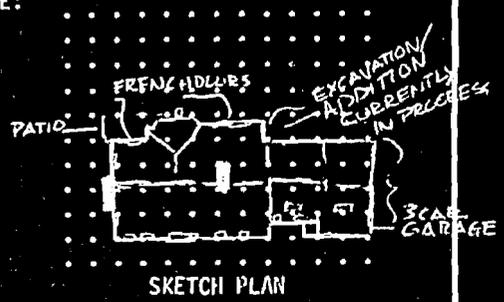
d) Exterior walls
materials - GREY STONE
color(s)

e) Roof
shape; materials GABLE
cornice - MODILLION -
dormers - BEAR-HEAD -
chimney location(s) EXTERIOR END, INTERIOR CENTER

f) Windows
spacing SYMMETRICAL
type ASH - 1/9 BOTTOM - 1/6 TOP
trim - STONE - LINTEL - ARCHITRAVE - CROWN
shutters PANELED

g) Door
spacing CENTER
type - PANELED
trim - FANLIGHT - SIDE LIGHTS -
INSET PLASTER TRIM AROUND DOOR/WINDOW
h) Porches
location(s) USE COLONNADS ON SIDES
materials - PATIO IN REAR
supports
trim - WOOD - PORCH - TO RIGHT OF CENTER SECTION

i) Interior details (if accessible)
WHITE WOOD COLUMNS
USE BLACK INK ONLY



TRAINER
SILVER
WOOD CASE
LION'S HEAD



1987 Home Ewing - Dover

3. CONDITION: good deteriorated

remarks: _____

4. INTEGRITY: a) original site b) moved
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____

5. DATE OF INITIAL CONSTRUCTION: 1937

6. ARCHITECT/BUILDER: BOLT FOR HOMER EWING (DUPONT COMPANY EXECUTIVE)

7. RELATED OUTBUILDINGS:
a) barn _____ b) carriage house _____ c) garage _____ d) privy _____
e) shed f) greenhouse _____ g) shop _____ h) gardens _____
i) icehouse _____ j) springhouse _____ k) other OUTBUILDING
describe: SMALL FRAME - WHITE

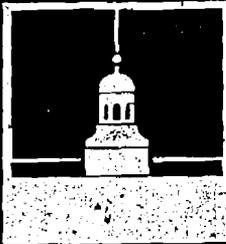
8. BRIEFLY DISCUSS THE ORIGINAL AND SUBSEQUENT USES OF THE STRUCTURE. NOTE ANY ASSOCIATIONS WITH HISTORIC EVENTS OR PERSONS:

9. Primary References: (include location of reference).

10. Surveyor: C. HOFFMAN Date of Form: 11/18/82

USE BLACK INK ONLY

CULTURAL RESOURCE SURVEY
LOCUS IDENTIFICATION FORM



FORM CRS-3

FOR OFFICE USE ONLY

DELAWARE BUREAU OF
ARCHAEOLOGY AND HISTORIC
PRESERVATION
HALL OF RECORDS
DOVER, DELAWARE 19901
(302) 678-5314

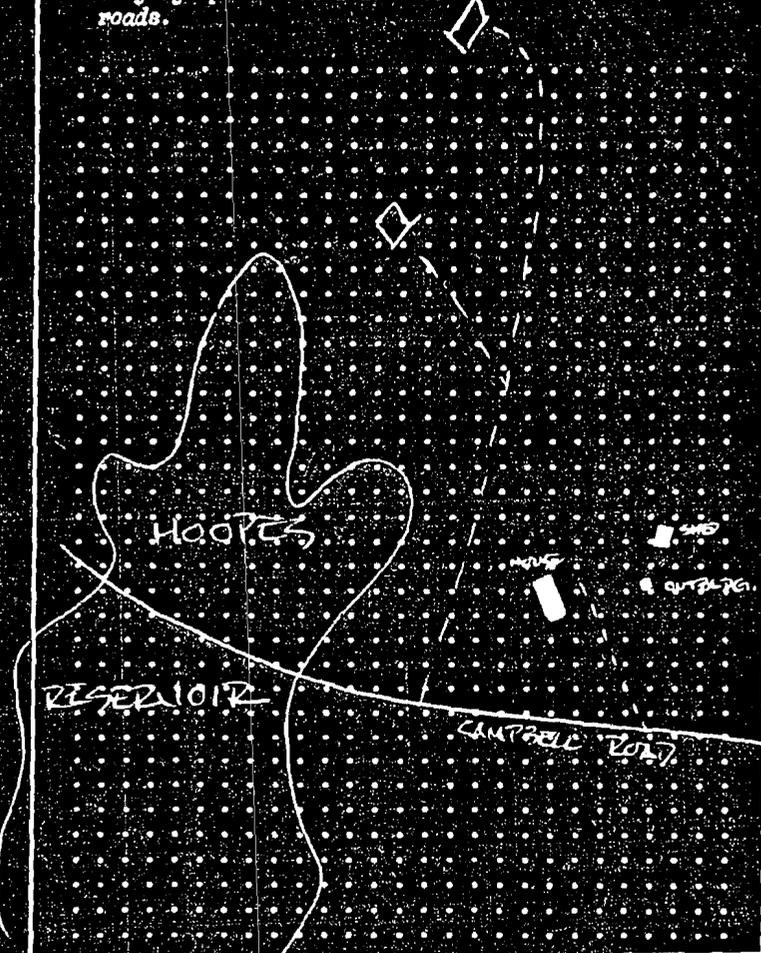
CRS # N-71081
Quad WILM NORTH
SPO map # B-9-26
Hundred CURTISVILLE
DOCUMENT 20-06/78/04/7

1. NAME OF LOCUS: DWELLING COMPLEX
2. STREET LOCATION: CAMPBELL RD, EAST OF RESTORIC
3. OWNER'S NAME: WILLIAM PRICKETT TEL. # 455-9583
ADDRESS: _____
4. TYPE OF LOCUS: a) structure b) district _____ c) archaeological site _____
d) other _____
5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field _____ c) woodland _____
d) scattered buildings e) densely built up _____ f) other Restoric
6. THREATS TO LOCUS: (check more than one if necessary)
a) none known b) zoning _____ c) roads _____ d) developers _____
e) deterioration _____ f) other _____
7. REPRESENTATION ON OTHER SURVEYS:
TITLE: _____ # _____
TITLE: _____ # _____
TITLE: _____ # _____
8. YOUR NAME: V. CESNA TEL. # _____
YOUR ADDRESS: _____
ORGANIZATION (if any) NC Co PLANNING DATE: 11/18/82

USE BLACK INK ONLY

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

USE BLACK INK ONLY

9. COMMENTS:

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area

SHED - CONCRETE FOUNDATION, FRAME, BOARD & BATTEN SIDING, WOOD SHINGLED GABLE ROOF

OUTBLDG - CONCRETE BLOCK, WOOD SHINGLED PYRAMIDAL ROOF W/ CUPOLA

APPENDIX B
Technical Proposal



Louis Berger & Associates, Inc.

