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SUPPLEMENTAL REPORT

**EXTENDED PHASE II ARCHAEOLOGICAL TESTING
OF SITE 7NC-G-145
THE AUGUSTINE CREEK SOUTH SITE**

New Castle County, Delaware

DRAFT

**Parent Agreement No. 729-2
Statewide Archaeological Resource Project**

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Prepared For:

THE DELAWARE DEPARTMENT OF TRANSPORTATION

Prepared By:

**LOUIS BERGER & ASSOCIATES, INC.
Washington, D.C.**

February 1997

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John C. Bedell, Ph.D.

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ABSTRACT

The Cultural Resource Group of Louis Berger & Associates (LBA), has conducted extended Phase II investigations of Site 7NC-G-145 (the Augustine Creek South Site). These investigations were conducted for the Delaware Department of Transportation, Division of Highways (DelDOT), in compliance with Section 106 of the Historic Preservation Act and federal and state historic preservation mandates. The Augustine Creek South Site had two components: a colonial farmstead dating to the 1730 to 1770 period, and a prehistoric procurement station. The site was located in the SR 1 corridor in St. Georges Hundred, New Castle County. Initial Phase II archaeological testing of Site 7NC-G-145 was carried out by LBA in 1995. However, it was agreed by LBA, DelDOT, and the Delaware State Historic Preservation Office (DESHPO) that insufficient information was obtained during the initial Phase II testing to determine whether the site was eligible for listing in the National Register of Historic Places.

Therefore, LBA has carried out extended Phase II testing of the Augustine Creek South Site. During this testing, a backhoe was employed to remove the plowzone from selected portions of the site to search for intact, subplowzone features. Several historic features were encountered, including four large postholes that appeared to be part of one post building, two large pits, and several smaller pits. Because intact features were encountered, the historic component of the site appears to have sufficient integrity to be eligible for listing in the National Register of Historic Places. The prehistoric component does not appear to have sufficient integrity for eligibility. The historic component is an interesting example of the "farm" property type, dating to the 1730-1770 "Intensification and Durable Occupation" period. Because avoidance of the site is not practical, mitigation by Phase III data recovery excavation is recommended.

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I. INTRODUCTION

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The Cultural Resource Group of Louis Berger & Associates, Inc. (LBA), has conducted extended Phase II testing of Site 7NC-G-145 (the Augustine Creek South Site). These investigations were conducted for the Delaware Department of Transportation, Division of Highways (DelDOT), in compliance with Section 106 of the Historic Preservation Act and other federal and state historic preservation mandates. The Augustine Creek South Site was a multicomponent site that included a colonial domestic site dating to the "Intensification and Durable Occupation Period" (1730 to 1770), and a prehistoric procurement station. The site was located in the SR 1 corridor in St. Georges Hundred, New Castle County.

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This report describes the extended Phase II testing of Site 7NC-G-145. Because this report is intended to serve as an supplement to *Phase I and II Archaeological Studies in the Proposed SR 1 Corridor, Scott Run to Pine Tree Corners, New Castle County, Delaware* (Bedell et al. 1997) it does not include a research design, complete descriptions of field and laboratory methodology, historic background, or a full description of the Phase I and Phase II studies. Readers are referred to the main report for this information.

The Augustine Creek South Site ¹⁵ was situated on the southern bank of Augustine Creek, a small, marshy stream that flows east toward the Delaware River (Figure 1). The Augustine Creek North Site (Site 7NC-G-144) is located directly across the stream on the northern bank. The site sits on a hill, with a steep bluff more than 10 meters (30 feet) high leading down to the stream. The historic component is concentrated at the crest of the hill, which is at the eastern end of the site, while the prehistoric component is concentrated on the lower slopes farther west. The historic component was a scatter of domestic and architectural artifacts, apparently representing a small farm, dating to the 1730 to 1770 period. The prehistoric component was a thin scatter consisting mostly of undated lithic debitage, but including three small ceramic sherds that indicate a date in the Woodland period. The site straddled the boundary between the SR 1 corridor and the adjacent Norvell/Coleman Wetland Mitigation Area, on the southern bank of Augustine Creek, approximately 450 meters (1,500 feet) northeast of Boyd's Corner (see Figure 1). Site 7NC-G-145 measured 125 meters along an east-west axis parallel to Augustine Creek, with a maximum north-south dimension of approximately 60 meters along its eastern margin (400x200 feet).

Initial Phase II archaeological testing of Site 7NC-G-145 was carried out by LBA in 1995. Phase II fieldwork included the excavation of 25 shovel test pits and 12 1x1-meter test units. This testing resulted in the recovery of 607 historic and 138 prehistoric artifacts, almost all from plowed contexts. With the exception of Test Unit 7, which yielded no prehistoric artifacts, prehistoric and historic artifacts were recovered from every test unit. Small brick fragments were the most common element within the historic assemblage, followed by ceramics and curved glass. The ceramic sample was dominated by glazed redware, with smaller quantities of slipware, plain and scratch-blue white salt-glazed stoneware, and single sherds of delftware, creamware, and agateware (Table 1). A mean ceramic date (South 1977) of 1744 was derived from a sample of 48 datable sherds. Several fragments of tobacco pipe stems were recovered from test units. The absence of diagnostic cultural material attributable to the late eighteenth century, such as

