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NATIONAL REGISTER ELIGIBILITY STUDY: ROCK
MANOR, WILMINGTON, DELAWARE

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NATIONAL REGISTER ELIGIBILITY STUDY

ROCK MANOR WILMINGTON, DELAWARE

by

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prepared for

*Delaware Department of Transportation
Division of Highways
Location and Environmental Studies Office*

04 March 1991

• ABSTRACT

This eligibility study provides a tool which can be used by the Delaware Department of Transportation to comply with the Section 106 regulations and procedures concerning historic preservation. This document examines the area of Rock Manor, northwest of the intersection of Route 202 and Interstate 95, and determines whether Rock Manor as a district, as well as its individual structures, are National Register-eligible. The study concludes that two of the eleven structures examined are eligible, and that Rock Manor, as a district, is ineligible. The two structures determined eligible are 1 Rock Manor Avenue, and 13 Rock Manor Avenue.

• TABLE OF CONTENTS

INTRODUCTION	3
CULTURAL HISTORY	4
RESEARCH DESIGN	6
ANALYSIS	8
CONCLUSION	11
RECOMMENDATIONS	11
BIBLIOGRAPHY	12
APPENDIX	13

APPENDIX A
Suburban Wilmington Developments

APPENDIX B
Figure Graphics

APPENDIX C
BAHP Survey Forms

• INTRODUCTION

This eligibility assessment was undertaken to comply with Section 106 of the National Historic Preservation Act of 1966. The project entailed an architectural/historical investigation to identify properties eligible for or listed in the National Register of Historic Places. In order to comply with recently introduced Bureau of Archeology and Historic Preservation (BAHP) guidelines, this document represents a revision to the initial study, submitted in November 1990 to the Delaware Department of Transportation (DelDOT). This document incorporates the initial submittal into a different format that adheres to the new guidelines and the BAHP's State Plan. At times, the new format is not applicable or appropriate to the project, as the Section 106 investigation was actually completed prior to application of these specific BAHP procedures. For instance, the concept of devising a research design prior to a site visit is hampered since the site visits had been performed to complete the initial submittal. Also, the research design requires the formulation of expectations or predictions, however, this is not possible.

The resources that were investigated consisted of only those potentially impacted by road improvements proposed by the Delaware Department of Transportation. The project area consists of an area known as Rock Manor. Rock Manor is situated northwest of the interchange between Concord Pike (Route 202) and I-95, near Wilmington. The road improvements, with regards to Rock Manor, consist of shifting Concord Pike to the west, providing new off-ramps, and relocating Augustine Cut-Off.

The general criteria used in determining the National Register eligibility of these resources were those set forth in 36 CFR 60.4. More specific criteria is listed in the research design.

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. that are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. that are associated with the lives of persons significant in our past; or
- C. that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. that have yielded, or may be likely to yield, information important in prehistory or history.

This report includes a history of the area, and a research design and accompanying analysis concerning the identified resources. Recommendations concerning the State Plan are addressed and one section of the appendix discusses Wilmington's suburban development. BAHP survey forms are located in the appendix, as well.

• CULTURAL HISTORY

Rock Manor consists entirely of suburban residential structures, all built in this century. This includes dwellings located on Rock Manor Avenue and Augustine Cut-Off. There are two distinct periods to the development of Rock Manor and this is reflected in the architecture. Initially, a section was built circa 1910 on Rock Manor Avenue and Concord Pike. This is referred to as the Harvey subdivision. In 1932, Augustine Cut-Off was built by the State of Delaware and this road divided the land of one of the original property owners, Harry Mayer, who subdivided his land. This section was then developed circa 1935. These two developments were entirely separate and unconnected. The reason they appear to be associated with one another is that in the mid-1960s the entrance to Rock Manor Avenue was relocated to Augustine Cut-Off via Love Lane (see Figure 2). Love Lane was an access dirt road to DuPont holdings west of Rock Manor. In the mid-1960s, it was paved over and widened, and stone entrance gates previously located on Concord Pike were relocated to Augustine Cut-Off.

Initially, in 1905, Eliza Harvey attempted a 30-lot subdivision on part of the land she inherited in 1893 from her father, Isaac C. Elliott. Listed in Francis A. Price's Atlas of Suburban Layouts in and near Wilmington, Delaware (Wilmington: 1912) and termed as "Plan of Eliza Harvey's Part of the Elliott Land," the design depicts an extensive development of 30 lots and three streets: Wendelyn, Rock Manor, and Rosslyn Avenues. The streets were laid out in a winding pattern and connected with Concord Pike. This plan was divided into four sections (sections 4, 7, 10, and 11). One lot each of sections 7 and 11 were eventually built upon, and four lots of section 10 (five of these original six residences remain). Three lots within section 10 were purchased by Harry Mayer and not built upon (see Figure 3). Architecturally, these buildings reflect styles popular to early 20th century American suburbs (i.e. cottage, bungalow, American Foursquare) and range from vernacular to high-style interpretations of these styles. The structures were situated on approximately quarter-acre lots.

Between 1905 and 1912, Alfred I. Dupont purchased a section of the Elliott holdings south and west of Eliza Harvey's failed subdivision. It appears as if Dupont next attempted to subdivide the land previously attempted by Harvey. Plate 34 of Price's atlas is a "Plan of Rock Manor" (apparently the first designation of the name Rock Manor as a subdivision), which is similar to Harvey's plan in design (see Figure 4). It is a more aggressive design consisting of 46 lots, complete with winding roads radiating off of Concord Pike. Noted on the plan is that Concord Station, on the Baltimore & Ohio Railroad, was 1200' south on Concord Pike. The lots previously sold by Harvey are not included on this plan. The real estate agent listed for Rock Manor on the plan is the Delaware Trust Company. Obviously, this plan was never realized, but a 1924 Price & Price "Wilmington and Vicinity" map records these same streets, in a much larger scale, as existing. Alfred I. Dupont made continued attempts, as late as 1932, to subdivide this land. The reasons for Alfred I. Dupont's failure to subdivide the land are not known at this time.

The result of Alfred I. DuPont's intervention was the isolation of Rock Manor. To the south and west was undeveloped DuPont land, which was later held by a DuPont subsidiary, the Port St. Joe Paper Company. To the east was Concord Pike and Elliott land that became the Rock Manor Golf Course (established 1921). North of Rock Manor was Dupont land that later was owned by the Bancroft family and the Woodlawn Trustees, which were responsible for the post-war development, Alapocas. The only road to be developed was Rock Manor Avenue, which was a cul-de-sac that was accessible from Concord Pike. Three of the original six homes fronted Concord Pike, and the other three

were located on the north side of Rock Manor Avenue, across from undeveloped land owned by Dupont. It remained this way until the 1930s.

In 1932, Augustine Cut-Off was constructed north of Rock Manor Avenue, bisecting the land of Harry Mayer, one of the residents of Rock Manor. According to Mayer's housekeeper, Mayer kept a large vineyard that was now jeopardized by the location of the road. As a consequence, Mayer subdivided his land and, over the next few years, six single-family residential structures were built (see Figure 5). The six structures were designed in the Colonial Revival style and exhibit similar materials and details. Between the 1930s and the 1960s, the study area consisted of two roads, Rock Manor Avenue and Augustine Cut-Off, that were not linked. In the 1960s, an access road was built to connect I-95 with Concord Pike, causing the entrance of Rock Manor Avenue to be relocated to Augustine Cut-Off. Thus, it is only in the last two decades that the homes on Augustine Cut-Off and Rock Manor Avenue have been linked, both location-wise and in a "neighborhood" sense.

• RESEARCH DESIGN

The goal of this study was to evaluate Rock Manor as a potential historic district, as well as its individual dwellings located within an area of potential effect, for National Register eligibility. This was accomplished by determining relevant historic contexts and property types, consistent with the BAHP State Plan and establishing appropriate evaluation criteria for the historic resources. The number of structures to be evaluated was initially defined by the client, and later amended by the consultant (see Analysis Section). This study will serve to contribute to and expand upon the State Plan .

The eligibility assessment consisted of on-site visual analysis and photographic documentation. This was supplemented by primary and secondary research to assemble the historic context of the study area. Among the references examined were historic atlases, written histories, and obituaries. Of particular importance for this study was the information received from several current and past property owners. This included oral histories, as well as historic photographs and plans. Each property or resource was then profiled in Delaware BAHP survey forms, included in the appendix.

The area referred to as Rock Manor is a 20th-century suburban development. A reconnaissance survey revealed the types of resources to be found in Rock Manor. From this reconnaissance survey, the relevant historic contexts for Rock Manor, as presented in the State Plan, have been established as 1) Architecture, Engineering, and Decorative Arts and 2) Suburbanization. Both historic themes apply to the Piedmont Zone during the Urbanization and Early Suburbanization (1880-1940 +/-) period. The property types listed for these historic themes in the State Plan is incomplete. This issue is addressed in the recommendations section of the study. The property types encountered in the reconnaissance survey and the applicable criteria are listed below.

13. Architecture, Engineering, and Decorative Arts

13.4 Architecture and Building--Style

13.4.6 Late 19th/ Early 20th century

- Queen Anne
- Craftsman
- American Foursquare
- Colonial Revival (English)
- Colonial Revival (Second Period)

Criteria of Integrity

The integrity of a building's style is judged on issues such as:

- a) the degree of renovation and/or alteration a building has endured.
- b) the degree of deterioration a building has endured.
- c) if the building has been moved.
- d) if the building's setting has been altered.
- e) if outbuildings contribute to the complex.

Criteria of Significance

The significance of a building's style is judged on issues such as:

- a) how well a building embodies distinctive characteristics of its style.
- b) if the resource is the work of a master.
- c) how well a resource possesses high artistic values.
- d) whether or not the structure has been associated with events or persons significant in our past.

e) the importance of the resource within the context of its building type and period.

15. Suburbanization

- Planned Communities
- Speculative Development

Criteria of Integrity

The integrity of a suburban development is judged on issues such as:

- a) if the planned community was completed and remains as originally designed.
- b) if the primary street orientation and site features remain intact.
- c) if the amount of infill and/or extent of demolition has obscured the original design.
- d) if the individual resources sustain the integrity to form a cohesive group.

Criteria of Significance

The significance of a suburban development is judged on issues such as:

- a) the quality of the original design.
 - style
 - building mix and types (residences, churches, schools)
 - lot configuration
 - building materials, massing, size
 - open space
 - planned landscape
- b) the source of the design.
- c) the size/scope of the development.
- d) historical associations of individuals or groups within the development
- e) the role of the development within the historical context of suburbanization.

• ANALYSIS

DeIDOT initially identified nine structures that needed evaluation, which was assumed to comprise the area of Rock Manor. A reconnaissance survey revealed two distinct periods of building among the nine. One structure, 92 Augustine Cut-off, was not among the two periods, having been built in the 1950s, and therefore was not included in the study. The reconnaissance survey also yielded the fact that three structures on the north side of Augustine Cut-off were constructed within the same time period as the three structures on the south side of the Cut-off. All of these structures were over fifty years in age. It was concluded that eleven structures would be evaluated individually, and the area of Rock Manor would be evaluated as a district. The structures were documented on BAHF survey forms, found in the appendix.

Architecture, Engineering, and Decorative Arts

The criteria of integrity and significance for this historic theme were applied to the following resources.

- vacant structure, west side on Concord Pike (N-12672)

The integrity of this c. 1910 former residence is poor because a) the structure has been vacant for a number of years and has experienced moderate deterioration and b) the setting has been severely altered by the widening of a highway. The structure is a frame ell-type house with Queen Anne characteristics that are not unique. The structure does not appear eligible for the National Register. Photos 5-11.

- 1 Rock Manor Avenue (N-12673)

The integrity of this c. 1913 American Foursquare structure is fair because a) its eastern elevation has been slightly altered by the enclosing of a porch on what had originally been the primary facade and b) the setting has been altered by the introduction of a roadway, causing the porte cochere entrance and driveway of the structure to be reoriented. However, the structure is significant for its high-style interior, which retains many of its original unaltered decorative elements. The structure appears eligible for the National Register under Criterion C. Photos 6-25.

- 9 Rock Manor Avenue (N-12674)

The integrity of this c. 1912 American Foursquare structure is still fairly intact, having experienced only slight alterations. Its original garage survives with alterations. However, as an example of a common architectural style, with characteristics neither distinctive or unique, from which far more significant examples survive, the structure does not appear eligible for the National Register. Photos 26-31.

- 11 Rock Manor Avenue (N-12675)

This c. 1912 Colonial Revival (English) structure has experienced major alterations, including the demolition of the original garage and construction of a modern rear garage addition and two large dormers on the front facade. Thus, this structure does not appear eligible for the National Register. Photos 32-38.

- 13 Rock Manor Avenue (N-12676)

The significance of this c. 1912 Craftsman dwelling is high because it embodies distinctive characteristics of the Craftsman style of architecture. Features include a low-pitched roof with intersecting gables, overhanging eave with exposed rafters, and exposed interlocking wood beam construction. The significance of the complex is further enhanced by a period,

unaltered garage and an early twentieth century aesthetic movement garden. As such, this structure appears eligible for the National Register under Criterion C. Photos 39-56.

- 100 Augustine Cut-off (N-12677)

The integrity of this c. 1935 Neo-Colonial structure is low: the former garage was enclosed and a new garage was constructed, as well as a rear addition. The structure is a fairly high-style design, incorporating some custom, as opposed to stock, items. As a typical suburban dwelling, from which more important examples or precedents exist, this structure does not appear eligible for the National Register. Photos 57- 64.

- 104 Augustine Cut-off (N-12678)

The significance of this c. 1935 Neo-Colonial structure is low: it is a standard architectural style, prevalent in suburban communities, built with stock items. More prominent examples of this type exist and therefore, this structure does not appear eligible for the National Register. Photos 65-68.