75 Second Avenue, Suite 700, Needham, MA 02194
Tel 617.444.3330 • Fax 617.444.0099

A MEMBER OF THE BERGER GROUP

ENGINEERS • PLANNERS • SCIENTISTS • ECONOMISTS

9 February 1996

Ms. Therese M. Fulmer, Manager
Environmental Studies
Delaware Department of Transportation
PO Box 778
Dover, Delaware 19903

Ref: Price Proposal Request, Agreement 711, Standing Structures: Architectural Resource Survey/DOE, Centerville Road, New Castle County, Delaware (Work Order #9)

Attn: Vincent Rucinski

Dear Terry:

Responding to your letter of February 5, 1996, we are pleased to submit the attached price proposal for architectural resource survey and Determinations of Eligibility for Centerville Road, New Castle County. We understand from information provided by your office that the project extends 1.7102 miles between Barley Mill Road and Cambell Road, and that four or five previously recorded architectural resources may be located within the area of potential effect.

LBA's work program for the architectural resource survey includes background research for development of historic contexts, property-specific research in association with preparation of DOE forms, fieldwork, and report/form preparation. Existing site information will be obtained from the Delaware Historic Preservation Office. Background research will be conducted at the Hall of Records, Delaware Historical Society, and New Castle County Courthouse. Fieldwork will consist of vehicular and pedestrian survey to determine the area of potential effect (APE), identify all architectural resources over 50 years of age within the APE, and photograph all such resources sufficiently to depict their present character and setting. Fieldnotes will also be taken to record basic physical characteristics, alterations, and level of integrity.

Results of the research and field efforts will be presented in a report conforming in format and content to Delaware SHPO requirements. Determination of Eligibility forms will be prepared for any properties appearing to meet National Register Criteria. These forms will form an appendix to the report.

LBA is prepared to initiate work on the Centerville Road project within five (5) working days of receipt of written notice to proceed. Background data collection, field survey, and property-specific research will be completed within twenty (20) working days following notice to proceed. A draft report, submitted in three (3) copies, will be submitted to DelDOT twenty (20) working

days following completion of the research and field efforts. The final report, submitted in six (6) copies, two (2) containing original photographs, will be submitted to DelDOT within ten working days following receipt of all comments on the draft report.

If you have any questions concerning our price proposal for this project, please do not hesitate to contact me.

Sincerely yours,

THE CULTURAL RESOURCE GROUP

A handwritten signature in black ink, appearing to read 'M. Bowers', written over a printed name.

Martha H. Bowers
Principal Architectural Historian

attachment (1)

xc: Hotopp, Oleske, 96-027

APPENDIX C

Resume of David C. Berg

DAVID C. BERG
Architectural Historian

EDUCATION

- M.A., U.S. History, University of Maryland, College Park, 1990
- B.A., History/Archaeology, Wheaton College, Wheaton, Illinois, 1984

SPECIAL CERTIFICATION

- Certificate in Historic Preservation, University of Maryland, College Park, 1993

TECHNICAL TRAINING

- Advanced Photographic Studies, Maryland Institute, College of Art, Baltimore, 1993 to 1994
- Historic American Buildings Survey/Historic American Engineering Survey [HABS/HAER] Architectural and Engineering Photography of Historic Structures, 1993

PROFESSIONAL EXPERIENCE

Cultural resource investigations to identify historical sites in project areas and determine eligibility for inclusion in the National Register of Historic Places and potential effects to historic architectural properties in and adjacent to proposed project areas. Since joining LBA in 1995, Mr. Berg has been involved in the following assignments:

- **Work Order No. 5 Bridge Replacement.** For the Pennsylvania Department of Transportation.
- **Work Order No. 6 Bridge Replacement.** For the Pennsylvania Department of Transportation.

PAST PROFESSIONAL EXPERIENCE

Historic Preservation Planner, Maryland-National Capital Park and Planning Commission, Montgomery County, Maryland. From 1994 to 1995, reviewed Historic Area Work Permit (HAWP) applications required for exterior alterations to designated historic resources; conducted field work; researched the history and architectural significance of the resources; analyzed proposed architectural plans according to the *Secretary of the Interior's Standards for Rehabilitation*; wrote staff reports discussing the HAWP proposals and presented recommendations at Historic Preservation Commission public meetings; consulted with private and public organizations and individuals; prepared the formal written decisions of the Commission; produced staff recommendations on National Register nominations within the county; responded to information requests on historic properties; provided technical preservation assistance; and assisted historic property owners in applying for the county historic preservation property tax credit.

Project Review and Compliance, Maryland Historical Trust, Crownsville, Maryland. During 1994, researched potential historic resources within federal and state licensed or funded project areas and evaluated them in terms of National Register criteria to make eligibility determinations as required under Section 106 of the National Historic Preservation Act, as amended; responded to public information requests regarding potentially significant historic and archeological sites; and reviewed determinations of effects to historic resources.

Freelance Photographer. Part-time professional photographer from 1993 to present, in medium (6x7) and large (4x5) formats. Specializing in: professional archival photographic printing; photographic restoration and reproduction; architectural photography; archeological artifact photography; professional copy work; and portrait and landscape photography. Clients have included: Zaccardi Photographic Services, Baltimore, Maryland; Montgomery County Agricultural History Farm Park; and private individuals.

General Contractor. From 1984 until 1994, operated a general contracting business in the New Jersey, New York, and eastern Pennsylvania region. Projects included: design, construction, and remodeling of commercial and residential structures; interior and exterior restorations and rehabilitations of historic structures; preparation of estimates; hiring and supervision of several full-time employees; consulting with municipal permitting offices; arranging for inspections; and purchasing materials. Partial restoration work completed on more than 20 structures, including a full restoration/rehabilitation of a circa 1890 carriage house (now used as a garage).

Polychrome House Number One, 9900 Colesville Road, Silver Spring, Maryland. Delineated measured drawings according to the standards of the Historic American Buildings Survey (HABS); drawings exhibited at the University Honors Program, University of Maryland, College Park, in 1993; now deposited in the HABS/HAER collection at the Library of Congress.

Oral History, Equal Employment Opportunity Commission (EEOC), Washington, D.C. In 1990, conducted an EEOC Oral History Project. Responsibilities: researched EEO case law and background information for interviews with current and former EEOC employees and notable figures in the American Civil Rights movement; conducted interviews; transcribed and edited interview manuscripts; scheduled interviews and arranged travel plans for interviewees; and prepared project budget.

Historic Research and Database Management, Harpers Ferry National Historical Park, Harpers Ferry, West Virginia. In 1989, researched land records for all park-owned properties to obtain chain of title, physical information on structures and improvements, historic property boundaries, and land owners' probate and tax records.