Table 1
Sample
were
of delftware

TABLE 1 HISTORIC CERAMICS, PHASE I AND II, SITE 7NC-G-145

CERAMIC TYPE/VARIETY (Date Range)	COUNT	PERCENTAGE
COARSE EARTHENWARE		
Redware	145	73.2%
Red-bodied Slipware (1670-1850)	12	6.1%
Buff-bodied Slipware (1670-1795)	3	1.5%
Coarse Agateware (1750-1810)	1	0.5%
<i>Coarse Earthenware Subtotal</i>	161	81.3%
WESTERWALD STONEWARE (1620-1775)	1	0.5%
WHITE SALT-GLAZED STONEWARE		
Plain (1720-1805)	9	4.5%
Scratch Blue (1744-1775)	6	3.0%
<i>White Salt-glazed Stoneware Subtotal</i>	15	7.6%
MIDLANDS MOTTLED (1680-1750)	8	4.0%
REFINED REDWARE	5	2.5%
DELFTWARE		
Plain (1640-1800)	3	1.5%
Hand-painted (1680-1800)	4	2.0%
<i>Delftware Subtotal</i>	7	3.5%
CREAMWARE, CLOUDED GLAZE (1740-1770)	1	0.5%
SITE TOTAL	198	100.0%

plain creamware or pearlware, suggests that the historical occupation of the site was short-term and limited to the middle third of the eighteenth century.

The density of prehistoric artifacts across the site was generally low, with the highest frequencies occurring along the western margin of the site in Test Units 4 (12 artifacts), 5 (16), and 9 (24). Test Unit 9 yielded four pieces of debitage from a subplowzone context, but this is attributed to disturbance of the subsoil, possibly by roots. No intact subsoil deposits were encountered. Historic finds were concentrated along the eastern margin of the site, primarily from Test Units 1 (104 artifacts), 3 (133), 7 (73), and 8 (180). All of the artifacts were recovered from plowzone contexts. No cultural features were found.

II. SITE HISTORY

The first certain mention in the records of the 100-acre parcel on which the Augustine South Site is located came in 1697, when William Patterson sold it to Thomas Rothwell (Table 2). The property, along with most of the rest of what later became St. Georges Hundred, had figured in the land speculations of Augustine Herman of Bohemia Manor. Herman, who was born in Prague, emigrated to New Amsterdam in 1633 as an employee of the Dutch West India Company (Conrad 1908:14). In 1671, Herman obtained a grant from Lord Baltimore of all the land between St. Georges and Appoquinimink creeks, extending from the Delaware River westward to Bohemia Manor, in what is now Maryland. Herman never managed to make good on this enormous patent. He did manage to acquire some lands along the Delaware River. In the early eighteenth century, his sons, Casparus and Ephraim, were in possession of 400 acres north of the Appoquinimink River, south of Augustine Creek, and west of the Delaware River (Scharf 1888:985).

Prior to 1697, William Patterson was in possession of 100 acres of land which were bounded by a branch of Augustine Creek on the north, by land formerly belonging to Casparus Herman on the south, by other lands of William Patterson on the east, and by the Appoquemen Road [sic] on the west. There is no record of how William Patterson acquired the land. A 1696/1697 tax assessment for inhabitants on the northern side of "Appoquiminy" and the southern side of Georges Creek in New Castle County assessed William "Pattison" 8 shillings and 2 pence, while Thomas Rothwell was assessed 6 shillings (New Castle County [NCC] Tax Assessment 1696/7:4-5).

In August 1697, William Patterson sold the 100-acre tract to Thomas Rothwell for "a competent sum of money" (NCC Deed Book B:125). Thomas Rothwell held the 100 acres of land for 18 years, conveying it on May 13, 1715, with his wife, Margaret Rothwell, to Robert Witherspoon for an unspecified sum of money (NCC Deed Book C-218). Robert Witherspoon, a minister in St. Georges Hundred, died in 1718, leaving his property to his wife, Mary Witherspoon (NCC Probate Records: Robert Witherspoon). In the same year, Isaac Vigoren brought suit against Mary Witherspoon, the executor of the estate of Robert Witherspoon, for a debt of £50.41.7. In order for Mary Witherspoon to repay the debt owed Vigoren, a 104-acre tract on the southern side of a branch of Augustine Creek, bounded on the west by the Appoquinimink Road and the land of William Patterson, was offered for sale at public auction by Sheriff Roland Fitzgerald on August 27, 1719. At that time the 104-acre parcel, probably the same as the original 100-acre parcel, was purchased by Hance Hanson for a sum of money not recorded in the deed (NCC Deed Book H:76).

In 1726, Hance Hanson sold the 104-acre tract, plus an 18-acre tract situated on the western side of the King's Road, to William Peterson (or Petterson) (NCC Deed Book H:76). The following year, William Peterson conveyed the same two parcels of land in St. Georges Hundred to Samuel and Henrietta Mahoe for £180 (NCC Deed Book H:76, also cited in NCC Deed Book T-1:211). Sometime between 1726 and 1733, Samuel Mahoe sold an 18-acre parcel to Jacob Read (NCC Deed Book T-1:211). Samuel and Henrietta Mahoe held the land until May 1733, when they sold