- 108 Augustine Cut-off (N-12679)

The significance of this c. 1935 Neo-Colonial structure is low: it is a standard architectural style, prevalent in suburban communities, built with stock items. More prominent examples of this type exist and therefore, this structure does not appear eligible for the National Register. Photos 69-71.

- 103 Augustine Cut-off (N-12680)

The significance of this c. 1935 Neo-Colonial structure is low: it is a standard architectural style, prevalent in suburban communities, built with stock items. More prominent examples of this type exist and therefore, this structure does not appear eligible for the National Register. Photo 72.

- 105 Augustine Cut-off (N-12681)

The significance of this c. 1935 Neo-Colonial structure is low: it is a standard architectural style, prevalent in suburban communities, built with stock items. More prominent examples of this type exist and therefore, this structure does not appear eligible for the National Register. Photos 73-77.

- 109 Augustine Cut-off (N-12682)

The significance of this c. 1935 Neo-Colonial structure is fair: the design is fairly high-style, incorporating some custom, as opposed to stock, items. As a typical suburban dwelling, from which more important examples or precedents exist, this structure does not appear eligible for the National Register. Photos 78-82.

Suburbanization

The criteria for significance and integrity for this historic theme was applied to Rock Manor.

In its earliest incarnation, Rock Manor was a potentially unique subdivision, concerning layout and location. A rare, curvilinear plan depicted in Price's 1912 atlas (see Appendix B), as well as Rock Manor's location outside the city's limits in a relatively undeveloped area, initially qualified the subdivision as different from the majority of suburban Wilmington subdivisions. However, it's integrity has been hobbled by two factors that preclude eligibility-status as a district: a) the various plans never came close to fruition and only a fragment was developed, and b) that resultant product was entirely reoriented in the mid-1960s when the connector road was introduced.

The scope of Rock Manor as it was originally conceived was always larger and more expansive than the actual product. The connector road caused the entrance to Rock Manor Avenue to be moved, as well as obliterating one of the principal, original structures, and the entrances to two other structures. The result is a lot-locked vacant structure (N-12672), and another structure that is totally reoriented, and is now entered from the rear (N-12673).

The structures developed on Augustine Cut-off can be viewed as a non-planned suburban subdivision. Its linear form is the result of the construction of Augustine Cut-off, which opened a formerly inaccessible tract for subdivision. Other Wilmington developments from the 1930s, such as Union Park Gardens, were more comprehensive and architecturally distinguishing than the Augustine Cut-off structures. Also, the structures on Augustine Cut-off differ because they are situated on a major thoroughfare, and do not have the sense of enclosure or "place" found at Union Park Gardens. Therefore, Rock Manor does not appear to meet the criteria for National Register eligibility as a district.

• CONCLUSION

Eleven individual sites were surveyed in the field. None of these sites were previously listed in the National Register. Of these, two were recommended to be individually eligible for the National Register, 1 and 13 Rock Manor Avenue. 1 Rock Manor Avenue (N-12673), a high-style American Foursquare, exhibits original interior finishes, such as stencilling, murals, tilework and leaded glass windows that qualify it as an eligible structure. This structure appears to be within the proposed area of road improvements. 13 Rock Manor Avenue (N-12676) is an important example of a Craftsman-style residential complex incorporating early twentieth-century aesthetic movement gardens. While determined eligible in the study, it is actually located outside of the proposed area of road improvements. The area of Rock Manor was recommended to be not eligible as a historic district.

• RECOMMENDATIONS

This document is unable to comment on limitations of the research design since it was composed "after-the-fact." However, there are some recommendations concerning the State Plan that have come from this study. The theme of Suburbanization, ever emerging in preservation planning, needs more definition in the State Plan. There is a short essay on early twentieth-century suburbs in the appendix, and included is a sample property type outline for consideration. Similarly, other categories will need to be expanded to encompass types from this era. For instance, there is no separate classification for American Foursquare under the Architecture theme of the State Plan. Likewise, the State Plan will need to classify these types and promote style names for the plethora of suburban styles that will be encountered in the future.

For instance, a difficult time was had attempting to assign a style name to the structures that line Augustine Cut-off. It was decided, after consultation with the Delaware SHPO, to use the term Colonial Revival, Second Period. This serves to distinguish post-WW I Colonial Revival designs from the earlier phase, circa 1870-1915, of this revival styles. The earlier phase of the Colonial Revival finds its antecedents of form, materials, massing, and plan in the Queen Anne movement. Whereas the post- WW I Colonial Revival responds to the shift towards the academic revival styles popularized in the first three decades of the twentieth century. Post-WW I upper middle class suburban structures tend to be more faithful to eighteenth and nineteenth century forms, plans, and details.

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• APPENDIX

APPENDIX A: Suburban Wilmington Developments
B: Figure Graphics (attached)
C: BAHF Survey Forms (attached)

Suburban Wilmington Developments

As a district, Rock Manor was recommended to be not eligible for the National Register. This conclusion can be supported by profiling local suburban residential development from the same era (circa 1910- circa 1935).

A survey of the suburban expansion of Wilmington in the late 19th and early 20th centuries revealed two general community types: trolley-car suburbs and large-lot, planned, "suburb-within-the-city" developments. According to Carol Hoffecker's book, Wilmington: A Pictorial History (Wilmington: 1982), Wilmington had developed several trolley car suburbs by the turn of the century, specifically, around Elsmere in the west and Bellefonte in the northeast. Often these subdivisions were designed as grids, with small lots, thereby maximizing the developable land. The plans were often anchored on a principal road that carried the trolley line, allowing access to the city (i.e. Maryland Avenue, Kirkwood Highway, Philadelphia Pike). Schools were also developed to service these new communities.

With the advent of the automobile, the trolley-car suburb was replaced in Wilmington with a number of exclusive, planned developments that predominately occurred north of the city (or within the northern border of the city). The initial design of Rock Manor can be included among these developments. Possibly an influence on the initial layout of Rock Manor was William Bancroft, a Quaker philanthropist who was a seminal figure in the development of Wilmington's park system. With the help of Frederick Law Olmsted, the two planned Rockford and Brandywine Parks in Wilmington. The principal landowner northeast of Wilmington during this time was the Elliott family, whose land partly bordered Brandywine Park.

As well as planning parks, Olmsted and Bancroft planned residential developments. Olmsted's ideas, such as lot size, set-back, and property-alteration regulations, were incorporated in many of Bancroft's communities. The results were developments such as the area near Rockford Park and Kentmere Parkway, and Union Park Gardens. Quite possibly, Eliza Harvey drew inspiration from these developments in attempting to subdivide her land.

Other planned communities of this type include Westover Hills and Wawaset Park. Westover Hills, cited by Hoffecker as "the city's most prestigious subdivision in the late 1920's," (p. 116) was a successful development that included large single-family dwellings situated on irregular lots. The new community featured winding roads, large homes on large lots, a broad entrance parkway off Kennett Pike, and was serviced by the A.I. du Pont School.

Wawaset Park in Wilmington, developed around 1920, was an extensive development guided by the DuPont Company. Wawaset Park was a direct descendant of Roland Park in Baltimore, a planned community incorporating many of the design standards espoused by Frederick Law Olmsted. Standards concerning lot size, street size, landscape architecture, and other deed restrictions established at Roland Park, were adopted at Wawaset Park.

The following is an attempt at outlining the Suburbanization historic theme and its relevant property types.. Consider:

Suburbanization

A) Type

- 1) **Planned Communities (Designed, Comprehensive, Large-Scale)**
 - a) **Company/Corporate Towns**
 - b) **Train/Trolley-Oriented**
 - c) **Automobile-Oriented**
- 2) **Subdivisions (Limited, Small-Scale)**
 - a) **General Speculation**

B) Design

- 1) **Grid Plan**
- 2) **"Romantic" Curvilinear Plan**

C) Building Types

- 1) **Residential**
 - a) **Detached Dwellings**
 - b) **Semi-detached Dwellings**
 - c) **Rows**
 - d) **Garages/ Outbuildings**
- 2) **Commercial**
 - a) **Row**
 - b) **Gas Station**
 - c) **Motel**
 - d) **Shopping Center**
- 3) **Transportation**
 - a) **Railroad Stations**
 - b) **Trolley Stations**
- 4) **Institutional**
 - a) **Schools**
 - b) **Churches**
 - c) **Libraries**
 - d) **Community Facilities**

D) Characteristics

- 1) **Size of Development**
- 2) **Lot Size**
- 3) **Building Mix**
- 4) **Open Space**
- 5) **Street Width, Plantings**