APPENDIX D

National Register of Historic Places Documentation Form

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Centerville Road Historic District

other names/site number _____

2. Location

street & number 3800-4001 Centerville Rd, adj. area not for publication
city or town Greenville vicinity x
state Delaware code DE county New Castle code 003
zip code 19807

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register Criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments.)

Signature of certifying official Date

State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments.)

Signature of commenting or other official Date

State or Federal agency and bureau

=====
4. National Park Service Certification
=====

I, hereby certify that this property is:

- entered in the National Register
See continuation sheet.
determined eligible for the National Register
See continuation sheet.
determined not eligible for the National Register
removed from the National Register
other (explain):

Signature of Keeper Date of Action

=====
5. Classification
=====

Ownership of Property (Check as many boxes as apply)

- x private
x public-local
public-State
public-Federal

Category of Property (Check only one box)

- building(s)
x district
site
structure
object

Number of Resources within Property

Table with 2 columns: Contributing, Noncontributing. Rows include buildings, sites, structures, objects, and Total.

Number of contributing resources previously listed in the National Register 0

Name of related multiple property listing (Enter "N/A" if property is not part of a multiple property listing.) N/A

=====

8. Statement of Significance

=====

Applicable National Register Criteria (Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing)

- A Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B Property is associated with the lives of persons significant in our past.
- C Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations (Mark "X" in all the boxes that apply.)

- A owned by a religious institution or used for religious purposes.
- B removed from its original location.
- C a birthplace or a grave.
- D a cemetery.
- E a reconstructed building, object, or structure.
- F a commemorative property.
- G less than 50 years of age or achieved significance within the past 50 years.

Areas of Significance (Enter categories from instructions)

ARCHITECTURE
LANDSCAPE ARCHITECTURE
COMMUNITY PLANNING
AND DEVELOPMENT

Period of Significance 1907-1946

Significant Dates 1907
1932
1937

Significant Person (Complete if Criterion B is marked above)

Cultural Affiliation _____

Architect/Builder Wheelwright and Stevens
unknown

Narrative Statement of Significance (Explain the significance of the property on one or more continuation sheets.)

=====

9. Major Bibliographical References

=====

Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS)

- preliminary determination of individual listing (36 CFR 67) has been requested.
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

Primary Location of Additional Data

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository: Delaware SHPO

=====

10. Geographical Data

=====

acreage of Property approx. 260

UTM References (Place additional UTM references on a continuation sheet)

| | Zone | Easting | Northing | Zone | Easting | Northing |
|---|------|---------|----------|------|---------|----------|
| 1 | ___ | _____ | _____ | 3 | ___ | _____ |
| 2 | ___ | _____ | _____ | 4 | ___ | _____ |

___ See continuation sheet.

Verbal Boundary Description (Describe the boundaries of the property on a continuation sheet.)

Boundary Justification (Explain why the boundaries were selected on a continuation sheet.)

=====
11. Form Prepared By
=====

name/title David C. Berq/Architectural Historian

organization Louis Berqer & Associates, Inc.

date July 1996

street & number 100 Halsted Street telephone (201)678-1960

city or town East Orange state NJ zip code 07019

=====
Additional Documentation
=====

Submit the following items with the completed form:

Continuation Sheets

Maps

A USGS map (7.5 or 15 minute series) indicating the property's location.
A sketch map for historic districts and properties having large acreage
or numerous resources.

Photographs

Representative black and white photographs of the property.

Additional items (Check with the SHPO or FPO for any additional items)

=====
Property Owner
=====

(Complete this item at the request of the SHPO or FPO.)

name _____

street & number _____ telephone _____

city or town _____ state _____ zip code _____

=====
Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).
Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including the time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Project (1024-0018), Washington, DC 20503.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 1

Centerville Road H. D.
name of property
New Castle County, Delaware
county and State

Description

The architectural resources within the Centerville Road Historic District constitute a significant concentration of Revival-style estates separated by large areas of open space. The houses on these parcels are set well back from the road, generally being set on hills that rise up from either side of the road. Large, mature trees typically line winding driveways. Lots are generally open, landscaped expanses consisting primarily of large lawns, with wooded areas which separate them from adjoining properties. Parcels range in size from about three acres to 20 acres.

The contributing properties within this district all date to the period circa 1880-1940, referred to in the Delaware *Historic Context Master Reference and Summary* as the period of Urbanization and Early Suburbanization. The relevant property types for the district are Commuter Suburbs under the theme of Settlement Patterns and Demographic Change, and Early Twentieth-Century Revival-style buildings under the theme of Architecture. Contributing resources within the district are constructed chiefly of stone or brick, and are all characterized by their large size. The majority of the resources are asymmetrical versions of the Colonial Revival style, having attached garages incorporated into their design; however, the two oldest contributing resources, the William A. Worth House and Westbrae, are symmetrically arranged and have detached garages.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 2

Centerville Road H. D.
name of property
New Castle County, Delaware
county and State

=====
Description (continued)

Individual resources

**1. Frank G. Tallman House (N-13526)
3800 Centerville Road**

This property contains four resources: a dwelling, a garage, a shed, and a pool. The house is a 2½-story Colonial Revival-style house which, according to the present owner, Angela Greenberg, was built in 1939. The house is constructed almost entirely of brick, but has some frame sections which are clad with wooden clapboard siding. The house is composed of a 3x2-bay main section with wings at both the north and south gables. The west elevation serves as the building's main facade, and faces Centerville Road. This elevation's main section has two southernmost bays with 6/6 double-hung windows; its northernmost cross-gabled bay has a first-story bay window and a second-story 12/12 double-hung window. The east elevation of the main section has three dormers piercing its roof. All windows have 4-inch wooden surrounds, with paneled shutters on the first-story windows and louvered shutters on the second-story windows. The entire roof is clad with slate, and has two brick chimneys, one exterior chimney on the north gable of the main section and one on the south elevation wing. To each side of this main section is attached a 1½-story, 2-bay side-gabled wing. Each wing has two wall dormers on its half story. A gabled, 2-story, 2x2 bay garage is attached to the northern wing of the house, and a shed-roofed porch with full-length, multipane windows is attached to the southern wing.