TABLE 2

LIST OF PROPERTY OWNERS, SITE 7NC-G-145

DATE	TRANSACTION
1985	Paul F. Norvell, Sr., and Dorothy A. Norvell, from Donald and Janet Meyer (NCC Deed Book 231:170)
1984	Donald E. Meyer, inherited from Mildred Meyer (NCC Will File #83670)
1978	Mildred A. Meyer, inherited from Edward N. Meyer (NCC Deed Book 231:170; NCC Will File #80326)
1952	Edward N. and Mildred Meyer, from John and Helen Samsel (NCC Deed Book A-53:306)
1947	John F. and Helen Samsel, from Walter Harmon and Helen B. Money (NCC Deed Book M-47:475)
1946	Walter and Helen B. Money, from Nehemiah Sartin et al. (NCC Deed Book O-46:573)
	Nehemiah Sartin et al., inherited from Clara Sartin (NCC Will Book H-7:31)
1910	George H. and Clara Sartin, from Albert H. and Mary Donovan (NCC Deed Book D-23:76)
1904	Albert H. Donovan, from Emery and Jessie Himes Marvel (NCC Deed Book Z-19:364)
1903	Emery Marvel, from Leroy M. Padley (NCC Deed Book V-19:273)
	Leroy Padley et al., inherited from James Padley (NCC Deed Book V-19:273)
1884	James Padley, from James Raymond and Annie M. Claghorn (NCC Deed Book F-13:500)
1877	James Raymond Claghorn, from Charles S. and Julia Boyd (NCC Deed Book X-10:39)
1875	Charles S. Boyd, from John R. and Elizabeth Boyd (NCC Deed Book N-10:404)
1860	John R. Boyd, from William S. Boyd et al. (NCC Deed Book I-7:121)
1834	Thomas J. Boyd, John R. Boyd, William S. Boyd, and Charles S. Boyd, inherited from John Boyd (will of John Boyd, as cited in NCC Deed Book I-7:121)
1812	John Boyd, from Rev. Thomas and Mary Read (NCC Deed Book N-3:128)
1780- 1812	Rev. Thomas Read, from Robert Haughey (from John and Margaret Piper), 3/6 of the former estate of James Piper
	Rev. Thomas Read, from William Frazer (from Hannah Piper and James Herald, son of Mary Piper), 2/6 of the former estate of James Piper (NCC Deed Book N-3:128)
1790	Rev. Thomas Read, from Ruth Piper, 1/6 of the former estate of James Piper (NCC Deed Book N-3:128)
1780	John, Ruth, Hannah, Mary and Margaret Piper, inherited from James Piper (NCC Deed Book N-3:128)

Table 2 (continued)

DATE	TRANSACTION
1759-1780	Piper purchases remaining 80 acres of parcel (unrecorded deed)
1759	James Piper, from John McKinley, Sheriff, 70 acres formerly belonging to Francis Land (NCC Deed Book T-1:211)
1733	Samuel Mahoe to Francis and Henrietta Land (NCC Deed Book T-1:211)
1727	Samuel and Henrietta Mahoe, from William Peterson (NCC Deed Book H)
1726	William Peterson, from Hance Hanson (NCC Deed Book H:76)
1719	Hance Hanson, from Roland Fitzgerald, Sheriff, property of Robert Witherspoon (NCC Deed Book H:76)
1715	Robert Witherspoon, from Thomas and Margaret Rothwell (NCC Deed Book C:218)
1697	Thomas Rothwell, from William Patterson (NCC Deed Book B:125)

two tracts of land, one containing 104 acres and the other 46.121 acres, to Francis and Henrietta Land (NCC Deed Book T-1:211).

At some point after the conveyance of the two parcels of land, Francis Land and Samuel and Henrietta Mahoe made a deed of defeasance. This deed required Samuel Mahoe to pay Francis Land, or his heirs, £59 by a specified date. Upon the payment of the £59 to Francis Land, or his heirs, the original deed, transferring the two parcels to the Lands, would become void.

In 1736, Francis Land died. At the time of Land's death, Samuel Mahoe still owed him the sum of £59 plus interest, as agreed to in the deed of defeasance. In his will, which was probated December 8, 1736, Francis Land appointed his three sons, Samuel, John, and Thomas, as his executors. Francis Land's will does not mention the money Samuel Mahoe owed him, or the parcels of land near Augustine Creek (NCC Probate File RG 2545: Francis Land-1736). Before the deed of defeasance was settled, Samuel Mahoe died intestate. After Samuel Mahoe's death, Henrietta Mahoe married Thomas Wallace. At the August term of the Court of Common Pleas in 1759, Henrietta and Thomas Wallace appeared before the court to determine whether Samuel Mahoe had, in his lifetime, repaid Francis Land or his heirs the £59 agreed to in the deed of defeasance. Once it was confirmed that the money had not been paid, it was determined that in order to repay the debt, the two tracts of land would be put up for sale at public auction. On August 23, 1759, Sheriff John McKinley sold 70 acres of the 104-acre parcel to Yeoman James Piper for £106.14. The 34-acre balance from the first parcel, and the 46.121-acre parcel, were

not sold at this time, and remained in the hands of Sheriff McKinley. After the sale of the 70 acres to James Piper, John Land, the surviving executor of his father's estate, received the £106.14, satisfying the deed of defeasance (NCC Deed Book T-1:211).

Between 1759 and 1780, James Piper must have purchased the balance of the two parcels offered at the sheriff's sale in 1759, because in March 1780, when James Piper died intestate, he was the owner of the two parcels in their entirety. The heirs of James Piper were his one son and four daughters: John, Ruth, Hannah, Mary, and Margaret. In the division of the estate of James Piper, John Piper received a 2/6 part, and each of the four daughters received a 1/6 part (NCC Deed Book N-3:128). The Orphans' Court appointed William Read the guardian of Margaret Piper on July 18, 1780 (NCC Orphans' Court Case File RG 2840: James Piper). On September 20, 1790, Ruth Piper conveyed her 1/6 part in her father's estate to Thomas Read of St. Georges Hundred, Delaware (NCC Deed Book N-3:128).