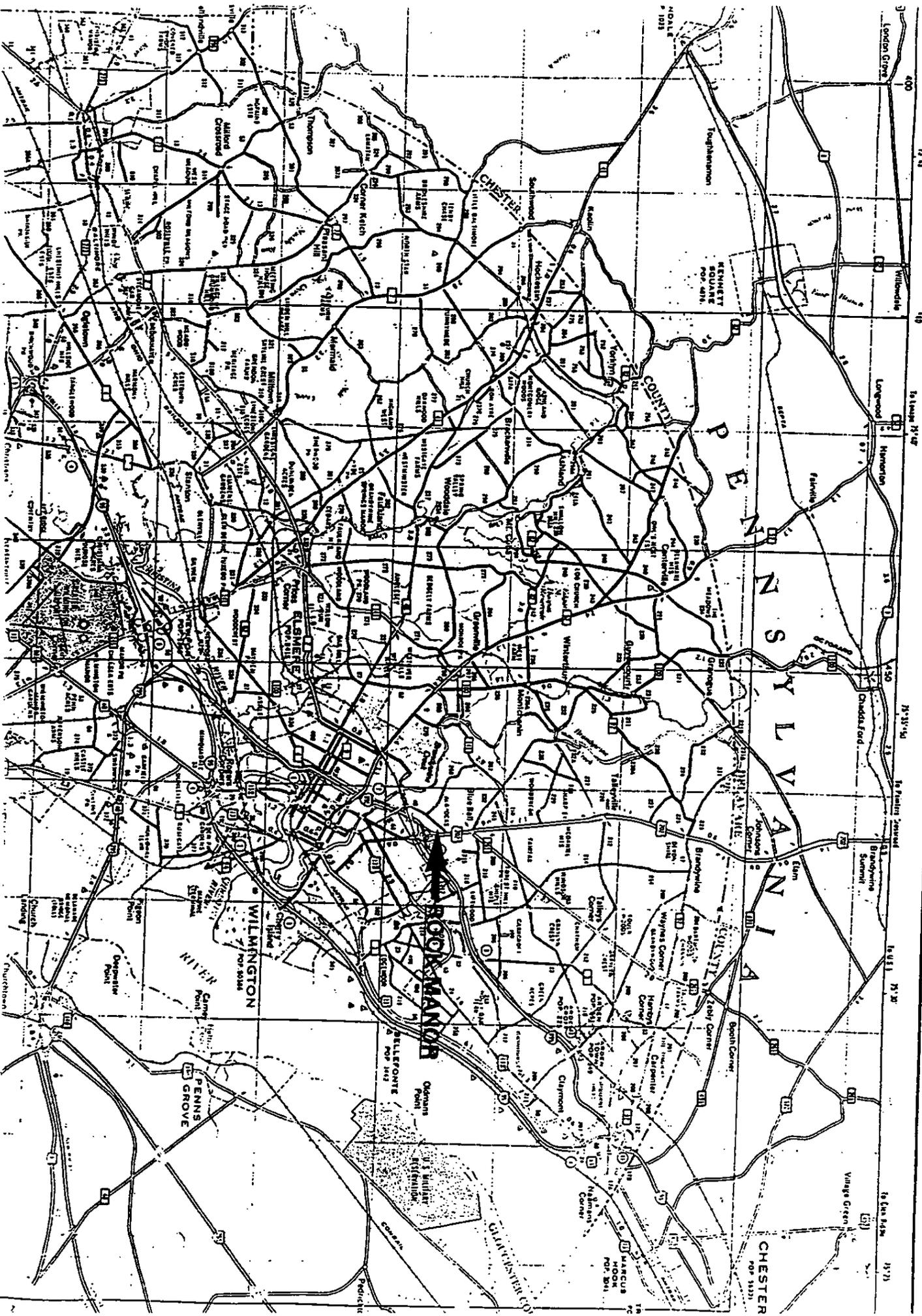


FIGURE 1: LOCATION MAP

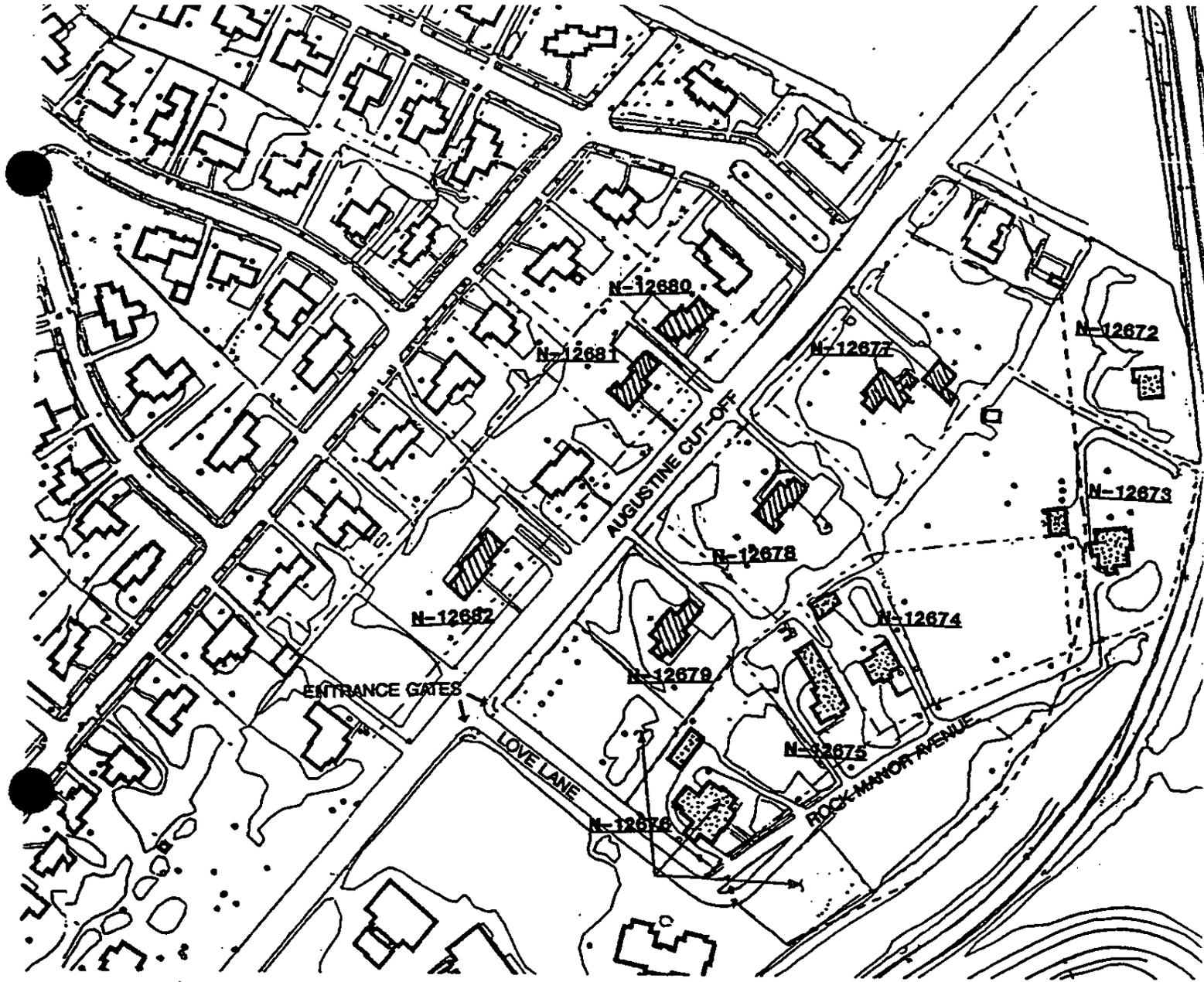
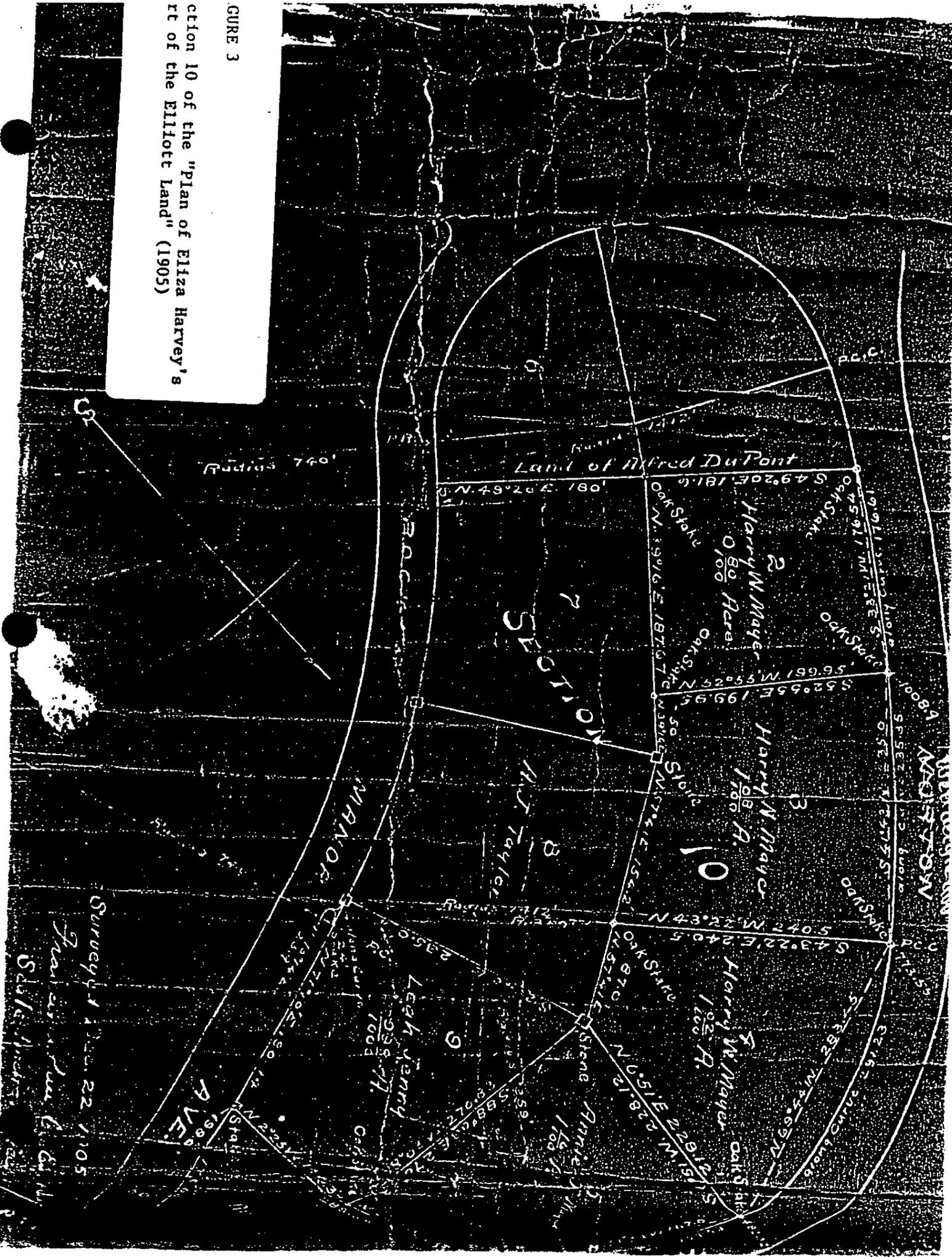


FIGURE 2: ROCK MANOR

- Those properties privately built c. 1910 as part of the Harvey subdivision include: N-12672, N-12673, N-12674, N-12675, and N-12676.
- Those properties privately built c. 1935 as part of the Mayer subdivision include: N-12677, N-12678, N-12679, N-12680, N-12681, and N-12682.

FIGURE 3
 Section 10 of the "Plan of Eliza Harvey's
 Part of the Elliott Land" (1905)



Surveyed 11 Dec 22 1905

Francis M. Lee & Co.
 State Architects

Radius 740'

Land of Alfred DuPont

N 49° 20' E 181.6'

Oak Stake

Harry W Mayer
2 1/2 Acres

Oak Stake

SECTION 7

N 52° 55' W 199.95'

Harry N Mayer
1 1/2 Acres

Slope

MANOR

SECTION 8

Art Taylor

10

Harry W Mayer
1 1/2 Acres

N 43° 22' W 240.5'

Surveyed 1882 1105

Francis & John C. & John
Sole Proprietors

Leah Jenny
1 1/2 Acres

9

Stone Annie
1 1/2 Acres

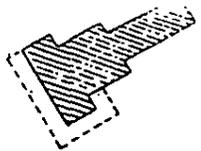
AVE

AVE

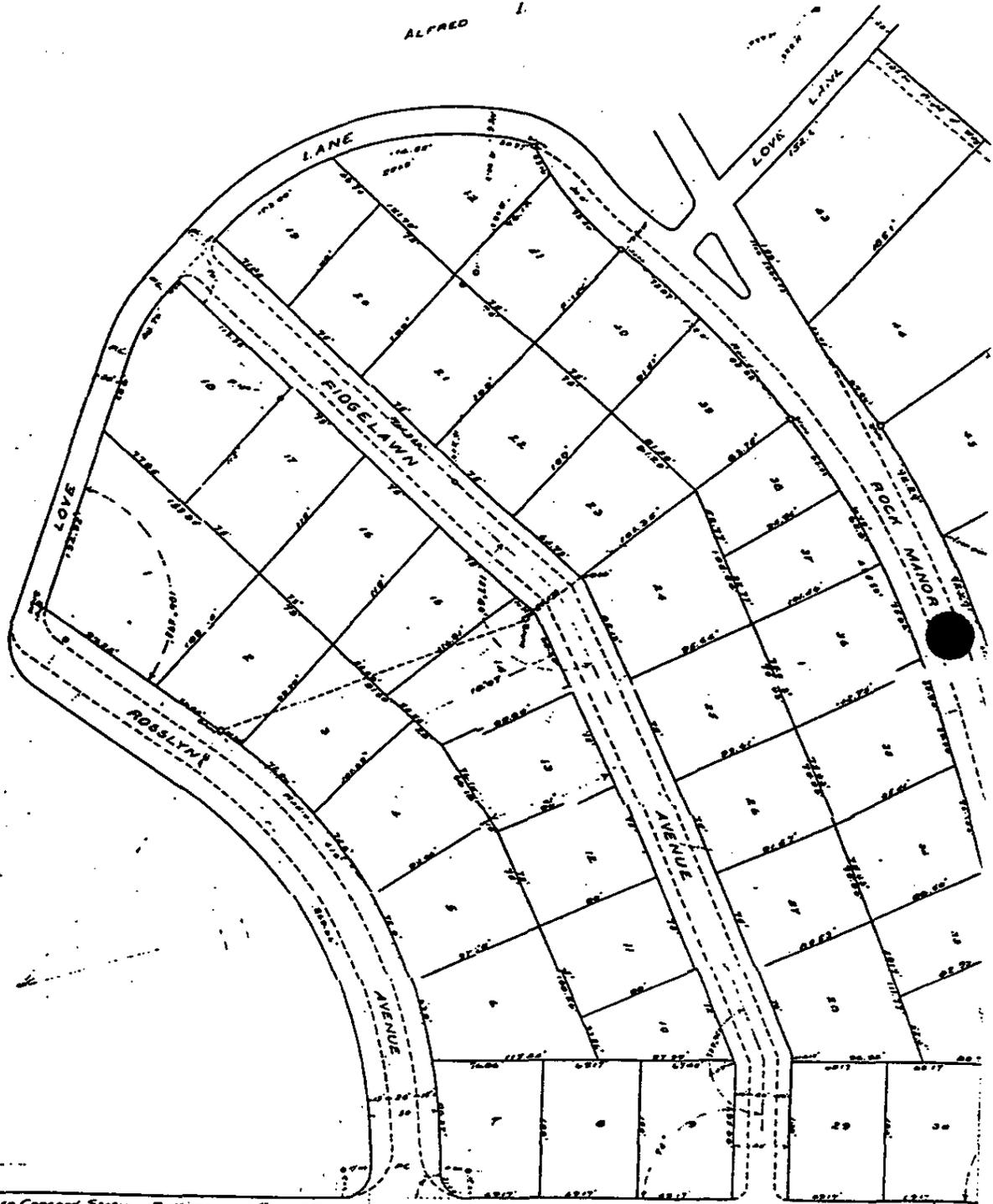
TURNPIKE

50

35



ALFRED I. Du PONT

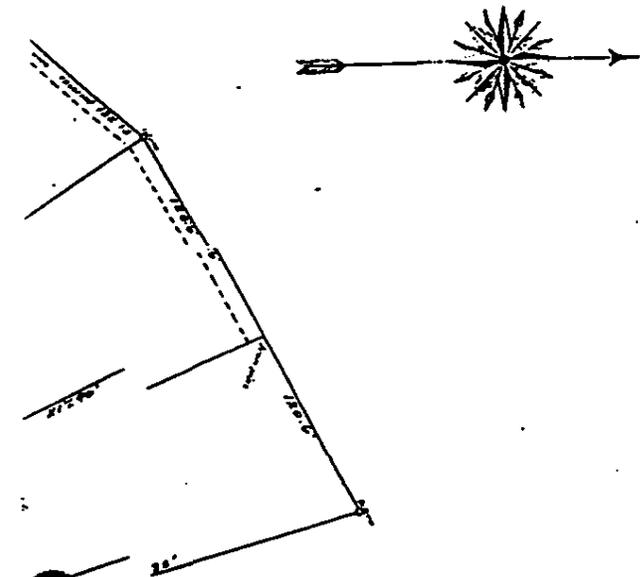


1200 feet to Concord Station Baltimore and Ohio R.R.

CONCORD

ISAAC C. ELLIOTT





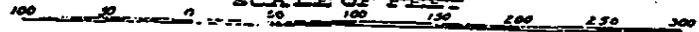
Plan of
ROCK MANOR

BRANDYWINE HD.
 NEW CASTLE CO. DELAWARE.

DELAWARE TRUST COMPANY,
 SOLE AGENTS.

DRAWN BY James White, by order.

SCALE OF FEET



N.B. Distances on Curves are the Chord Lengths.