East of the house is a 1½-story, 2x1-bay garage of brick construction resting on a concrete slab. It has a pedimented gable clad with aluminum siding. According to its owner, the garage was built in the mid-1980s. South of the garage is a small, 2-bay, side-gabled frame shed with vertical V-grooved wooden siding and cedar-shingled roof which appears to date from the mid-twentieth century. South of this shed is a small in-ground concrete pool.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 3

Centerville Road H. D.
name of property
New Castle County, Delaware
county and State

=====
Description (continued)

. **George R. Beach House (N-13527)**
801 Centerville Road

This property consists of a dwelling, a shed, a poolhouse, and a pool. The house is a 2-story, asymmetrical example of the French Renaissance style, dating to the first half of the twentieth century. It is constructed of brick, and has a steeply-pitched hip roof clad with cement-asbestos shingles. Two brick interior chimneys pierce the roof ridge. The east elevation serves as the primary facade of the building, and consists of a 6-bay wide main section with asymmetrical wings on both sides. The first-story windows are full-length casement windows (French doors) with louvered shutters, and the second-story windows are paired, 3-pane wooden casements, also with shutters. The principal entrance to the house is placed in an off-center bay which extends forward of the main wall plane. The windowless door is flanked by full-length shutters. Above this entrance is a second-story gabled bay which opens to a small porch with a decorative iron railing. On the south end main section is a single-bay 2-story section which has a south-facing garage. The east elevation of the garage wing has a single circular window. The north wing of the house is one story high and one bay wide.

South of the house is a 1x2-bay, side-gabled shed dating from the mid-twentieth century. It is constructed of concrete block with a brick facing. Its roof is clad with asphalt shingles. West of the house is a small, gabled frame poolhouse with vertical wooden V-grooved siding set on a concrete-block foundation. At the north elevation of this poolhouse is a flat-roofed, screened-in porch. The building appears to date from the mid-twentieth century. North of the poolhouse is an in-ground concrete pool.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 4

Centerville Road H. D.
name of property
New Castle County, Delaware
county and State

=====
Description (continued)

3. James Rankin Davis House (N-13528)
3900 Centerville Road

This property consists of a dwelling and a shed. The dwelling is a Colonial Revival-style house constructed predominantly of stone, with some frame sections. Its main section is a 2-story, side-gabled structure, three bays wide and two bays deep. The principal facade of the house faces west, toward Centerville Road. On each gable of this main section lies a 1½-story, 2-bay wing. Attached to the north wing is a cross-gabled garage, and attached to the south wing is a one-story, screened-in porch. The windows on the main section and its wings consist of 6/12 double-hung on the first story, and 6/6 double-hung on the second story. The lintels consist of continuous brick above steel plates, and the window sills are stone capped with wood. The main entrance to the house consists of a door and an 8-pane casement window protected by a hipped-roof portico on the west elevation of the main block. The roof is clad with asbestos shingles, and a single exterior stone chimney is centered on the south elevation wing's gable.

The east elevation walls of the house and cross-gable garage are frame, with 8-inch wooden clapboard siding. The cross-gabled garage has a single overhead door opening at its north elevation. The roof slope of this elevation of the garage has a central gabled dormer. A one-story, hipped-roof addition with clapboard siding and asphalt roof shingles is attached to the east elevation of the garage.

North of the house is a 2-bay, side-gabled shed with board and batten siding and asphalt-shingled roof, resting on a concrete slab.

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET

Section 7 Page 5

Centerville Road H. D.
name of property
New Castle County, Delaware
county and State

Description (continued)

William A. Worth House (N-13529)
West side of Centerville Road, southwest of its junction with Hillside Road

This property consists of an early-twentieth-century Colonial Revival house, garage, a shed, and a springhouse. The house is set on a hill, about 550 feet west of Centerville Road at the end of a long drive. The house is a symmetrical 2½-story, U-plan structure with symmetrical wings and one-story porches on each side. It is built of uncoursed stone, with a five-bay main section. The first-story windows have 8/12/12 triple-hung wooden sashes and paneled wooden shutters. The second-story windows consist of 12/12 double-hung wooden sashes with louvered wooden shutters. Four-inch molded casing surrounds each window. Massive rough-squared stone lintels with keystones cap each window opening. The main entrance to the house is a central, four-foot-wide paneled door on the east elevation. It has a dentiled entablature supported by fluted pilasters. Three dormers pierce the east elevation of the main section's roof. These are gabled dormers with molded returns, having double-hung windows with arched top sashes and large decorative wooden "keystones." The roof is covered with cement-asbestos shingles. The main section has two brick interior end chimneys. On a datestone on the southern gable of the main section is inscribed: "J.R.W.-1937-W.A.W."

The 2-bay wings on each side of the main section are similar in design to the main section, each having 12/12 double-hung windows on the first and second stories, and a single dormer with a 6/6 double-hung window. The wings have cross gables to the rear which are one bay deep, forming the house's U-plan. Each wing has a brick interior end chimney. A single-story enclosed wooden porch is attached to each wing. These porches have flat roofs with wrought-iron balustrades, and multipane fixed sash windows supported underneath by sections of wooden panels. Thin steel pillars support the porch roofs. According to the current owners, these porches were enclosed in 1994.

A stone wall which is attached to the north wing's east elevation extends about 75 feet, terminating at a 5x2-bay side-gabled stone garage. This garage is similar in construction to the main house, but is 1½-story, having two dormers on its southern slope and three on its northern slope. All the windows are 6/6 double-hung wood. The west elevation gable has a one-story, stone shed-roofed extension. Modifications appear to be limited to the interior, which appears to have been converted to offices and storage space.

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Description (continued)

About 75 feet east of the garage is a small front-gabled shed constructed of concrete block, but with a stone/stucco exterior finish. The roof is clad with cedar shingles. A small stone springhouse is set into a hill at the northeast corner of the property near Hillside Road. It is square, and has a pyramidal roof with asphalt shingles and a central roof cupola. A stone stairway on its south elevation leads to an entrance door. It appears to date from the same period as the main house.

5. William A. Dickson House (N-524)

West side of Centerville Road, at its junction with Hillside Road

This property consists of a single dwelling, a garage, a springhouse, and a shed. The dwelling is a 2-story, 3-bay, side-gabled I-house built in the late eighteenth century. The plan, originally rectangular, has been made irregular by additions. The original section is constructed of uncoursed stone, covered with a thin layer of stucco. The principal facade, which faces south, has a one-story porch with shed roof. The first- and second-story windows consist of wooden 6/6 double-hung sash. The main entrance is a central door, flanked by evenly spaced windows. The windows have wooden frames constructed of rough-hewn timbers. The roof covering consists of slate. The main section has two interior gable-end chimneys built of brick.

The additions appear to have been built in three stages, beginning with a 1-bay, 2-story frame ell at the northeast corner of the north elevation which appears to date to the mid-nineteenth century. Its windows are 6/6 double-hung sash. Attached to the north gable of this ell is another one-story section apparently dating to the mid-twentieth century. This section has both 6/6 and 1/1 double-hung sash. Both of these sections have asbestos siding and slate roofs. A third section, which is set into the inside corner of the ell, is a one-story frame structure which has vinyl siding and a metal standing-seam roof. The windows are vinyl-clad casements. This addition appears to date from the mid- to late twentieth century.