Reverend Thomas Read was born in Pennsylvania in 1746, the son of Irish immigrants. His first wife was Mary Stanley, daughter of Valentine Stanley, a Philadelphia potter. Mary Stanley and Thomas Read had six children—three girls and three boys. Thomas Read married his second wife, Mary Stuart, while serving as the minister of Drawyer's Church. Together they had five children—two sons and three daughters (Historical Society of Delaware: Read Family File 67). During his life, Thomas Read was President of Newark Academy. What Read was best known for was serving as the pastor of Drawyer's Church, a post he held from 1768 to 1798, when he moved to Wilmington. Under Read's ministry, Drawyer's Church flourished, becoming one of the most influential churches in Delaware (Historical Society of Delaware: Read Family File 63). Read died in 1823 at the age of 77. The reconstructed 1790 census of Delaware enumerated both James Piper's estate and Reverend Thomas Read in St. Georges Hundred (DeValinger 1962:81).

In 1812, Thomas Read conveyed two parcels of land totaling 150 acres to John Boyd. The deed associated with this transfer recounts numerous transactions which took place in order for Thomas Read to become sole owner of the two tracts of land totaling 150 acres from James Piper's estate. This deed provides the names and the portions of real estate which Thomas Read purchased, over time, from each of James Piper's heirs, although it does not provide transaction dates or deed references. Read purchased John Piper's 2/6 share, and Margaret Piper's 1/6 share, from Robert Haughey, who had purchased them from the Pipers, and he purchased Hannah Piper's 1/6 share and Mary Piper's 1/6 share from William Frazer, Esquire (NCC Deed Book N-3:128).

John Boyd, who purchased the 150 acres from Read in 1812, was born in 1767 in Colerain, Northern Ireland, and immigrated to Wilmington in 1791. In 1798, Boyd married Mary S. Read, daughter of Thomas Read (Historical Society of Delaware: Genealogical Surname Files). An 1816-1817 abstracted tax assessment of St. Georges Hundred lists John Boyd with 150 acres, 120 of which were improved, with one stone house, livestock, and 30 acres of woodland (Ackerman 1986:21). Three years later, John Boyd was assessed tax on 170 acres, 110 of which were improved, with two dwelling houses, \$50 in livestock, and one female slave (NCC Tax Assessment, St. Georges Hundred 1822). John R. Boyd was enumerated as head of a household of seven in 1830. In that year, his household included one male between the ages of 5 and 10,

one male between the ages of 20 and 30, one female between the ages of 20 and 30, one male slave between the ages of 10 and 24, and three free colored persons (one male and two females) (U.S. Bureau of the Census, Population Schedule 1830:92).

John Boyd was 63 years old in 1830. In that year, he did not appear in the population schedule in the vicinity of Augustine Creek. It is probable therefore that by that year, his son, John R. Boyd, was already operating his father's farm. The elder John Boyd may have already moved to a new residence in Cantwell's Bridge. On March 4, 1834, John Boyd wrote his last will and testament. He died on December 8, 1837, at his residence in Cantwell's Bridge (Historical Society of Delaware: Genealogical Surname Files).

After John Boyd's death, his estate was divided according to his will. John Boyd bequeathed all his real and moveable property to his "dear and beloved wife" in her lifetime. At her death the estate was to be divided among the sons, but one of them, John R. Boyd, later purchased the shares of the others (NCC Deed Book K-6:442; NCC Will Book T-1:357).

John R. and Elizabeth Boyd held the two parcels of land, which were separated by U.S. Route 13, in St. Georges Hundred, until 1875, when they conveyed them to Charles S. Boyd of Philadelphia for the sum of \$11,690 (NCC Deed Book N-10:404). Since John Boyd's brother and son were both named Charles S. Boyd, it is not clear which one received the land from John R. Boyd. John R. Boyd's wife, Elizabeth, died in October 1876.

Two years later, Charles S. and Julia Boyd conveyed the two tracts of land to James Raymond Claghorn of Philadelphia for \$18,425 (NCC Deed Book X-10:39). From 1812 to 1877, the 104-acre parcel of land situated on the eastern side of U.S. Route 13 and north of the road to Port Penn, as well as a 46.121-acre tract of land on the western side of U.S. Route 13, remained in the Boyd family. During this period, the crossroads became known as Boyd's Corner.

Handwritten: *Boyd's*
The Hopkins *Map of New Castle County* (Hopkins 1881) depicts James Claghorn with two dwellings on 160 acres at Boyd's Corner. The dwellings appear in the same locations as the two which formerly belonged to John R. Boyd. In 1884, James and Annie M. Claghorn conveyed the two parcels they had purchased from Charles S. Boyd to James Padley for \$10,500 (NCC Deed Book F-13:500). In that deed, the parcels were described as a farm tract of 150 acres divided into two tracts by the public road leading from Odessa to St. Georges (U.S. Route 13).

James Padley died intestate in 1903, and his nine children came into control of his land holdings in St. Georges Hundred (NCC Deed Book V-19:273). Annie Padley, James's wife, also died in 1903, only two months after the death of her husband (Tatnall Tombstone Collection n.d.). In April 1904, the heirs of James Padley conveyed most of the 150 acres of land, divided into two tracts by U.S. Route 13, to Emery and Jessie Marvel of Atlantic City, New Jersey, for \$8,025 (NCC Deed Book V-19:273). Only a few months later, the Marvels sold the tract to Albert H. Donovan of Appoquinimink Hundred, Delaware, for \$9,175 (NCC Deed Book Z-19:364).