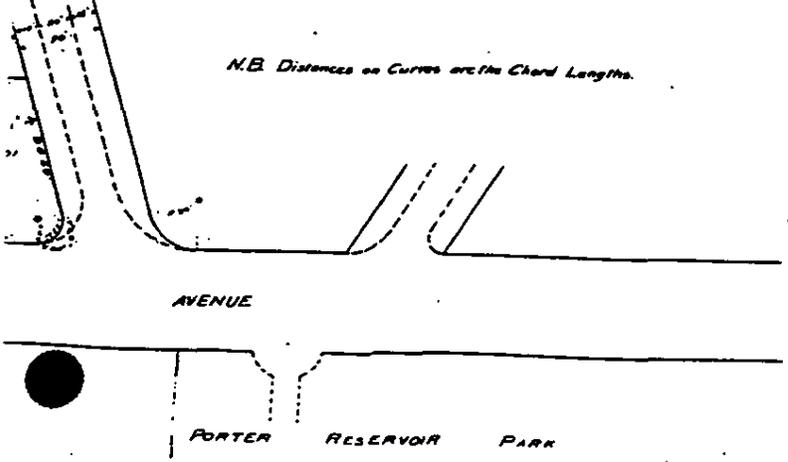
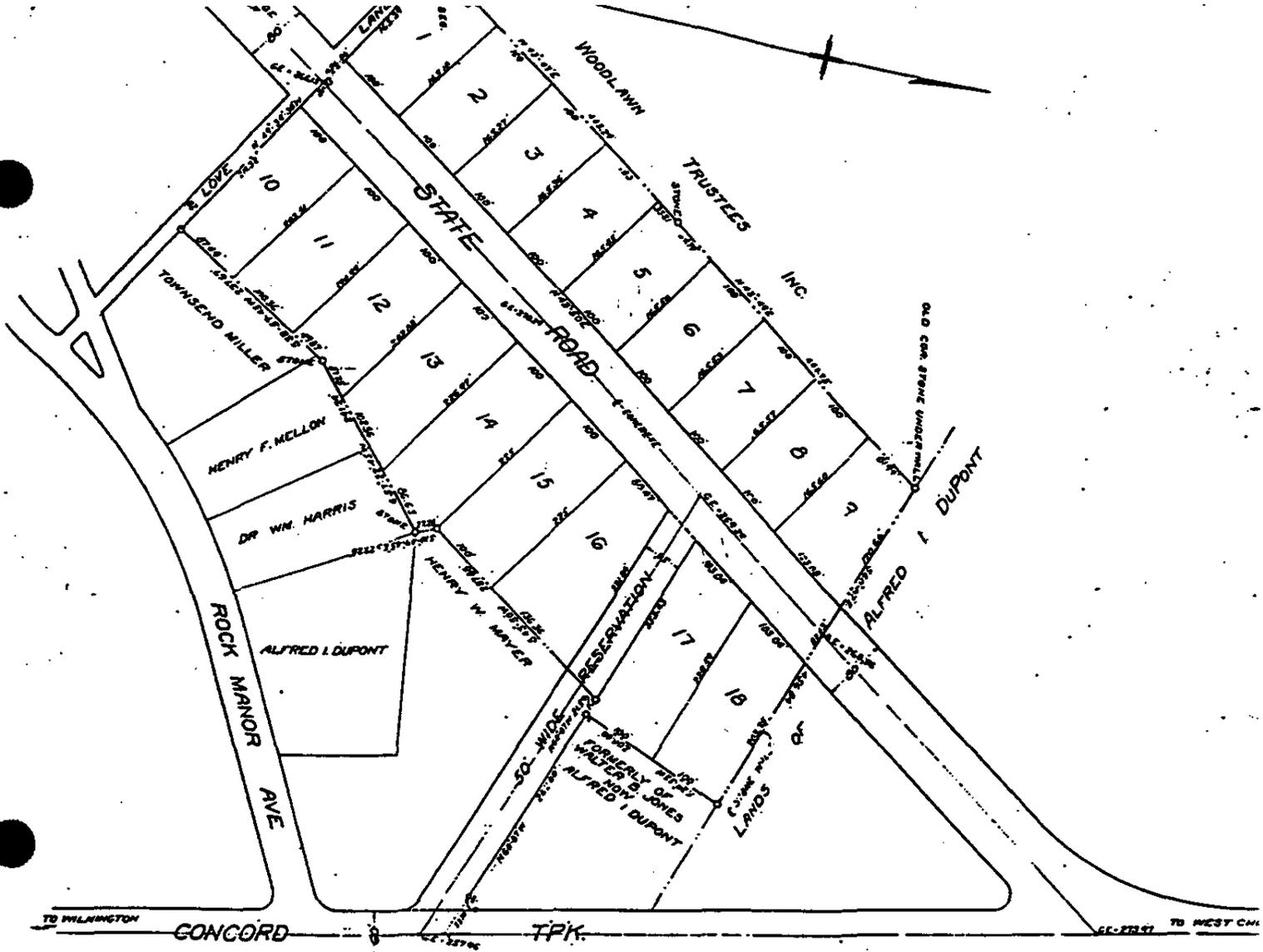


FIGURE 4
 Plan of Rock Manor

This was an unsuccessful 1912 attempt by Alfred I. DuPont to subdivide and develop land previously owned by Eliza Harvey (who attempted a similar but smaller subdivision). Lots previously purchased of Harvey (i.e. Mayer's lots) are not depicted here, but are situated north of Rock Manor Avenue.



PLAN OF PART OF
ROCK MANOR
 PROPERTY OF HENRY W. MAYER
 AREA 0.994 ACRES
 BRANDYWINE MD - NEW CASTLE CO - DELAWARE
 SCALE 1"=60' MARCH 30, 1935.

FIGURE 5
 Mayer's Subdivision

This 1935 plan records the introduction of Augustine Cut-Off (State Road) and Harry Mayer's resulting attempt to subdivide his land, which had been the site of his vineyard. The 50' wide reservation depicted is a remnant of Wendelyn Avenue (see Figure 2). Love Lane was apparently a small, unpaved, access road. This plan was not adopted; the plan that was implemented has larger lots on Augustine Cut-Off, thereby decreasing the number of lots.



1



2



3



6



7



8



9



10



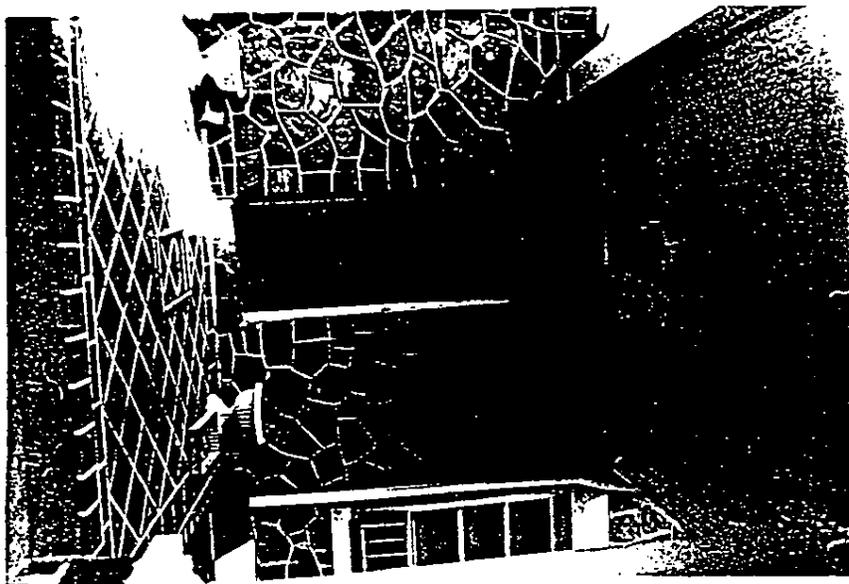
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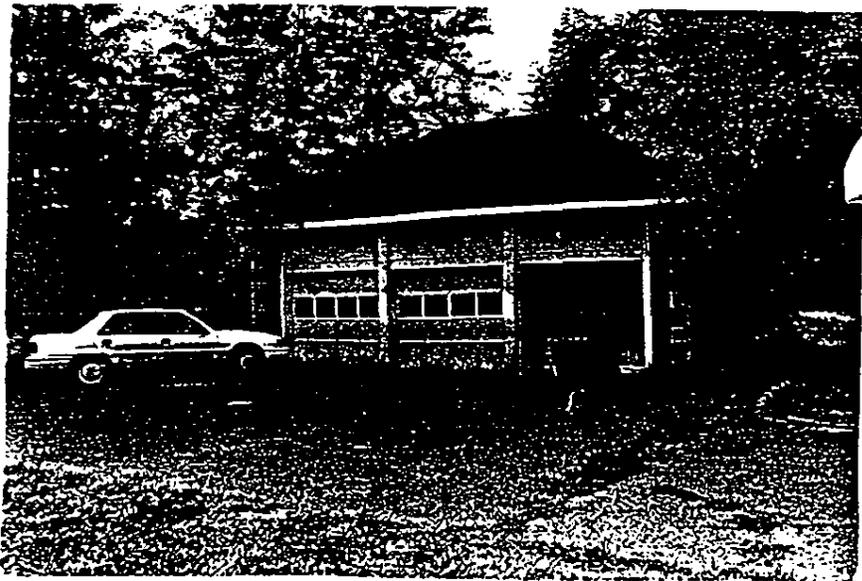
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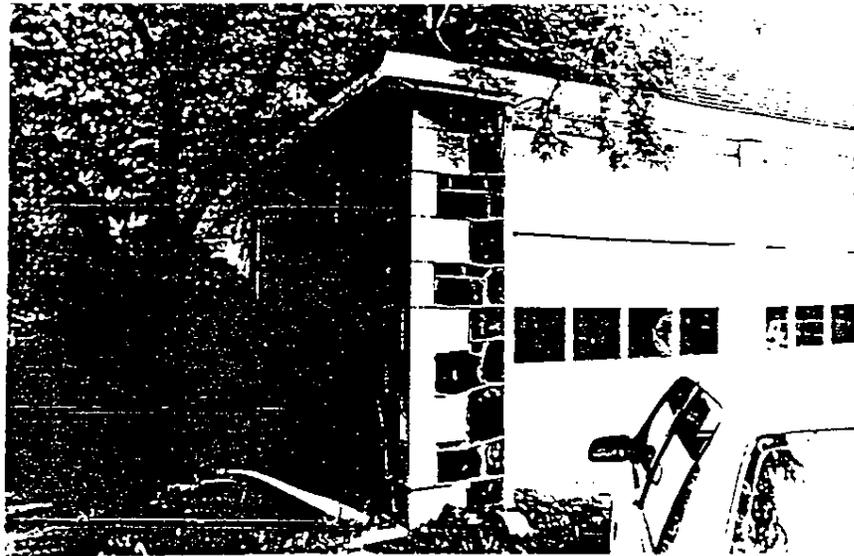
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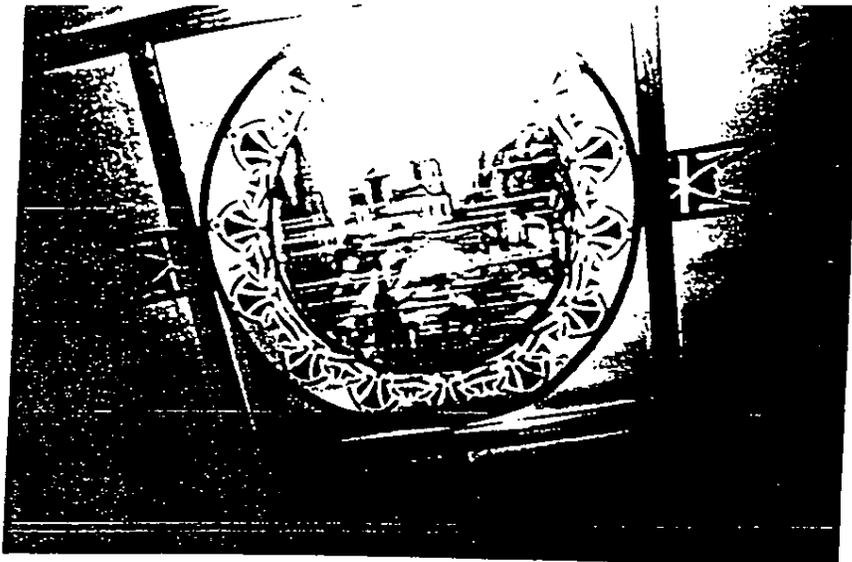
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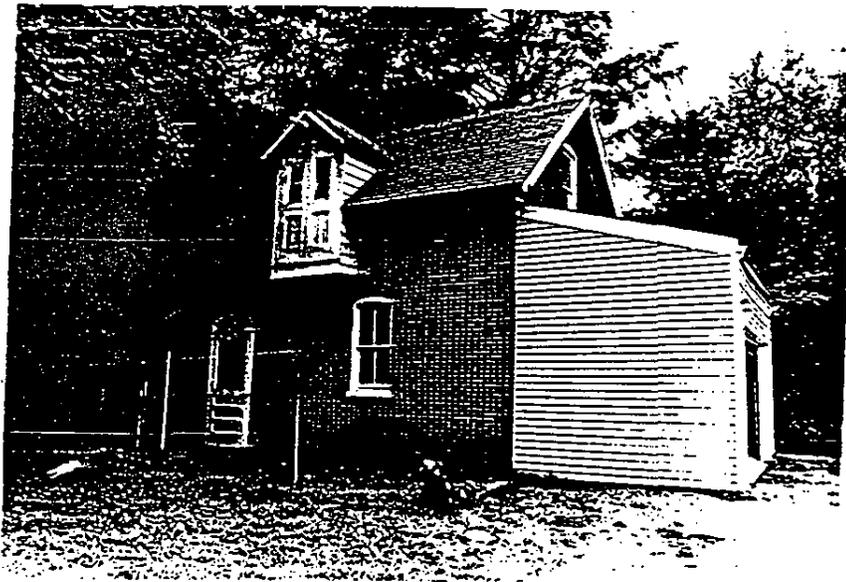
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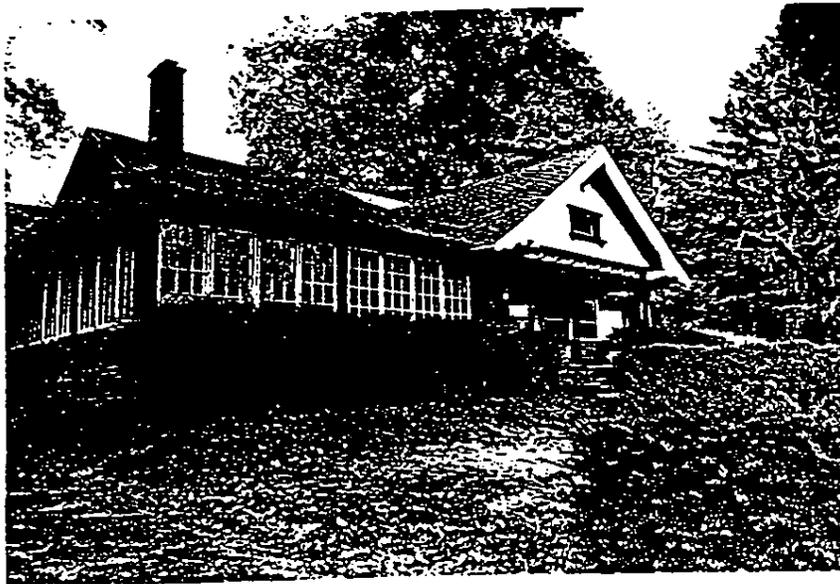
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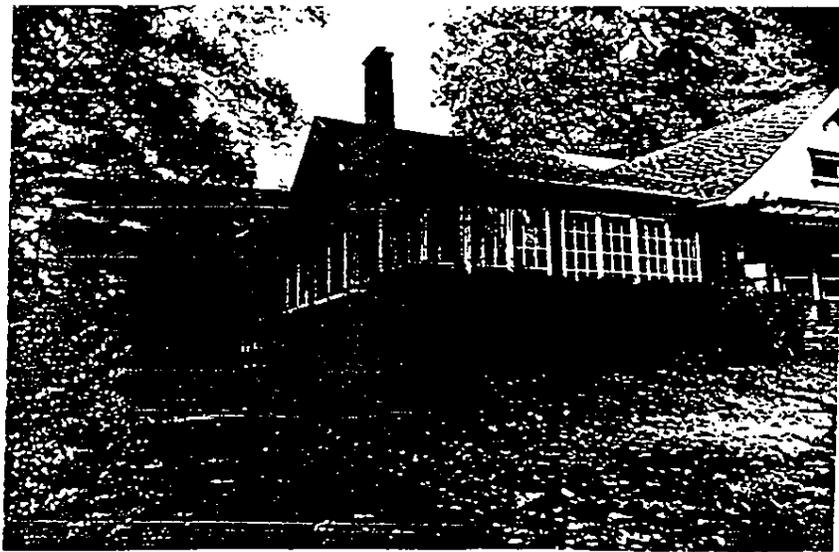
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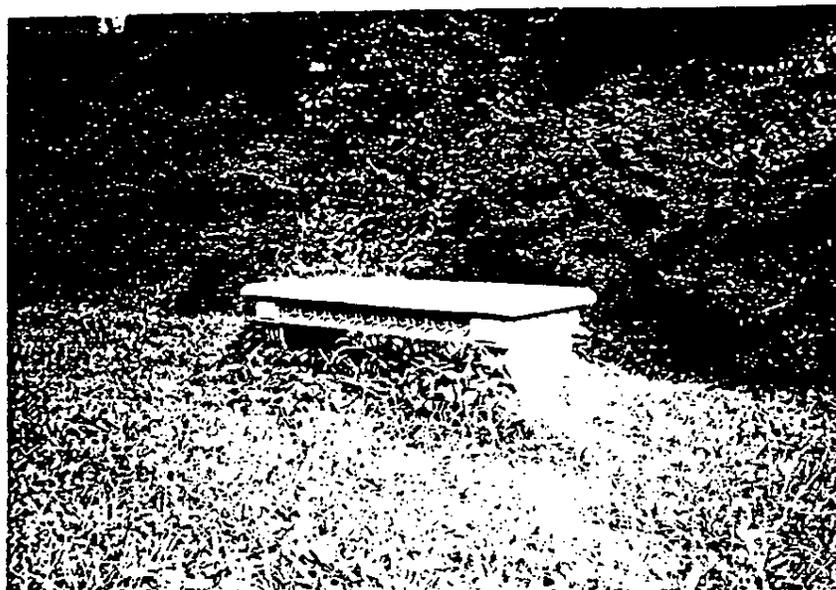
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51