A mid- to-late twentieth-century garage stands east of the house. It is a side-gabled, 2-bay building built of stucco-faced concrete block. Its roof is covered with asphalt shingles. South of the garage is a stone springhouse with a thin stucco coating and slate roof. On the west gable is a datestone which reads: " W.D. 1790." Northwest of the house is a gabled stone shed, likely from the mid-nineteenth century. The gables are pedimented and have wooden shingles. The roof is covered with asphalt shingle.

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Description (continued)

1. Deborah B. Halsey Wilson House (N-13530)
1001 Centerville Road

This 2-story stone Colonial Revival-style house with an irregular plan is situated west of the William A. Dickson House at the end of a drive opposite Hillside Road. The materials and construction of this house are similar to those of the William A. Worth House. It is a side-gabled structure with its primary facade facing east. The building consists of five distinct sections: a 2-bay main or entrance section which has a 1-bay gabled wing attached to its north gable, and two side-gabled sections and one cross-gabled garage attached to its southern gable. Attached to the south elevation gable of the main section is a 2-bay wing, to which is attached another 2-bay wing. The cross-gabled garage is two bays wide. Windows consist primarily of 6/6 wooden double-hung sashes with 4-inch wooden surrounds; however, the main section has 9/6 double-hung windows on its first story. All first-story windows have recessed panel shutters, and the second-story windows have louvered shutters. Massive stone lintels and keystones identical to those on the William A. Worth House suggest that the same builder constructed both buildings. The roof, which is pierced by four brick chimneys, is clad with slate. A front entrance on the east elevation of the main section has a fanlight transom. Two shed-roofed, screened-in porches extend westward from the west elevation. A datestone set in the north elevation gable reads: "R.E.W. -1939- D.B.H.W."

South of the house lies a 1x2-bay, front-gabled, concrete-block garage on a concrete slab, with an asphalt-shingled roof. This garage dates from the mid-twentieth century. An in-ground concrete pool is situated near the north elevation of the house. A stone wall leading from the house to the pool has a datestone embedded in it which appears to have come from a building historically associated with the William A. Dickson House. It reads: "W^D S^S 1792." This appears to refer to William and Susanna Dickson, owners of the land during the late eighteenth century. North of the pool is a small frame shed with board and batten siding dating from the mid- to late twentieth century.

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Description (continued)

7. Westbrae Tenant House (N-522)
1115 Hillside Road

This property consists of a dwelling and a garage. The house, which is set on a hill, consists of an original 3x2-bay, 1½-story side-gabled main block with a one-bay addition at the east gable end. The original section is frame, set on a stone foundation, with its principal elevation facing south. The first story of this elevation has a central entrance with a brick stairway and porch, covered by a shed roof. Windows on each side of the entrance have 6/6 wooden sashes. The roof is clad with asphalt shingles, and is pierced by a central interior ridge chimney. The 1x2-bay frame addition has a combination of 1/1 and 6/6 wooden sash windows. The rear of the house (north elevation) has a shallow roof pitch due to what appears to have been a late twentieth-century addition which raised the roof, creating a half story. Windows on the north elevation consist of a combination of late twentieth-century-style wooden 1/1 and 6/6 windows. The entire house is clad with vinyl siding.

A garage, which is constructed from a metal quonset hut with one curved side clipped to create an entrance bay, lies southwest of the house near Hillside Road. It appears to date from the mid-twentieth century.

8. Westbrae (N-521)
1101 Hillside Road

This property consists of a large dwelling, three garages, and a pool. The dwelling is a large 2½-story, stone Dutch Colonial Revival-style house dating from the early twentieth century. It is a 5x3-bay, side-gabled stone house with stone interior end chimneys which rise above a gambrel roof. The roof is clad with cedar shingles. Most windows are 6/1 double-hung wooden sashes with elaborate molded wooden sills and stone lintels with keystones. Both roof slopes have three pedimented dormers. The principal facade faces west, and has a central-gabled portico entrance with concave ceiling. Both gable ends of the house have one-story enclosed porches with flat roofs which have decorative wooden balustrades. The porch roofs are supported by round wooden columns of the Tuscan Doric order. The east elevation has a central porte cochere which has a flat roof surrounded by a balustrade. The porte cochere roof is supported by two Doric-order columns. Centered on the porte cochere roof is a small arched window with leaded panes. A datestone on the south gable wall reads: "C.F.R. 1907."

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Northwest of the house is an in-ground concrete pool. East of the house stands a 1-bay, front-gabled frame garage with a combination of vertical beaded-board and plywood siding. The roof is clad with asphalt shingle. This garage appears to date from the early twentieth century. Southwest of this garage is a 1½-story, gabled garage with an L-plan. The building appears to have been constructed in two phases. A 3x1-bay section, which appears to date from the early twentieth century, has a stone foundation, central stone chimney, and gambrel roof, with a single dormer on both its northern and southern roof slopes. A one-story ell attached to the north elevation of this garage has a brick chimney. This ell appears to date from the mid-twentieth century. Both sections are clad with a combination of German siding and asphalt shingle. Windows consist of a variety of fixed-pane sashes and 2/2 and 6/6 double-hung. The interior of the half story of the main section appears to be finished, and may have been used as living quarters at some time. A steel quonset-hut garage identical to the one on the Westbrae Tenant House property is situated east of this garage.

9. Westbrae Springs Springhouse and Holding Tank (N-523)
Westbrae Lane, east of Centerville Road

This property consists of a springhouse and water storage tank situated on Westbrae Lane. The springhouse is situated on the south side of the lane, and is a stone front-gabled structure with asphalt-shingled roof, which rests above a small stream. The eastern gable end has a small board and batten addition with a concrete slab foundation, which appears to have been added in the early twentieth century. The holding tank lies on the north side of the lane, and is a square stone structure with a shed roof covered with asphalt shingles. There are no window or door openings in this structure, but a small pipe through the west elevation wall of the structure releases water which is collected within the tank. Mid- to late twentieth-century residences are located both north and south of these structures.

10. Stone Headwall (N-13531)
East side of Centerville Road, south of Campbell Road

This headwall is a barrel-arched stone structure which lies on the east side of Centerville Road and supports a concrete pipe that conveys a stream under the Road to the Edgar Hoopes Reservoir. It is approximately 40 feet long, with a two-foot-high parapet wall. Its arch has stone voussoirs and dressed keystone. No datestone or other markings are present on the structure.

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11. Valley Garden Park (N-13532)
Intersection of Centerville Road and Campbell Road

This park is located near the southeast corner of the intersection of Centerville and Campbell roads, with its main entrance on Campbell Road. The park consists of both asphalt and dirt paths leading through both wooded and grassy areas. Stone walls and stairways are situated throughout the park. A central walled area contains a bronze plaque which reads: "The Valley Garden, Presented to the City of Wilmington in Memory of Mrs. T. Coleman DuPont by her Daughter Ellen DuPont Wheelwright." Through the center of the park runs a stream in which have been constructed a series of stone walls, creating waterfalls. This stream drains into the Hoopes Reservoir. Between the center of the park and Centerville Road lies a small footbridge which carries a path across the stream. The bridge is a concrete barrel-arched structure clad with stone.