On October 18, 1910, Albert and Mary Donovan conveyed 184 acres and 4 square perches to George and Clara Sartin of Pencader Hundred, Delaware, for \$9,500 (NCC Deed Book D-23:76). George Sartin died sometime between 1910 and 1939, leaving his wife, Clara, vested in the fee simple title to this tract of land. Neither a will nor estate papers were located for George Sartin.

Clara Sartin wrote her will in 1939. In it, she named her three children, Nehemiah Sartin, Ethel May Buckworth, and Leslie D. Sartin, as her heirs. When Clara Sartin died on January 22, 1946, her entire estate was equally divided among her three children (NCC Will Book H-7:31). Nehemiah Sartin, Ethel May Buckworth, and Leslie D. Sartin held their mother's real estate for only six months, conveying it in October 1946 to Walter Harmon and Helen B. Money of Middletown, Delaware, for \$15,000 (NCC Deed Book O-46:573). The following year, Walter Harmon and Helen B. Money conveyed a parcel of 133 acres to John F. and Helen Samsel of Delaware City, Delaware, for \$15,750 (NCC Deed Book M-47:475). The 133 acres were described as being bounded by Pierce Branch of Augustine Creek on the north, U.S. Route 13 on the west, and Pole Bridge Road to the south. The shrinkage of the parcel is probably accounted for, at least in part, by land taken for the widening of U.S. Route 13.

The Samsels held the property for five years, conveying it in 1952 to Edward N. and Mildred Meyer of Hicksville, New York, for \$40,000 (NCC Deed Book A-53:306). In January 1978, Edward N. and Mildred Meyer conveyed an undivided one-half interest in the 133-acre parcel to their son and daughter-in-law, Donald and Janet Meyer, for \$1 (NCC Deed Book C-100:47). After the death of Edward N. Meyer in 1978, his wife, Mildred, became the owner of the one-half undivided interest in the 133-acre parcel (NCC Deed Book 231:170; NCC Will File #80326). In 1982 and 1985, the Meyers subdivided pieces of the 133-acre parcel. The 1982 subdivision resulted in the formation of a 2.35-acre parcel, named Lot 1 (NCC Subdivision Microfilm #6351).

Mildred Meyer's will, probated March 30, 1984, bequeathed her one-half interest in the 133-acre parcel of land to her son, Donald, whereby Donald now held all the rights to the entire tract of land (NCC Will File #83670). The 1985 subdivision resulted in the formation of a 1.16-acre parcel on Pole Bridge Road, named Lot 2B (NCC Subdivision Microfilm #7537).

Although only two subdivisions are recorded in the New Castle County Recorder of Deeds Office for this tract, the current tax parcel map shows the 133-acre tract as completely subdivided into lots roughly 1, 2, 10, and 11 acres in size. The unrecorded subdivision(s) must have occurred sometime prior to 1985, even though they do not appear on the April 11, 1985, subdivision map (NCC Subdivision Microfilm #7537). On April 20, 1985, Donald and Janet Meyer conveyed a 10-acre parcel of land, known as Lot 10, to Paul F. Norvell, Sr., and Dorothy Norvell, for \$23,000, providing further indication that the land was already subdivided into its present configuration (NCC Deed Book 23111:170). The Norvells continue to own the 10-acre parcel known as both Lot 10 and Lot 150. Site 7NC-G-145 is located within this parcel of land which was once part of the larger 133-acre parcel.

The implications of this complex history for the occupation of the Augustine Creek South Site are not clear. The artifact evidence suggests occupation in the 1730 to 1770 period, during most

of which the property was owned by the Mahoes and the Lands. The 1733 "sale" from Samuel and Henrietta Mahoe to Francis Land appears to be a mortgage, not an actual transfer, so the Mahoes may have continued to occupy the land until Samuel's death, sometime before 1759. If so, the site was occupied by farmers of middling status, with enough capital to purchase their own land but poor enough to be troubled by unpayable debts. It is also possible that the site was occupied in the 1760s, during the ownership of James Piper. Piper almost certainly lived elsewhere, so that would mean an occupation by tenants. The site appears to have been abandoned before Piper died in 1780.

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III. EXTENDED PHASE II TESTING

A. METHODS

The basic intent of the extended Phase II evaluation was to determine if the site contained intact, subplowzone features. Since no features had been located during hand excavation, a backhoe would be employed to remove larger amounts of plowzone from the site. Because the site was considered a possible candidate for data recovery excavation, it was important that no soils be removed by machine that might be excavated by hand during such excavations. Therefore, an agreement was reached in advance with representatives of DeIDOT and the DESHPO that a Phase III excavation of the site would likely involve the excavation of a five percent sample of the plowzone across the eastern portion of the site, where historic finds were concentrated. The test units that would be used to excavate this five percent sample were then plotted on the site, and the backhoe strips were placed so as to avoid these hypothetical future units. The resulting strategy called for the backhoe to remove the plowzone in strips no more than 3 feet (90 centimeters) wide running north to south across the site. The strips were placed 5 meters apart, in the intervals between the hypothetical Phase III units. Because the Phase II test units were not excavated at regular intervals on a grid, the first task in this phase of testing was to establish a numbered grid on the site. This grid was based on Phase II Test Units 3 and 6, which were excavated in line, 10 meters apart.