52



53



54



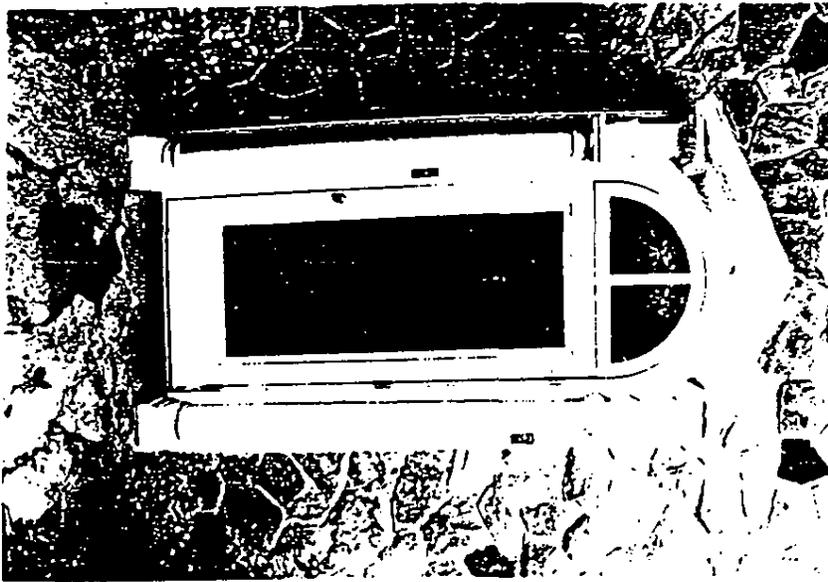
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56



57



58



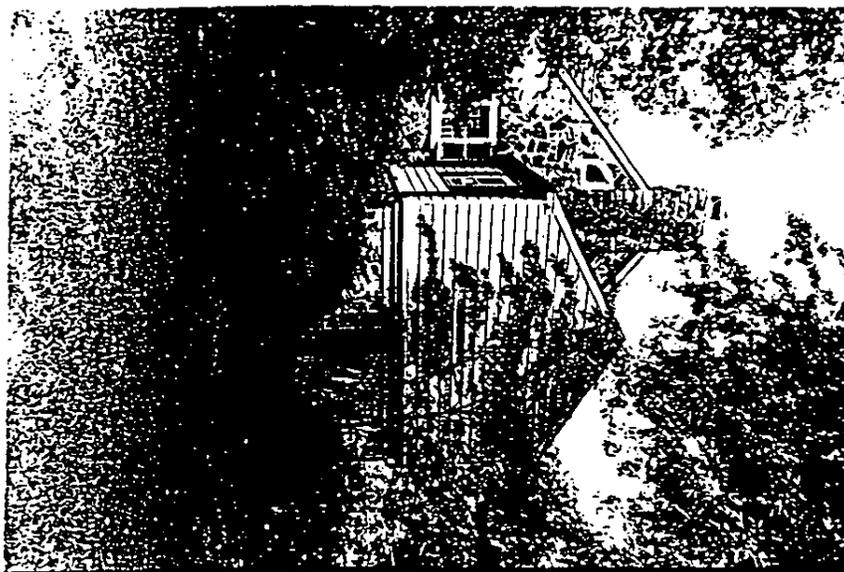
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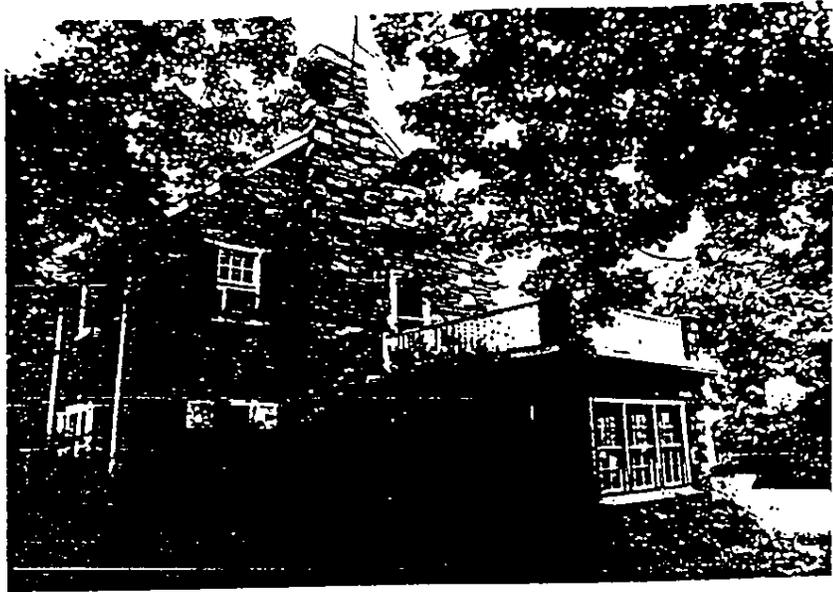
68



69



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71



72



73



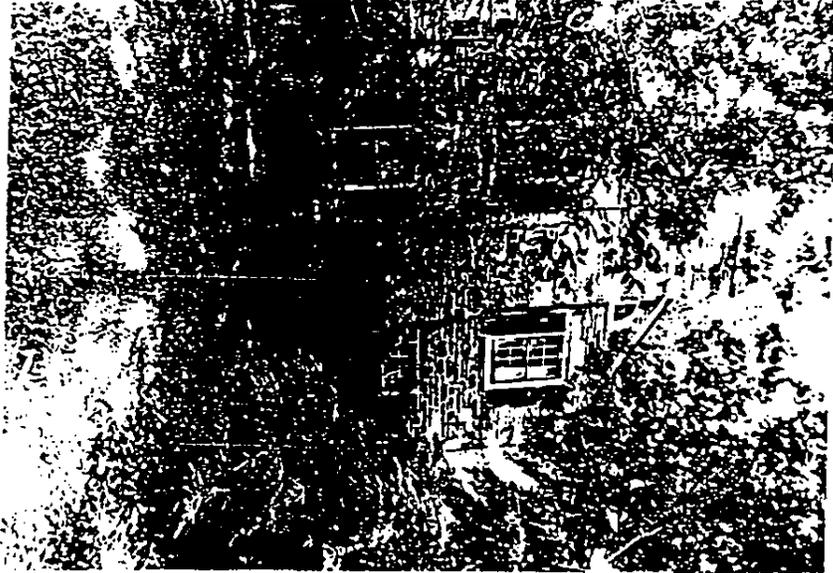
74



75



76



77



78



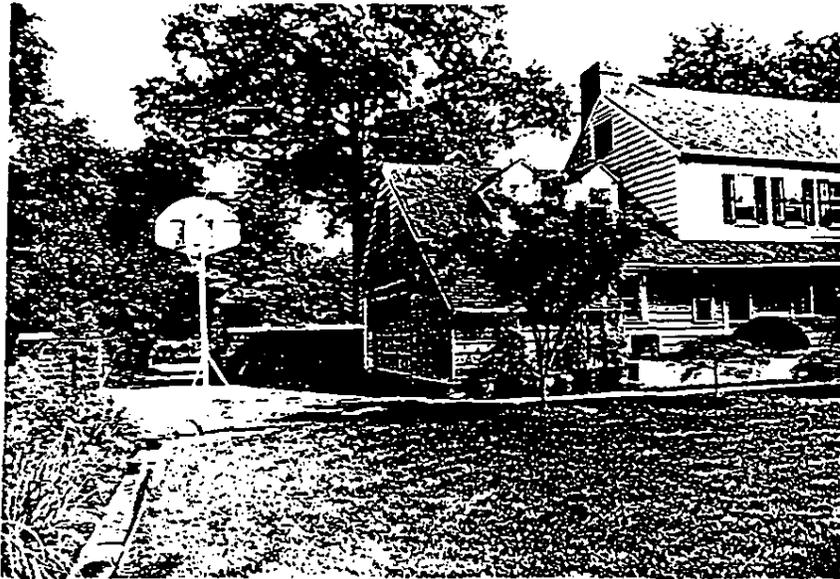
79



80



81



82

Rock Manor Photo 1
Entrance Gates
View: Looking southeast from Augustine
Cut-off
July 1990

Rock Manor Photo 2
Augustine Cut-off
View: Looking toward Concord Pike (Rt.
202) from Love Lane
July 1990

Rock Manor Photo 3
Love Lane
View: Looking toward Augustine Cut-off
from Rock Manor Avenue
July 1990

Rock Manor Photo 4
Rock Manor Avenue
View: Looking northeast toward dead-end
July 1990

Rock Manor Photo 5
Vacant Structure, West Side of
Concord Pike
N-12672
View: Looking northeast
July 1990

Rock Manor Photo 6
Vacant Structure, West Side of
Concord Pike
N-12672
View: Main entrance, looking northeast
July 1990

Rock Manor Photo 7
Vacant Structure, West Side of
Concord Pike
N-12672
View: Main entrance, porch
July 1990

Rock Manor Photo 8
Vacant Structure, West Side of
Concord Pike
N-12672
View: South facade
July 1990

Rock Manor Photo 9
Vacant Structure, West Side of
Concord Pike
N-12672
View: North facade
July 1990

Rock Manor Photo 10
Vacant Structure, West Side of
Concord Pike
N-12672
View: West facade
July 1990

Rock Manor Photo 11
Vacant Structure, West Side of
Concord Pike
N-12672
View: East facade
July 1990

Rock Manor Photo 12
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Looking northeast at south facade
July 1990

Rock Manor Photo 13
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Port-cochere, south facade
July 1990