Near the entrance to the park, on Campbell Road, lies a 2-story, side-gabled stone house. The house consists of a main 3-bay section, with a 2-bay wing attached to its north elevation. The windows on the east elevation's main section are 9/9 double-hung on the first story, and 6/9 on the second story. The wing has 6/9 windows. All the windows have 4-inch wooden surrounds. Shutters are paneled on first-story windows, and louvered on second-story windows. The roofs of both sections are covered with asbestos shingles. Three stone chimneys pierce the roof, two of which are interior end chimneys at each gable. The third chimney is located on the west elevation roof slope. Attached to the west elevation of the wing is a one-story gabled stone ell. Attached to the gable of the ell is a small, shed-roofed porch with asphalt-shingled roof.

Southwest of the house is a 2x2-bay stone garage with a pedimented gable having 8-inch wooden clapboard. The garage roof is covered with asbestos shingles.

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Description (continued)

2. Homer D. Ewing House (N-7681)
103 Campbell Road

This property consists of a single dwelling and a pumphouse. The dwelling is a 2-story, side-gabled Colonial Revival-style structure. The house's principal facade faces east. It consists of a 5-bay, side-gabled main block which is constructed of stone and has a slate roof. The first-story windows are 6/9 double-hung, and the second-story windows are 6/6 double-hung. The central bay of the first story serves as the main entrance to the house, and consists of a paneled door flanked on each side by a four-pane sidelight. Above the door is a fanlight which is capped with decorative wooden trim, stone voussoirs, and stone keystone. The sides of the doorway are trimmed with fluted pilasters and decorative quoins. Above the doorway is a wrought-iron balcony. The south gable of the main section has an exterior end chimney of stone. Attached to the north elevation gable of the main block is a 3-bay, 1½-story frame section clad with 8-inch wooden weatherboard. A single shed-roofed dormer pierces its east elevation roof. The rear, or west, elevation of this section has a shed-roofed dormer addition which appears to date from the mid- to late twentieth century. A stone chimney is located on the west roof slope of this section, just east of the dormer addition. Attached to the north elevation gable of this section is a 3-bay frame and stone garage. This garage also has a shed-roofed dormer on its east roof slope, and a mid- to late twentieth-century shed-roofed dormer addition on its west roof slope. Off the west elevation of the house is a complex arrangement of decking and stairs which appears to have been built in stages between the 1950s and the 1980s.

A small concrete-block pumphouse is situated southeast of the house. This structure has a single steel door and a pyramidal roof with cedar shingles and a central cupola.

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Description (continued)

Contributing and non-contributing resources

1. **Frank G. Tallman House (N-13526)**
 - a. Dwelling C
 - b. Garage NC
 - c. Shed C
 - d. Swimming pool C

2. **George R. Beach House (N-13527)**
 - a. Dwelling C
 - b. Shed C
 - c. Poolhouse C
 - d. Swimming pool C

3. **James Rankin Davis House (N-13528)**
 - a. Dwelling C
 - b. Shed C

4. **William A. Worth House (N-13529)**
 - a. Dwelling C
 - b. Garage C
 - c. Shed C
 - d. Springhouse C

5. **William A. Dickson House (N-524)**
 - a. Dwelling NC
 - b. Garage NC
 - c. Springhouse NC
 - d. Shed NC

6. **Deborah B. Halsey Wilson House (N-13530)**
 - a. Dwelling C
 - b. Garage C
 - c. Swimming pool C
 - d. Shed NC

7. **Westbrae Tenant House (N-522)**
 - a. Dwelling NC
 - b. Garage NC

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- 6. Westbrae (N-521)
 - a. Dwelling C
 - b. Garage (frame) C
 - c. Garage (L-shaped frame) C
 - d. Garage (quonset hut) NC
 - e. Swimming pool C
- 7. Westbrae Springs Springhouse and Holding Tank (N-523)
 - a. Springhouse C
 - b. Water storage tank C
- 8. Stone Headwall (N-13531)
 - a. Headwall C
- 9. Valley Garden Park (N-13532)
 - a. Walls and stairways C
 - b. Waterfall system C
 - c. Footbridge C
 - d. House C
 - e. Garage C
- 10. Homer D. Ewing House (N-7681)
 - a. Dwelling C
 - b. Pumphouse C

TOTAL OF CONTRIBUTING RESOURCES
21 buildings
9 structures

TOTAL OF NON-CONTRIBUTING RESOURCES
9 buildings
0 structures

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Statement of Significance

The Centerville Road Historic District is significant with regard to architectural history due to its nature as a well-preserved example of elite suburbanization during the early to mid twentieth century.

The properties within the proposed Centerville Road Historic District are historically related to one another, with many being Revival-style mansion houses constructed and/or owned by industrial executives during the early twentieth century. The documented examples of this relationship are Westbrae, the William A. Worth House, and the Homer D. Ewing House. Further research is likely to reveal that this relationship exists among other properties within the district. The resources are also historically related by the construction of the Edgar M. Hoopes Reservoir, which appears to have been the catalyst which spurred this development, as the majority of the houses within the district were constructed within seven years after the completion of the reservoir, and all of those properties on the west side of Centerville Road are clearly oriented to provide a scenic view of the reservoir. The construction of both the reservoir, which was built on land owned by members of the DuPont family, and the Valley Garden Park, which was a donation from DuPont family members, appears to have been an integral part of this development.

Major changes occurred in the landscape of Delaware's Piedmont Zone during the late nineteenth and early twentieth centuries, as industrialization and commercialization began to dominate the economy of the Piedmont Zone (De Cunzo and Garcia 1992:28). Large industries moved into Wilmington, and away from the natural power sources such as creeks. As these industries moved to the city, suburban expansion, led by a growing professional middle class, began. In association with suburban development, roads were improved to accommodate the automobile, and mass transit was developed (Ames et al. 1989:51).

An important event associated with increased urbanization and suburbanization in the vicinity of the project area was the construction of the Edgar M. Hoopes Reservoir. The reservoir was begun in 1926 by its contractor, John J. Walsh, and completed in 1932. Located immediately west of the project area, the placement of the reservoir sparked the development of a number of early twentieth-century country estates which were constructed along its shores. Most of the land now occupied by the reservoir was owned by Senator Thomas Coleman DuPont. Although it is not clear exactly what role Thomas Coleman DuPont played in the construction of the reservoir and subsequent suburban-

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Statement of Significance (continued)

ation of the area, he did own most of the land now covered by the reservoir, as well as a large amount of land along the relocated Centerville Road. The Hoopes Reservoir was originally named the Old Mill Dam, after DuPont's homestead, which was called "Old Mill" (Silliman 1962:98). DuPont appears to have taken the opportunity provided by the construction of the reservoir to begin selling his land as residential parcels after the reservoir was completed (Delaware Historical Society 1926-1982). Many of these estates were built by the owners of profitable factories and mills in the city, who began purchasing large tracts of land west of Wilmington. These included members of the DuPont family, and other executives employed by the DuPont industries, as well as such men as William Alexander Worth, of the Worth Steel Company (Bevan 1929:81; Herman and Siders 1989:17).