A secondary objective of the extended Phase II testing was to further test the plowzone in the eastern part of the site, where the historic finds were concentrated. Six additional 1x1-meter test units were excavated in this area. Because these units were intended only to sample the plowzone and search for additional features, they were not excavated into the subsoil. Some were placed to further investigate features partially uncovered in the backhoe trenches, others at points on the site grid.

Apparent cultural features located during the extended Phase II testing were further investigated to determine their function, integrity, and cultural affiliation. The features were mapped, photographed using color and black-and-white film, and test excavations were made in each feature.

B. FINDINGS

1. *Test Unit Excavation*

Six test units were excavated in the plowzone during the extended Phase II testing—Test Units 13 to 15 and 18 to 20 (Figure 2). From these units, a total of 687 historic and 39 prehistoric artifacts were recovered. Of the historic total, 499 were small brick fragments that were ~~discarded~~ in the field, leaving 188 other historic artifacts. The majority of the non-brick historic artifacts were sherds of red coarse earthenware; the remaining 77 included white salt-glazed earthenware, comb slipware, green and clear bottle glass, hand-wrought nails, fragments of white clay pipe stems and bowls, and a brass button. No creamware or pearlware was found. Most

of the prehistoric artifacts were nondiagnostic lithics, although two small sherds of shell-tempered ceramic were recovered. These sherds indicate that the site was occupied in the later Woodland I or Woodland II period (Middle or Late Woodland), AD 200 to 1650. A few pieces of bone and oyster shell were also recovered.

2. Plowzone Stripping

Four backhoe trenches were excavated at 5-meter intervals across the site from north to south (Figure 3). These trenches were numbered 1 to 4 from west to east. Trench 1, the westernmost trench, was placed 2.5 meters west of Test Units 3 and 6. Only one feature was discovered in this trench, a small posthole, probably part of a fence. This posthole was designated Feature 9. Trench 2 was excavated 2.5 meters east of Test Units 3 and 6. This trench uncovered two very large postholes, 5.5 meters (18 feet) apart. These postholes appeared to be part of a post building that was aligned almost exactly with the site grid. In Trench 3, two more large postholes were encountered, 5.5 meters (18 feet) apart and approximately 5.9 meters (19.5 feet) east of the holes in Trench 2. These four postholes, Features 5, 6, 7, and 8, all seemed to be part of one building. That building would appear to have been 5.5 meters (18 feet) wide, with posts on 10-foot centers, or at least 18 by 20 feet. These are common dimensions for a colonial English house or barn.

Trench 4, which was excavated 2.5 meters east of Test Unit 7, encountered three sizable features. The largest, designated Feature 1, was a pit 6.2 meters (20 feet) long. The western edge of the feature was in Trench 4. To determine the width of the feature, a trench, Trench 5, was dug perpendicular to the others, running east from Trench 4. Trench 5 showed that Feature 1 was 5.7 meters (19 feet) wide. Feature 2, 4 meters south of Feature 1, appeared to be a round pit about 2 meters (6.5 feet) in diameter, with the center of the feature approximately on the western edge of Trench 4. Feature 3, 7 meters south of Feature 2, appeared to be a large, structural posthole, although only a small part of the feature was within the trench.