Rock Manor Photo 14
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Porch/entrance, south facade
July 1990

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: West facade
July 1990

Photo 15

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: West facade
July 1990

Photo 16

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: West facade
July 1990

Photo 17

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: North facade
July 1990

Photo 18

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Enclosed porch, east facade
July 1990

Photo 19

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Garage, looking northwest
July 1990

Photo 20

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Quoins on southeast corner of
garage
July 1990

Photo 21

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Interior, foyer mural
July 1990

Photo 22

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Interior, foyer mural
July 1990

Photo 23

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Interior, foyer ceiling
July 1990

Photo 24

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Interior, second floor landing
July 1990

Photo 25

Rock Manor
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Entrance gates
July 1990

Photo 26

Rock Manor
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Looking northwest at entrance
(south) facade
July 1990

Photo 27

Rock Manor
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Looking east at rear facade
July 1990

Photo 28

Rock Manor Photo 29
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Looking south at rear facade
July 1990

Rock Manor Photo 30
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Looking northwest at garage
July 1990

Rock Manor Photo 31
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Garage
July 1990

Rock Manor Photo 32
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking northwest from Rock Manor
Avenue
July 1990

Rock Manor Photo 33
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking northwest at entrance
facade
July 1990

Rock Manor Photo 34
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking north
July 1990

Rock Manor Photo 35
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking south at side facade
July 1990

Rock Manor Photo 36
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking south at side facade
July 1990

Rock Manor Photo 37
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking south at rear facade
July 1990

Rock Manor Photo 38
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking south at rear facade
July 1990

Rock Manor Photo 39
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northwest at front facade,
from Rock Manor Avenue
July 1990

Rock Manor Photo 40
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northwest at entrance
July 1990

Rock Manor Photo 41
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking north at entrance
July 1990

Rock Manor Photo 42
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northwest
July 1990

Rock Manor Photo 43
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking east at porte-cochere
July 1990

Rock Manor Photo 44
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking south at rear facade
July 1990

Rock Manor Photo 45
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking southeast at rear facade
July 1990

Rock Manor Photo 46
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking southeast at side facade
July 1990

Rock Manor Photo 47
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northwest at garage
July 1990

Rock Manor Photo 48
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northeast at garage
July 1990

Rock Manor Photo 49
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking southwest at side facade of
garage
July 1990

Rock Manor Photo 50
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Gazebo
July 1990

Rock Manor Photo 51
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Gazebo furniture
July 1990

Rock Manor Photo 52
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Front steps, looking southeast
July 1990

Rock Manor Photo 53
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Garden bench
July 1990

Rock Manor Photo 54
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Sundial
July 1990

Rock Manor Photo 55
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Interior, looking from dining room
to living room
July 1990

Rock Manor Photo 56
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Interior, looking from living room
to dining room
July 1990

Rock Manor Photo 57
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking south at front facade
July 1990

Rock Manor Photo 58
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Front doorway
July 1990

Rock Manor Photo 59
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking southwest at side facade
July 1990

Rock Manor Photo 60
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking northwest at rear facade
July 1990

Rock Manor Photo 61
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking north at rear facade
July 1990

Rock Manor Photo 62
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking northeast at side facade
July 1990

Rock Manor Photo 63
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Garage
July 1990

Rock Manor Photo 64
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Side facade of garage
July 1990

Rock Manor Photo 65
104 Augustine Cut-off
Wilmington, DE 19803
N-12678
View: Looking southeast at front facade
July 1990

Rock Manor Photo 66
104 Augustine Cut-off
Wilmington, DE 19803
N-12678
View: Looking southwest at side facade
July 1990

Rock Manor Photo 67
104 Augustine Cut-off
Wilmington, DE 19803
N-12678
View: Rear facade
July 1990

Rock Manor Photo 68
104 Augustine Cut-off
Wilmington, DE 19803
N-12678
View: Side facade
July 1990

Rock Manor Photo 69
108 Augustine Cut-off
Wilmington, DE 19803
N-12679
View: Looking southeast at front facade
July 1990

Rock Manor Photo 70
108 Augustine Cut-off
Wilmington, DE 19803
N-12679
View: Rear facade
July 1990

Rock Manor
108 Augustine Cut-off
Wilmington, DE 19803
N-12679
View: Side Facade
July 1990

Photo 71

Rock Manor
103 Augustine Cut-off
Wilmington, DE 19803
N-12680
View: Looking north at front facade
July 1990

Photo 72

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Looking north at front facade
July 1990

Photo 73

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Rear facade
July 1990

Photo 74

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Rear facade
July 1991

Photo 75

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Rear facade
July 1990

Photo 76

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Side facade
July 1990

Photo 77

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Looking northwest at front facade
July 1990

Photo 78

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Front facade
July 1990

Photo 79

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Side facade
July 1990

Photo 80

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Rear facade
July 1990

Photo 81

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Looking south at rear facade
July 1990

Photo 82

Rock Manor
Photo



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

CRS no.	<u>N-12678</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____
2. STREET LOCATION: 104 Augustine Cut-Off
3. OWNER'S NAME: William and Elizabeth Jenkins TEL. #: (302)652-7802
ADDRESS: 104 Augustine Cut-Off, Wilmington, DE 19803
4. TYPE OF LOCUS: a) building x b) structure _____ c) site _____
d) object _____ e) district _____ f) other _____
5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field _____ c) woodland _____
d) scattered buildings _____ e) densely built up x f) other _____
6. FUNCTION: original residential present residential
7. LIST ADDITIONAL SHEETS USED

8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____
YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050
ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

CRS no.	<u>N-12678</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____

2. STREET LOCATION: 104 Augustine Cut-Off

3. OWNER'S NAME: William and Elizabeth Jenkins TEL. #: (302)652-7802

ADDRESS: 104 Augustine Cut-Off, Wilmington, DE 19803

4. TYPE OF LOCUS: a) building b) structure _____ c) site _____
d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field _____ c) woodland _____
d) scattered buildings _____ e) densely built up f) other _____

6. FUNCTION: original residential present residential

7. LIST ADDITIONAL SHEETS USED

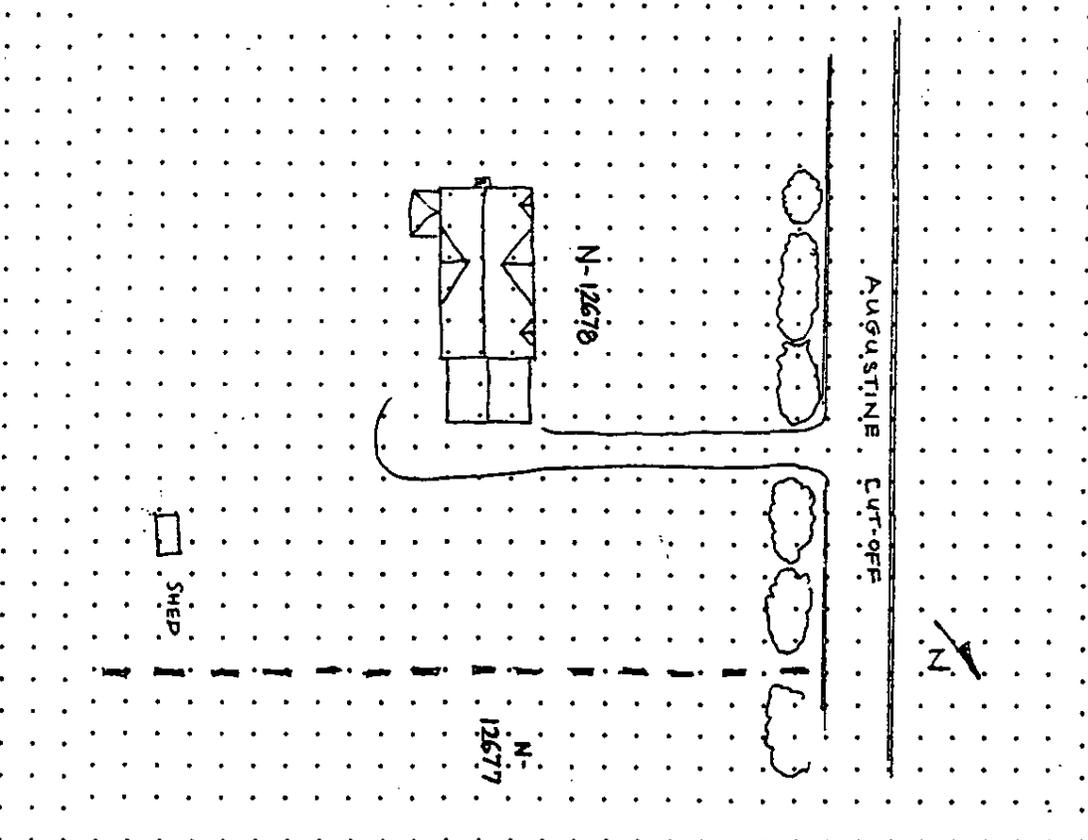
8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA. 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

9. CONTEXT

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area
- e) threats

Developed circa 1935, the six homes along Augustine Cut-Off are late Colonial Revival interpretations. When Augustine Cut-Off was introduced in 1932, one of the original landowners of Rock Manor, Harry Mayer, subdivided his land into six lots. The resulting six structures, though all Colonial Revival, range from being stock-tem construction designs to being fairly high-style, custom-tem interpretations. 104 Augustine Cut-Off is an example of the former and does not possess the historical or architectural significance to merit National Register eligibility.

10. Comprehensive Planning:

- a. Time Period(s) 1880-1940
- b. Cultural Concept Landscape

11. Evaluation and Eligibility

List area(s) of significance and criteria

12. Certification

Survey: Name/Title Bower/Abbot Date August 1990
 BHP: Name/Title _____ Date _____



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	<u>N-12679</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: 108 Augustine Cut-off, Wilmington, DE 19803

2. DATE OF INITIAL CONSTRUCTION: 1938

3. STYLE/FLOOR PLAN: Colonial Revival

4. ARCHITECT/BUILDER: _____

5. INTEGRITY: a) original site yes b) moved _____

c) if moved, when and from where _____

d) list major alterations and dates (if known) _____

6. CONDITION: good x deteriorated _____

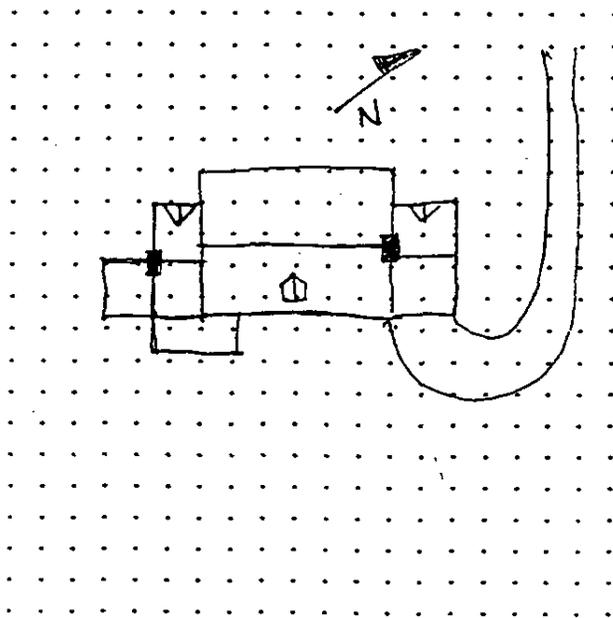
remarks: _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

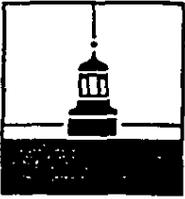
- a) Overall shape
stories two
bays three on central block
wings rear and side wings
- b) Structural system masonry
- c) Foundation
materials concrete
basement yes
- d) Exterior walls (modern over original)
materials random ashlar
color(s)
- e) Roof
shape; materials gable; slate
cornice simple box
dormers two wall dormers on front facade; one pedimented roof dormer on rear
chimney location(s) exterior, stone, west elevation; interior, stone, east of main block

- f) Windows
 spacing regular
 type 6-over-6 double hung
 trim molded
 shutters two-panel, solid shutters on first floor; louvered on second floor
- g) Door
 spacing on-center, north facade
 type single leaf
 trim frontispiece has segmental arch supported by pilasters
- h) Porches
 location(s) side (west) facade
 materials enclosed porch, composed of stone piers and screening
 supports stone piers
 trim balustrade above
- i) Interiors details (if accessible)

SKETCH MAP (provide north arrow)



8. Surveyor: Bower / Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

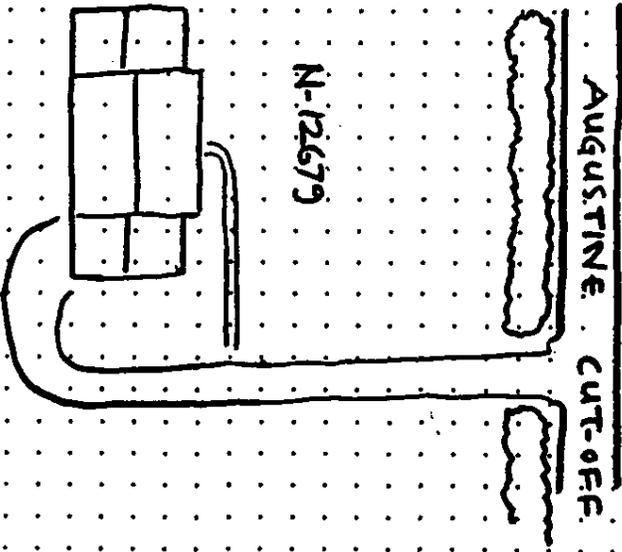
CRS no.	N-12679
SPO Map	10-11-36
Hundred	Brandywine
Quad	Wilmington N.
Zone	5
Acreage	quarter-acre

1. NAME OF PROPERTY: _____
2. STREET LOCATION: 108 Augustine Cut-Off
3. OWNER'S NAME: William Harkins TEL. #: (302) 658-3227
ADDRESS: 108 Augustine Cut-Off, Wilmington, DE 19803
4. TYPE OF LOCUS: a) building b) structure _____ c) site _____
d) object _____ e) district _____ f) other _____
5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field _____ c) woodland _____
d) scattered buildings _____ e) densely built up f) other _____
6. FUNCTION: original residential present residential
7. LIST ADDITIONAL SHEETS USED

8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____
YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050
ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

9. CONTEXT

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area
- e) threats

Developed circa 1935, the six homes along Augustine Cut-Off are late Colonial Revival interpretations. When Augustine Cut-Off was introduced in 1932, one of the original landowners of Rock Manor, Harry Mayer, subdivided his land into six lots. The resulting six structures, though all Colonial Revival, range from being stock-tem construction designs to being fairly high-style, custom-tem interpretations. 108 Augustine Cut-Off is an example of the former and does not have the architectural or historical significance to merit National Register eligibility.