Individual resources

1. Frank G. Tallman House (N-13526)
3800 Centerville Road

This property was part of the estate of Henry B. Thompson until 1938, when it was purchased by Frank Gifford and Ruth Lester Tallman (NCC Deed X-40-54). Frank Tallman constructed the brick dwelling on the property, which upon his death in 1952 became the property of Ruth Tallman (NCC Estate Record 31983). Ruth Tallman married Charles P. Tyner, and after her death in 1966, the property was transferred several times before it was bought by Gary W. and Angela Greenberg in 1987 (NCC Deeds N-77-604, U-82-664, and 604-143). One deed from 1969 refers to the property as "Winging Hill" (NCC Deed U-82-664).

2. George R. Beach House (N-13527)
3801 Centerville Road

In 1937, William B. and Susanne S. Denham purchased this property from Ellen DuPont Meeds (NCC Deed H-40-436). Less than two years later, in 1939, the Denhams sold the land to George R. and Jane Beach (NCC Deed H-41-157). The house appears to have been erected either just prior to, or more likely, immediately following, this sale in 1939. In 1944, the Beaches sold the property, "with the dwelling house and other buildings erected thereon," to George P. Bissell, Jr. (NCC Deed Q-44-502). Examples of the French Eclectic style are relatively uncommon, occurring only occasionally in Eclectic suburbs of the 1920s and 1930s (McAlester 1994:386-387). The house is an intact example of this relatively uncommon style.

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Statement of Significance (continued)

3. James Rankin Davis House (N-13528)
3900 Centerville Road

James Rankin Davis purchased several parcels from the estate of Henry B. Thompson, beginning in 1940, with other purchases being made in 1949, 1953, and 1961 (NCC Deeds D-42-145, R-53-574, and S-49-234). It appears that Davis constructed this house as his residence between 1940 and 1949. In 1965, Davis sold his residence to C. Ronald Maroney and Eleanor Silliman, who sold it to Charles and Linda Lynch in 1967 (NCC Deeds V-78-510 and W-74-185). In 1969, the property was sold to Robert S. Lovett (NCC Deed S-82-957). The current owner, Ann Louise McEvoy, purchased the property from the Lovetts in 1989 (NCC Deed 855-323).

4. William A. Worth House (N-13529)
West side of Centerville Road, southwest of its junction with Hillside Road

This house was built by William A. Worth and Jane R. Worth in 1937. In 1994, the house was sold to the Intercollegiate Studies Institute by the heirs of Jane R. Worth (NCC Deed 1849-55). William Alexander Worth was a prominent industrial figure in Delaware during the early twentieth century, having established the Worth Steel Company in Claymont (north of Wilmington) during the early 1920s. The Worth Steel Company was one of the leading industries in Delaware during the early twentieth century. Worth served as vice-president and treasurer of the company, beginning in 1923 (Bevan 1929:81). The house was his home from its construction in 1937 until his death in 1983 (NCC Will 82093). The house and outbuildings possess a high degree of integrity of location, setting, design, materials, and feeling.

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Statement of Significance (continued)

i. William A. Dickson House (N-524)
West side of Centerville Road, at its junction with Hillside Road

Ownership of this property has been traced to William Dickson in the late eighteenth century. The datestone on the springhouse confirms that it was constructed in 1790, and the house was apparently built during the same period. Tax records from 1803 record William Dixon as owning 101 acres of land containing a stone house, a stone barn, a stone stable, and a stone gristmill (NCC Assessments 1803-4). In 1812, Dickson sold the farmstead to Samuel Henderson (NCC Deed M-3-419). Henderson sold the property to David Murphey in 1813 (NCC Deed L-3-524). Murphey owned the land until 1835, when he sold it to Richard Williams (NCC Deed S-4-441), who in turn quickly sold it to Joseph Guest in 1836 (NCC Deed V-4-359). Maps depict J. Guest as the owner of a residence on this site in 1849, and Mrs. Guest as the owner in 1868. In the late nineteenth century, the land had passed to the ownership of William Mandy, and was sold to Thomas Coleman DuPont in 1912 (NCC Deeds T-23-258 and X-23-128). Thomas Coleman DuPont sold this parcel to Ellen DuPont Meeds in 1926, and in 1937, Meeds sold it to Deborah B. Halsey Wilson (NCC Deeds M-40-339 and Z-34-343). Wilson then erected a new stone dwelling several hundred feet west of this house, and probably demolished one or more outbuildings in the process. In 1970, after the death of Mrs. Wilson, the land was sold to Charles Cruice, who in turn sold the parcel to its present owners, J. Seth and Barbara Cruice, in 1989 (NCC Deeds Z-83-173 and 902-78).

Eligibility must be evaluated in light of the Delaware *Historic Context Master Reference and Summary*. The survival rates in the Piedmont Zone during the period 1770-1830 ±, are good for dwellings and major agricultural buildings. Physical and documentary evidence shows that several of the historic outbuildings at the William Dickson Farm are no longer extant, including a stone barn and stable, and a mill. These demolitions, as well as the construction of a new garage and the construction of the Deborah B. Halsey Wilson House west of the William Dickson House, have diminished the property's integrity of setting, feeling, and association. Alterations to the house throughout the twentieth century have diminished the property's integrity of design, materials, and workmanship. Thus the William A. Dickson House does not meet National Register Criteria with regard to integrity. The house must be considered a non-contributing element in the proposed Centerville Road Historic District, as it does not date to the period of significance of the district and is not representative of the themes and styles characteristic of the district.

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Statement of Significance (continued)

6. Deborah B. Halsey Wilson House (N-13530)
4001 Centerville Road

The title history of this property is identical to that of the William A. Dickson House. The house was built in 1939 after Deborah B. Halsey Wilson purchased the land (NCC Deed 40-339). J. Seth and Barbara Cruice currently own this property (NCC Deeds Z-83-173 and 902-78). Although it is a fine example of early twentieth-century Colonial Revival architecture, it does not possess the high-style architectural qualities which distinguish other local examples of this relatively common architectural style, such as the neighboring William A. Worth House, and does not appear to meet National Register Criteria A, B, or C. The house may, however, be considered a contributing element in the proposed Centerville Road Historic District.