3. Feature Testing

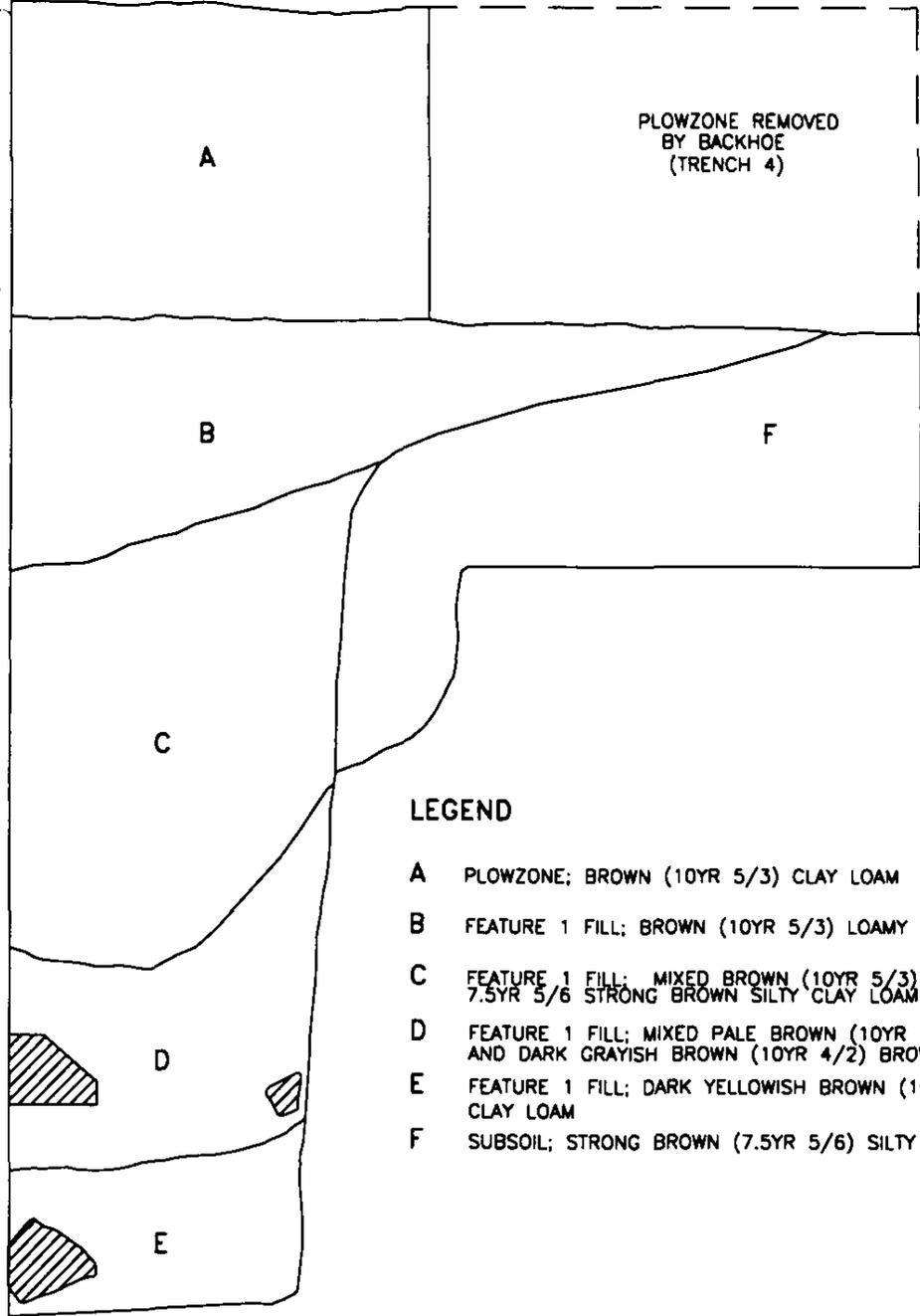
a. Feature 1

Feature 1 was a large pit, probably a cellar hole, encountered in Trenches 4 and 5. The edges of the feature were not entirely clear, since it had filled in with colluvium that closely resembled the subsoil, and the feature was not entirely exposed. However, preliminary indications are that the feature measures approximately 6.2 meters (20 feet) north to south and 5.7 meters (19 feet) east to west. The feature could represent a square cellar, 18 or 20 feet on each side. The feature is not exactly in line with the post building defined by Features 5 to 8, but is offset somewhat to the north.

One 1x1-meter test unit was excavated in Feature 1, designated Test Unit 16 (Figure 4). The unit was placed on the western edge of the feature, at the junction of Trenches 4 and 5. This test unit revealed that the feature is approximately 105 centimeters deep, below the plowzone. The

TEST UNIT 16
NORTH WALL PROFILE

*how could A
have been excav.
when backhoe
already
been
removed?*



PLOWZONE REMOVED
BY BACKHOE
(TRENCH 4)

LEGEND

- A PLOWZONE; BROWN (10YR 5/3) CLAY LOAM
- B FEATURE 1 FILL; BROWN (10YR 5/3) LOAMY SILT
- C FEATURE 1 FILL; MIXED BROWN (10YR 5/3) LOAMY SILT
7.5YR 5/6 STRONG BROWN SILTY CLAY LOAM
- D FEATURE 1 FILL; MIXED PALE BROWN (10YR 6/3) SILTY LOAM
AND DARK GRAYISH BROWN (10YR 4/2) BROWN SILT
- E FEATURE 1 FILL; DARK YELLOWISH BROWN (10YR 5/4) SILTY
CLAY LOAM
- F SUBSOIL; STRONG BROWN (7.5YR 5/6) SILTY CLAY LOAM

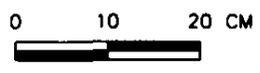


FIGURE 4: Stratigraphic Profile of Feature 1, Test Unit 16, Site 7NC-G-145

topmost fill deposit, designated Stratum B, was colluvium closely resembling the natural subsoil. Stratum B was approximately 25 centimeters deep along the eastern edge of Test Unit 16, and contained more than 300 brick fragments and 76 other historic artifacts, including 40 redware sherds; one sherd each of gray stoneware, white salt-glazed stoneware, and comb slipware; four fragments of white clay pipes; case bottle fragments; nails; pieces of bone, including a pig tooth; and several pieces of unidentified iron. Beneath Stratum B were two strata of mixed silty colluvium, designated Strata C and D, with a combined depth of 40 centimeters. Artifact density was somewhat lower in these strata, but more than 200 brick fragments were found, as well as small quantities of redware, salt-glazed stoneware, delftware, pipe stems, and nails. The bottom stratum, designated Stratum E, consisted of dark yellowish brown silt, with larger pieces of brick, some of them with shell mortar attached, 40 centimeters deep. Artifacts recovered from this stratum included a bone comb, a brass button, one sherd of Westerwald blue and gray stoneware, and seven sherds of shell-tempered prehistoric pottery. No intact wall was present in the bottom of the test unit, but the large number of half- to three-quarters-whole bricks with mortar attached suggested that the cellar had once contained brick foundations.

b. Feature 2

Feature 2 was a shallow pit containing brick pieces and ashy fill, encountered in Trench 4 about 4 meters south of Feature 1. The pit extended beyond the trench on both sides, but was much wider on the western side. Based on the portion exposed in the trench, the feature appeared to be roughly round, with the central axis approximately on the western edge of Trench 4. The feature was tested with a small unit, Test Unit 17, 160 centimeters north to south and 50 centimeters east to west, roughly the eastern half of the exposed portion of the feature. This test showed that the feature is quite shallow, approximately 16 centimeters deep at the deepest point explored. The feature contained three different fills, all of which yielded brick pieces and historic artifacts. A total of only 19 artifacts, including nails, redware, white clay pipe stems, and 13 bone fragments, were recovered. No interpretation of the feature's function is possible at this time.