10. Comprehensive Planning:

- a. Time Period(s) 1880-1940
- b. Cultural Concept Landscape

11. Evaluation and Eligibility

List area(s) of significance and criteria

12. Certification

Survey: Name/Title Bower/Abbot Date August 1990
 BHP: Name/Title _____ Date _____



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	<u>N-12680</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: 103 Augustine Cut-off, Wilmington, DE 19803

2. DATE OF INITIAL CONSTRUCTION: c. 1936

3. STYLE/FLOOR PLAN: Colonial Revival

4. ARCHITECT/BUILDER: _____

5. INTEGRITY: a) original site yes b) moved _____

c) if moved, when and from where _____

d) list major alterations and dates (if known) _____

6. CONDITION: good x deteriorated _____

remarks: _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
stories two
bays asymmetrical
wings one story wing west of main block
- b) Structural system masonry
- c) Foundation
materials concrete
basement yes
- d) Exterior walls (modern over original)
materials random ashlar
color(s)
- e) Roof
shape; materials gable; asphalt shingles
cornice simple box
dormers one roof dormer on west (garage) wing
chimney location(s) interior at the west end of the main block, built of stone

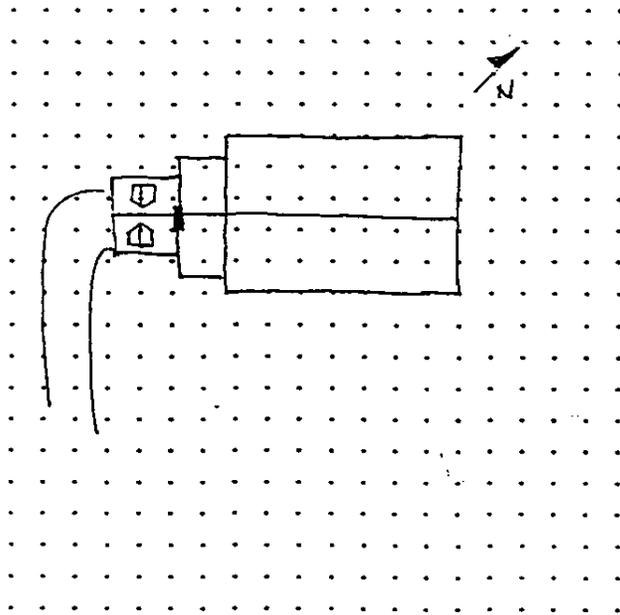
f) Windows
spacing regular
type 6-over-6 double hung; arched window with fanlight above main entrance
trim molded
shutters louvered

g) Door
spacing on-center, south facade of main block
type single leaf
trim

h) Porches
location(s) side (west) facade
materials open porch, composed of stone piers
supports stone piers
trim

i) Interiors details (if accessible)

SKETCH MAP (provide north arrow)



8. Surveyor: Bower / Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM
FORM CRS-3

CRS no.	<u>N-12680</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____

2. STREET LOCATION: 103 Augustine Cut-Off

3. OWNER'S NAME: _____ TEL. #: _____

ADDRESS: _____

4. TYPE OF LOCUS: a) building x b) structure _____ c) site _____

d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)

a) fallow field _____ b) cultivated field _____ c) woodland _____

d) scattered buildings _____ e) densely built up x f) other _____

6. FUNCTION: original residential present residential

7. LIST ADDITIONAL SHEETS USED

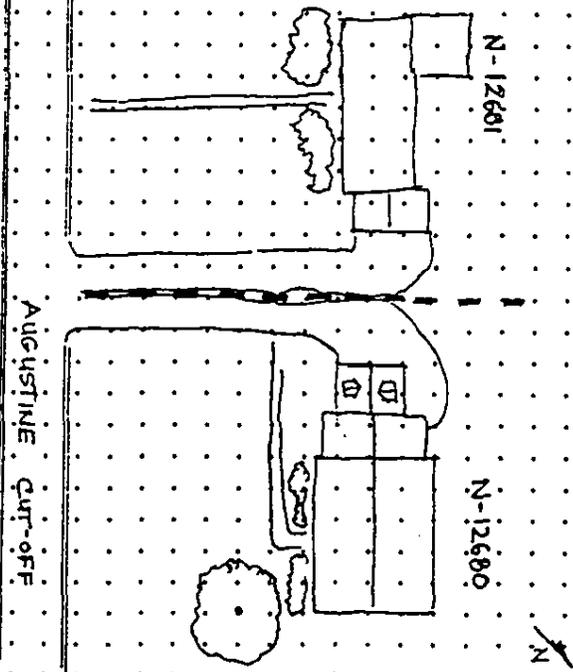
8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

9. CONTEXT

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area
- e) threats

Developed circa 1935, the six homes along Augustine Cut-Off are late Colonial Revival interpretations. When Augustine Cut-Off was introduced in 1932, one of the original landowners of Rock Manor, Harry Mayer, subdivided his land into six lots. The resulting six structures, though all Colonial Revival, range from being stock-tem construction designs to being fairly high-style, custom-tem interpretations. 103 Augustine Cut-Off is an example of the former and does not have the architectural or historical significance to merit National Register eligibility.

10. Comprehensive Planning:

- a. Time Period(s) 1880-1940
- b. Cultural Concept Landscape

11. Evaluation and Eligibility

List area(s) of significance and criteria

12. Certification

Survey: Name/Title Bower/Abbot Date August 1990
 BAHF: Name/Title _____ Date _____



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	<u>N-12681</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: 105 Augustine Cut-off, Wilmington, DE 19803

2. DATE OF INITIAL CONSTRUCTION: c. 1936

3. STYLE/FLOOR PLAN: Colonial Revival

4. ARCHITECT/BUILDER: _____

5. INTEGRITY: a) original site yes b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____

6. CONDITION: good x deteriorated _____
remarks: _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
stories two
bays three
wings two story garage wing
- b) Structural system masonry
- c) Foundation
materials concrete
basement yes
- d) Exterior walls (modern over original)
materials random ashlar
color(s)
- e) Roof
shape; materials gable; asphalt shingles
cornice simple box
dormers front facade, two wall dormers; one inset dormer above garage
chimney location(s) one chimney, constructed of ashlar, on exterior, west facade

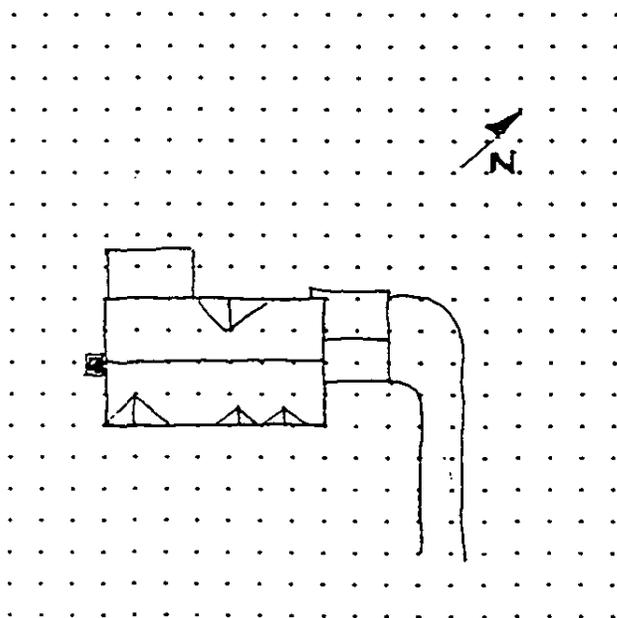
f) Windows
spacing regular
type 6-over-6 and 8-over-8 double hung; circular and oval window on front facade
trim simple moulding
shutters louvered

g) Door
spacing on-center, south facade of main block
type single leaf
trim

h) Porches
location(s) rear elevation, second story enclosed porch, screened-in
materials
supports
trim

i) Interiors details (if accessible)

SKETCH MAP (provide north arrow)



8. Surveyor: Bower / Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

CRS no.	<u>N-12681</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____

2. STREET LOCATION: 105 Augustine Cut-Off

3. OWNER'S NAME: _____ TEL. #: _____

ADDRESS: _____

4. TYPE OF LOCUS: a) building x b) structure _____ c) site _____

d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)

a) fallow field _____ b) cultivated field _____ c) woodland _____

d) scattered buildings _____ e) densely built up x f) other _____

6. FUNCTION: original residential present residential

7. LIST ADDITIONAL SHEETS USED

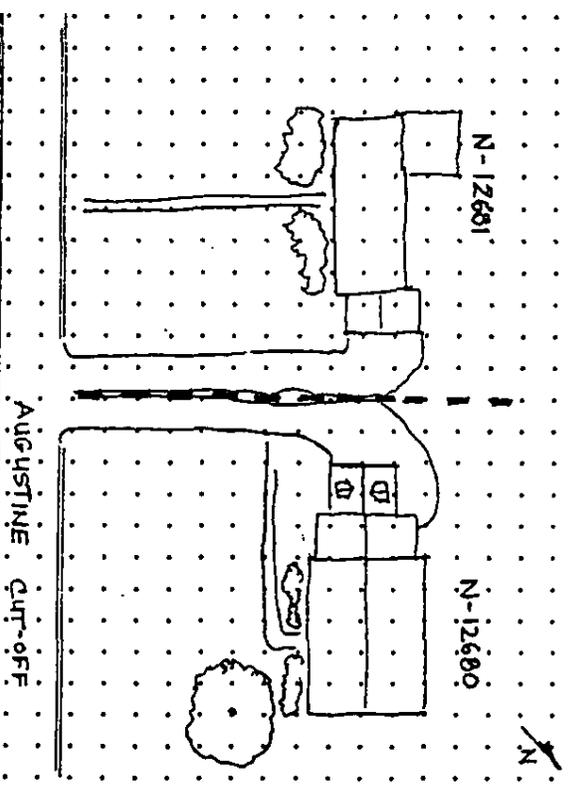
8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

9. CONTEXT

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area
- e) threats

Developed circa 1935, the six homes along Augustine Cut-Off are late Colonial Revival interpretations. When Augustine Cut-Off was introduced in 1932, one of the original landowners of Rock Manor, Harry Mayer, subdivided his land into six lots. The resulting six structures, though all Colonial Revival, range from being stock-item construction designs to being fairly high-style, custom-item interpretations. 105 Augustine Cut-Off is an example of the former and does not have the architectural or historical significance to merit National Register eligibility.

10. Comprehensive Planning:

- a. Time Period(s) 1880-1940
- b. Cultural Concept Landscape

11. Evaluation and Eligibility

List area(s) of significance and criteria

12. Certification

Survey: Name/Title Bower/Abbot Date August 1990
 BHP: Name/Title _____ Date _____



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	<u>N-12682</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: 109 Augustine Cut-off, Wilmington, DE 19803
2. DATE OF INITIAL CONSTRUCTION: 1937
3. STYLE/FLOOR PLAN: Colonial Revival
4. ARCHITECT/BUILDER: Architects- George Pope and Albert Kruse, Wilmington.