7. Westbrae Tenant House (N-522)
1115 Hillside Road

This dwelling was built as a tenant house associated with the mansion house of Frank and George Rhoads (Westbrae; see below) in the early twentieth century (DESHPO Cultural Resource Survey Form No. 522). George and Frank Rhoads sold this property to Walter Pyle in 1918 (NCC Deed Q-27-82). Walter Pyle was an owner of the prominent C. and W. Pyle Leather Goods Company in Wilmington at the turn of the century (Conrad 1908:386; DESHPO Cultural Resource Survey Form No. 521). Walter Pyle died in 1919, leaving the property to his son, Walter Pyle, Jr. (NCC Will N-4-131). In 1936, Walter Pyle, Jr., heir of Walter Pyle, Sr., sold the house back to George A. Rhoads (NCC Deed B-40-533). Upon the death of George Rhoads, the property was sold to Frank and Amalia Manegold, and then by Amalia Manegold to Robert K. Beste in 1956 (NCC Deeds Q-42-37 and Q-57-18). Beste sold the property to its present owners, Peter and Jeanne Huang, in 1980 (NCC Deed Z-111-24). This property does not possess sufficient architectural or historical significance to be eligible for the National Register of Historic Places. Furthermore, extensive alterations and additions have greatly diminished the property's integrity of design, materials, and workmanship. Due to these extensive alterations, the Westbrae Tenant House would be considered a non-contributing element in the proposed Centerville Road Historic District.

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Statement of Significance (continued)

1. Westbrae (N-521)
101 Hillside Road

This property's chain of title is identical to that of the Westbrae Tenant House until 1955, when the Manegolds sold this part of the property to Theodore L. Cairns (NCC Deed L-56-434). In 1984, Cairns sold it to Eileen Ward, and the title changed hands three more times before the property was purchased by its present owners, Kenneth S. and Alice J. Piech (NCC Deeds A-.26-59, R-125-113, 636-262, and 1545-21). The house was constructed by George A. Rhoads in 1907, and sold to Walter Pyle in 1918. Walter Pyle was an owner of the prominent C. and W. Pyle Leather Goods Company in Wilmington at the turn of the century (Conrad 1908:386; DESHPO Cultural Resource Survey Form No. 521). When the land was sold back to George Rhoads in 1937, he developed a spring water business on part of the property, which became known as Westbrae Springs. Westbrae is a good example of the early twentieth-century Dutch Colonial Revival style, possessing a high degree of integrity of design, materials, workmanship, feeling, and association.

2. Westbrae Springs Springhouse and Holding Tank (N-523)
Westbrae Lane, east of Centerville Road

This property became a parcel separate from George Rhoads's Westbrae in 1937, upon its sale to the Westbrae Spring Water Company, which was owned by George Rhoads (NCC Deed K-40-262). In 1978, the Westbrae Spring Water Company was dissolved, and the land was sold to Mark Marquisee and Daniel Mickewich, who subdivided the land into three parcels (NCC Deed A-104-76). The property containing the springhouse is currently owned by Salvatore and Barbara Deldeo, and the parcel containing the holding tank is currently owned by David E. Saunders and Marcia A. Fitzpatrick (NCC Deeds H-113-122 and I-109-210). The cultural resource survey form indicates that there were three extant buildings associated with the Spring Water Company on the property in 1972, of which two remain today.

The Westbrae Springs Springhouse and Holding Tank do not possess sufficient architectural or historical significance to be individually eligible. These buildings were apparently associated with an older farmstead, although it is possible that they were built in the early twentieth century for the Westbrae Spring Water Company (DESHPO Cultural Resource Survey Form No. 523). The Westbrae Springs Springhouse and Holding Tank may be considered contributing elements in the proposed Centerville Road Historic District.

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Statement of Significance (continued)

10. Stone Headwall (N-13531)
East side of Centerville Road, south of Campbell Road

This headwall, which is owned by the City of Wilmington, appears to have been constructed along with the Hoopes Reservoir during the 1930s. It does not possess architectural or historical significance sufficient to be individually eligible for the National Register of Historic Places. It may, however, be considered a contributing element in the proposed Centerville Road Historic District.

11. Valley Garden Park (N-13532)
Intersection of Centerville Road and Campbell Road

The construction of this park began in 1930, when the Hoopes Reservoir was nearing completion, and was finished at about the same time as the reservoir in 1932. It was designed by Wheelwright and Stevens, Landscape Architects, of Wilmington. All of the structures associated with the park, including the bridge, stone walls, house, and garage, were built between 1930 and 1932 as part of the park. According to the University of Delaware's Center for Historic Architecture and Engineering, Wheelwright and Stevens do not appear to have been prominent landscape architects in Delaware during this period. The Valley Garden Park possesses integrity of location, design, materials, workmanship, feeling, and association.

12. Homer D. Ewing House (N-7681)
603 Campbell Road

Frederick W. Pickard sold this portion of a larger tract of land to Homer D. Ewing in 1936 (NCC Deed V-39-230). Homer D. Ewing, a DuPont Company executive in the early twentieth century, had this house constructed as his residence in 1937 (DESHPO Cultural Resource Survey Form No. 7681). In 1977, the Ewings sold the property to its current owners, William and Linda Prickett (NCC Deed U-98-13). This house does not possess the historical significance necessary for eligibility for the National Register under Criterion A; neither is it eligible under Criterion C in the area of architecture, as it is not among the best examples of the Colonial Revival style in this region. The Homer D. Ewing House suffers somewhat from lack of integrity of design and materials due to extensive additions at its west elevation. The house may, however, be considered a contributing element in the proposed Centerville Road Historic District.

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Verbal boundary description

The Centerville Road Historic District is situated in Christiana Hundred within New Castle County, Delaware. It is bounded on the west by the Edgar M. Hoopes Reservoir. Its southern boundary consists of the southern property lines of the Frank G. Tallman House and the George R. Beach House. This boundary is an east-west line which crosses Centerville Road (SR 273) approximately 1/4-mile south of Hillside Road (SR 264). The district's northern boundary generally follows Campbell Road (SR 82), except for the inclusion of the Homer D. Ewing House, which lies on the northern side of this road. The eastern boundary consists of the eastern and southeastern boundaries of the Valley Garden Park at the northern half of the district, and follows the southeastern boundary of the park in a southwesterly direction, intersecting with Hillside Road (SR 264) about 1/4-mile east of Centerville Road (SR 273). The boundary then extends west to Centerville Road (SR 273). The eastern boundary then continues south along Centerville Road until it meets the James Rankin Davis House property, thence extending eastward to include the entire parcel of the James Rankin Davis House, and the adjoining Frank G. Tallman House.

Verbal boundary justification

The boundary for the historic district is that encompassing the eleven tax parcels that contain the properties listed above under **Description**, and land historically associated with the properties.

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