W. W. 5
Profile

Describe

4. Summary

Extended Phase II testing at the Augustine Creek South Site showed that the site included a number of intact historic features, including a post building and a probable cellar hole. The artifacts from the site include white salt-glazed stoneware with scratch-blue decoration (1744 to 1775), coarse agateware (1750 to 1810), and one sherd of creamware with clouded glaze (1740 to 1770). These artifacts indicate occupation in the third quarter of the eighteenth century. However, no plain creamware, introduced in 1762 and common on all sites after 1770, was found. The small number of artifacts in the plowzone suggest a rather brief occupation period for the site, no more than 25 years and possibly much less. Occupation probably took place in the 1740 to 1760 period, possibly as early as 1720 and as late as 1770. The historical research indicated that during this period the site was probably occupied by Francis and Henrietta Mahoe, farmers of middling status.

The additional testing did not change the interpretation of the prehistoric component of the site. A total of 49 additional prehistoric artifacts were recovered, all nondiagnostic lithics except for nine sherds of prehistoric pottery, some of them shell-tempered. The largest unit total was 13 artifacts from Test Unit 14, which also yielded a middle-stage jasper biface. No prehistoric features were encountered during the plowzone stripping. The site still appears to be an occasionally-used procurement station. The shell-tempered ceramics indicate a date in the later Woodland I or Woodland II period, AD 200 to 1650.

IV. MANAGEMENT RECOMMENDATIONS

LBA believes that the historic component of Site 7NC-G-145 is eligible for listing in the National Register of Historic Places. The site has integrity, in the form of intact, subplowzone features, and can provide information important to the history of the region. LBA believes that the prehistoric component lacks sufficient integrity to be eligible for listing in the National Register.

A. HISTORIC COMPONENT

The historic component appears to represent a small dwelling or farm occupied during the 1730 to 1770 period. The most relevant, detailed historic contexts developed for archaeology in Delaware are *Historic Context: The Archaeology of Agriculture and Rural Life, New Castle and Kent Counties, Delaware, 1830-1940* (De Cunzo and Garcia 1992), and *"Neither a Desert nor a Paradise": Historic Context for the Archaeology of Agriculture and Rural Life, Sussex County, Delaware, 1770-1940* (De Cunzo and Garcia 1993). Useful material is also included in the *Management Plan for Delaware's Historical Archaeological Resources* (De Cunzo and Catts 1990). The integrity of the site is quite high for a site of this period, in two senses. Because of the short occupation period, possibly no more than a decade, all of the artifacts probably relate to a single household; little contamination by later occupations has been noted. Also, intact subsoil features are present, including architectural features and pits containing domestic deposits. Because the occupants of the site have been tentatively identified, whatever can be learned about them from written records can be used to fit the archaeological findings into a clear historic context, including ethnic and socioeconomic factors (De Cunzo and Garcia 1992:299).

The Augustine Creek South Site belongs to the "farm" property type, and was probably occupied by middle-class farmers of British descent. Few sites dating to the 1730 to 1770 period have been excavated in Delaware, and such sites are not common; Site 7NC-G-145 is the only historic site dating to before 1750 discovered during LBA's work on SR 1 in the Odessa vicinity. Although the research questions defined in the existing contexts were developed for a later period, they do seem apply to this site. The Augustine Creek South Site could supply information relevant to at least three of the themes discussed in the contexts: architecture, landscape, and domestic economy (De Cunzo and Garcia 1992:267-170). Although the site has been plowed, architectural information is still present in the form of intact features. Parts of two buildings seem to be present—the post structure defined by Features 5 to 8, and the house of which Feature 1 is the cellar. The presence of structural foundations and fence postholes suggests that the layout of the farm could be reconstructed and related to its surroundings to provide information on the eighteenth-century landscape. Although the plowzone on the site is notably poor in artifacts, testing suggests that material is present in Feature 1, including ceramics, glass, and bone, that could be used to reconstruct the economic life of the residents.

The Augustine Creek South Site has the ability to provide important information about regional history in the 1730 to 1770 period, and is therefore considered eligible for listing in the National Register of Historic Places.

B. PREHISTORIC COMPONENT

Nothing was found during the extended Phase II testing to change the evaluation of the prehistoric component of the site. The prehistoric component of Site 7NC-G-145 appears to be what Custer (1984, 1994) calls a "procurement site," a place where prehistoric people stayed while hunting or collecting seasonably available resources in the wetlands along Augustine Creek. The presence of shell-tempered sherds suggests occupation in the Woodland Period, AD 200 to 1650. The artifact density on the site is low and includes few diagnostic artifacts or tools. All of the artifacts were recovered from the plowzone, and no features were found. The prehistoric component therefore has very little information potential and is not considered eligible for listing in the National Register of Historic Places.

Under what criteria!?

eg. - Custer 1992 (Woodland I context)

- do disturbed procurement sites have pot. to contain significant info on any of the identified search categories?
- eg. Wood II - Custer 1986 - also elig. sites excav. for relief Rte → Drawy. Co S. - how does it compare?

agree - not thus far prehistoric component appears to lack integrity; however, be aware that historic component illustrated beneath P.2. could remain intact

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APPENDIX

DETERMINATION OF ELIGIBILITY
FOR THE NATIONAL REGISTER OF HISTORIC PLACES