5. INTEGRITY: a) original site yes b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____

6. CONDITION: good x deteriorated _____
remarks: _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
 stories two
 bays four
 wings one story enclosed porch, one and a half story garage
- b) Structural system masonry
- c) Foundation
 materials concrete
 basement yes
- d) Exterior walls (modern over original)
 materials random ashlar
 color(s)
- e) Roof
 shape; materials gable; asphalt shingles
 cornice simple box
 dormers three wall dormers on main block; two roof dormers above garage
 chimney location(s) interior, east of entrance bay; exterior, west facade

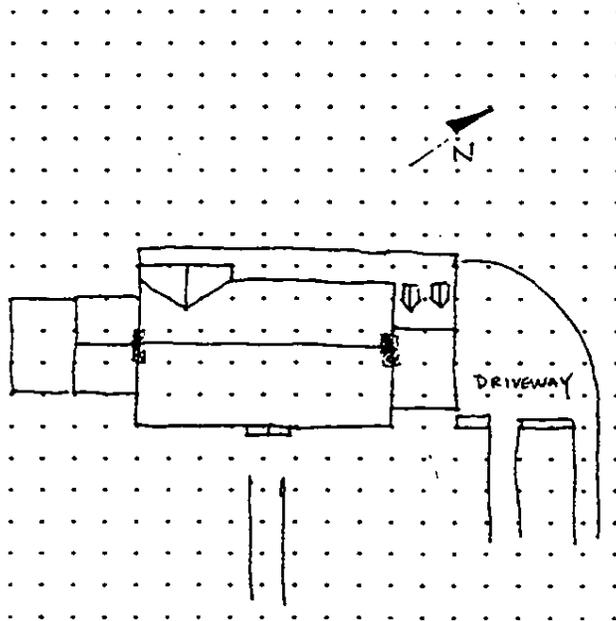
- f) Windows
 - spacing regular
 - type 6-over-6 double hung
 - trim molded
 - shutters louvered shutters on second floor, entrance bay windows

- g) Door
 - spacing on-center, south facade of main block
 - type single leaf, six-panel
 - trim four-lite sidelights; Doric pilasters; arched surround with recessed niche

- h) Porches
 - location(s) side (west) facade
 - materials enclosed porch- clapboard siding with 6-over-6 windows
 - supports stone piers at each corner
 - trim

- i) Interiors details (if accessible)

SKETCH MAP (provide north arrow)



8. Surveyor: Bower / Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	<u>N-12672</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: vacant structure, west side of Concord Pike (Route 202)

2. DATE OF INITIAL CONSTRUCTION: c. 1910

3. STYLE/FLOOR PLAN: Ell-type house

4. ARCHITECT/BUILDER: _____

5. INTEGRITY: a) original site _____ b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____

6. CONDITION: good _____ deteriorated _____
remarks: vacant structure

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
stories two and a half
bays three (as defined by the south facade's second floor)
wings
- b) Structural system frame
- c) Foundation
materials concrete
basement yes
- d) Exterior walls (modern over original)
materials first floor- clapboards, second floor- wood shingles
color(s) first floor- white, second floor- green
- e) Roof
shape; materials intersecting gables; asphalt shingles
cornice overhanging exposed eaves
dormers none
chimney location(s) two interior chimneys, both brick

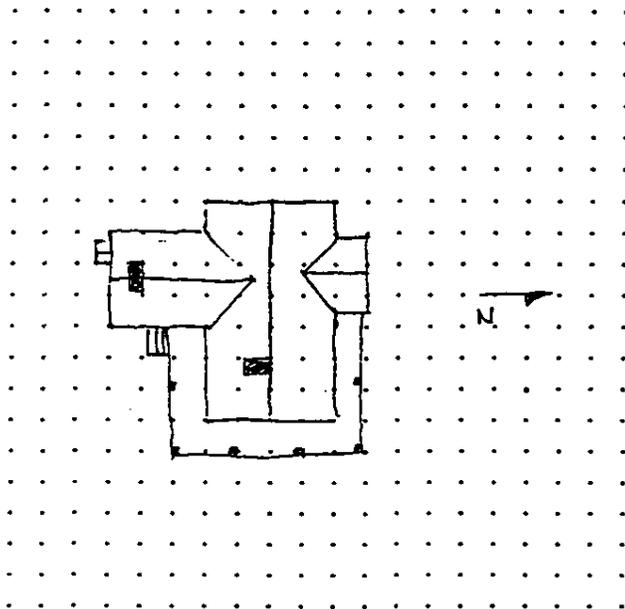
- f) Windows
 - spacing regular
 - type 1-over-1 and 2-over-2, double-hung
 - trim simple wood molding
 - shutters none

- g) Door
 - spacing two south facade doors, one west facade door
 - type south- single leaf, three panel, large pane ; west- single leaf, solid four panel
 - trim south- wood surround, simple entablature ; west- projecting gable w/ side brackets

- h) Porches
 - location(s) south facade central block; wraparound
 - materials wood posts and flooring
 - supports brick piers
 - trim decorative lattice work between piers

- i) Interiors details (if accessible)

SKETCH MAP (provide north arrow)



8. Surveyor: Bower / Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

CRS no.	<u>N-12672</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____

2. STREET LOCATION: vacant structure, west side of Concord Pike (Route 202)

3. OWNER'S NAME: _____ TEL. #: _____

ADDRESS: _____

4. TYPE OF LOCUS: a) building b) structure _____ c) site _____

d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)

a) fallow field _____ b) cultivated field _____ c) woodland _____

d) scattered buildings _____ e) densely built up f) other _____

6. FUNCTION: original residential present vacant; residential

7. LIST ADDITIONAL SHEETS USED

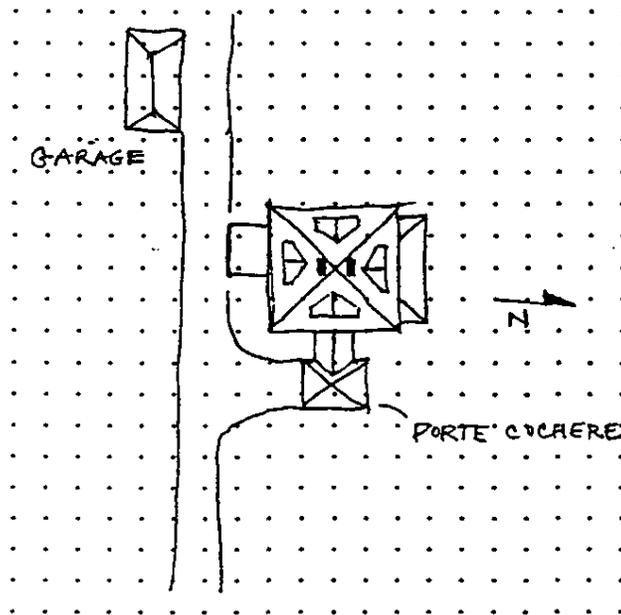
8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

- f) Windows
 spacing regular
 type 1-over-1 double hung wooden windows
 trim limestone lintels and sills
 shutters none
- g) Door
 spacing single leaf
 type 1 panel, single pane, wooden door
 trim simple molded wood surround
- h) Porches
 location(s) South elevation- entrance porch; west elevation- second floor sleeping porch
 materials South elevation- former porte cochere consisting of four pairs of Corinthian columns atop stone piers. West elevation- 12 pane louver windows, clapboards, engaged Doric columns, overhanging eave. Supports on ground consist of 2 Doric columns.
- i) Interiors details (if accessible)
 fireplace w/ rubblestone & wooden neo-classical mantelpiece; foyer of Enfield tile, stenciling, murals

SKETCH MAP (provide north arrow)



8. Surveyor: Bower/ Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no. N-12673
SPO Map 10-11-36
Hundred Brandywine
Quad Wilmington N.
Zone 5
Acreage quarter-acre

1. ADDRESS OF PROPERTY: 1 Rock Manor Avenue, Wilmington, DE 19803

2. DATE OF INITIAL CONSTRUCTION: c. 1913

3. STYLE/FLOOR PLAN: American Foursquare

4. ARCHITECT/BUILDER: _____

5. INTEGRITY: a) original site yes b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____
Original front porch has been enclosed.

6. CONDITION: good _____ x _____ deteriorated _____

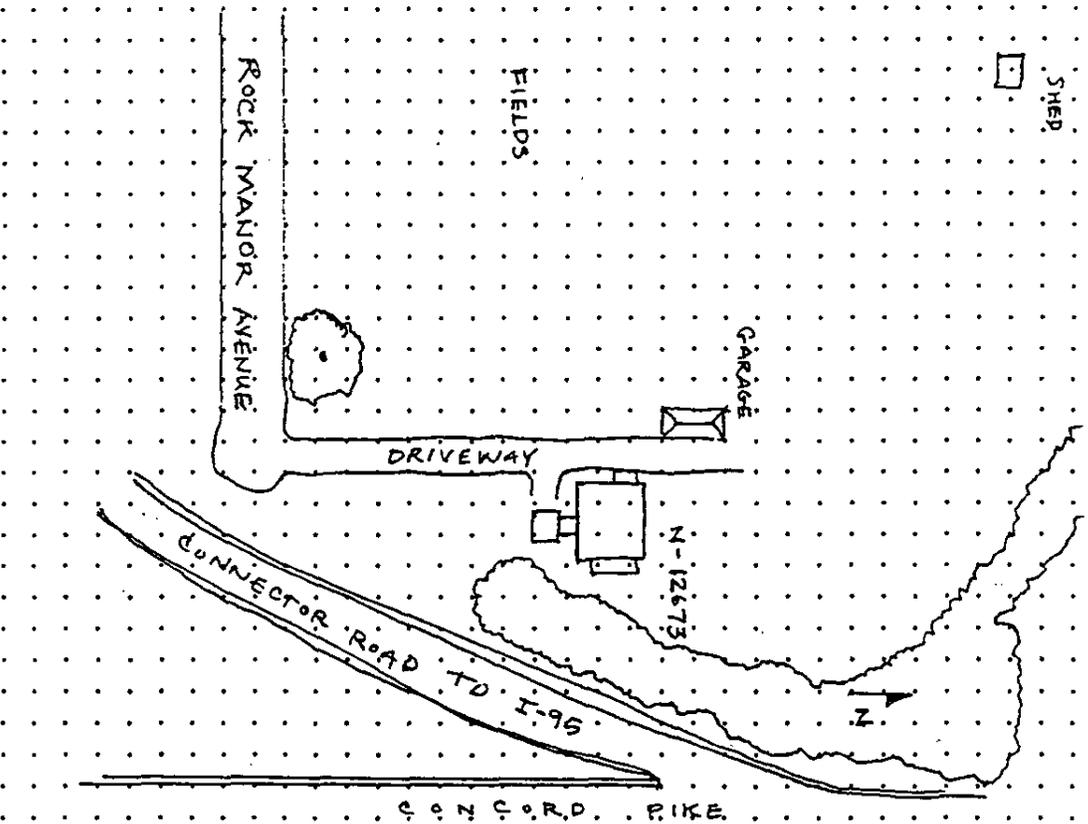
remarks: _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
 - stories two and a half
 - bays three (on south/entrance facade)
 - wings none
- b) Structural system masonry
- c) Foundation
 - materials random ashlar
 - basement yes
- d) Exterior walls (modern over original)
 - materials random schist ashlar with limestone quoins
 - color(s) gray
- e) Roof
 - shape; materials hip; asphalt shingles
 - cornice simple box cornice with overhanging eaves
 - dormers three hip-on-gable roof dormers
 - chimney location(s) two stone chimneys located on roof slope

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

9. CONTEXT

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area
- e) threats

1 Rock Manor Avenue sits on land that was once part of the Elliott holdings. In 1893, Isaac Elliott, Sr. died, and the heirs included his daughter, Eliza Harvey. In 1905, Harvey attempted a 36-lot subdivision of a section of her land. Among those who purchased lots were Anna and Leah Jenny, as well as Anna's husband, Harry Mayer. The Jenny sisters ran a milliner's shop in Wilmington and Mayer worked there. 1 Rock Manor, built c. 1913, was the intended home of the Mayers. However, Anna died shortly before construction was completed, and Mayer instead occupied the residence with his mother-in-law. Leah Jenny built a structure south of the Mayers on Concord Pike. This structure was eventually purchased by Alfred I. Dupont and later demolished in the mid-1960s to make room for the connector road between Interstate 95 and Route 202.

1 Rock Manor Avenue was built circa 1913. As an American Foursquare, it is typical of many built in suburban Wilmington and the county at-large during this era of suburban expansion. Unusual for its use of masonry, the residence has been slightly altered on its east elevation, where the former front porch has been enclosed. The property was re-oriented in the mid-1960s, when the connector road was developed and access to Concord (see continuation sheet)

10. Comprehensive Planning:

- a. Time Period(s) 1880-1940
- b. Cultural Concept Landscape

11. Evaluation and Eligibility

List area(s) of significance and criteria
National Register criterion C

12. Certification

Survey: Name/Title Bower/Abbot Date August 1990
BAHP: Name/Title _____ Date _____



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

CRS no.	<u>N-12673</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____

2. STREET LOCATION: 1 Rock Manor Avenue

3. OWNER'S NAME: Richard & Anna Gebelein TEL. #: (302) 652-2110

ADDRESS: 1 Rock Manor Avenue, Wilmington, DE 19803

4. TYPE OF LOCUS: a) building x b) structure _____ c) site _____
d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field _____ c) woodland _____
d) scattered buildings _____ e) densely built up x f) other _____

6. FUNCTION: original residential present residential

7. LIST ADDITIONAL SHEETS USED

8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

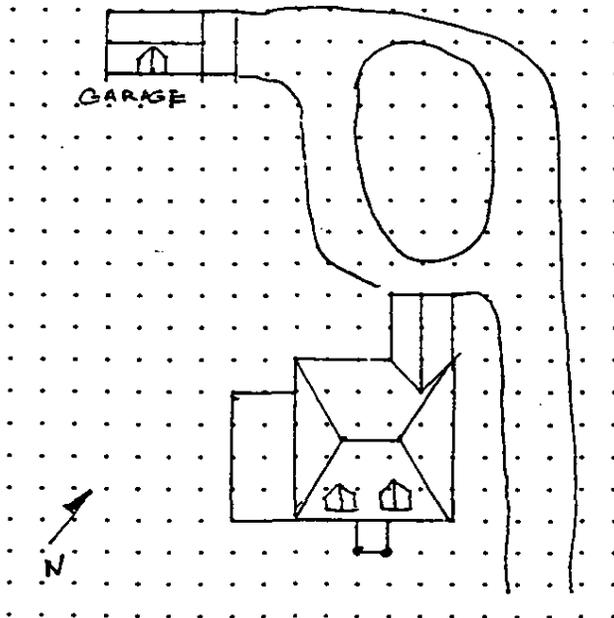
f) Windows
spacing regular
type 1-over-1 double hung windows
trim splayed brick voussoirs
shutters original two-panel shutters on first floor, louver shutters on second floor windows

g) Door
spacing single leaf
type 2 panel wooden door
trim 4 lite sidelights on each side of door

h) Porches
location(s) South elevation- open entrance porch with columns and a hip roof
materials aluminum columns ; terra cotta roof tiles
supports four replacement columns
trim columns support a wooden entablature

i) Interiors details (if accessible)

SKETCH MAP (provide north arrow)



8. Surveyor: Bower/ Abbot Date of Form August 1990

USE BLACK INK ONLY



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

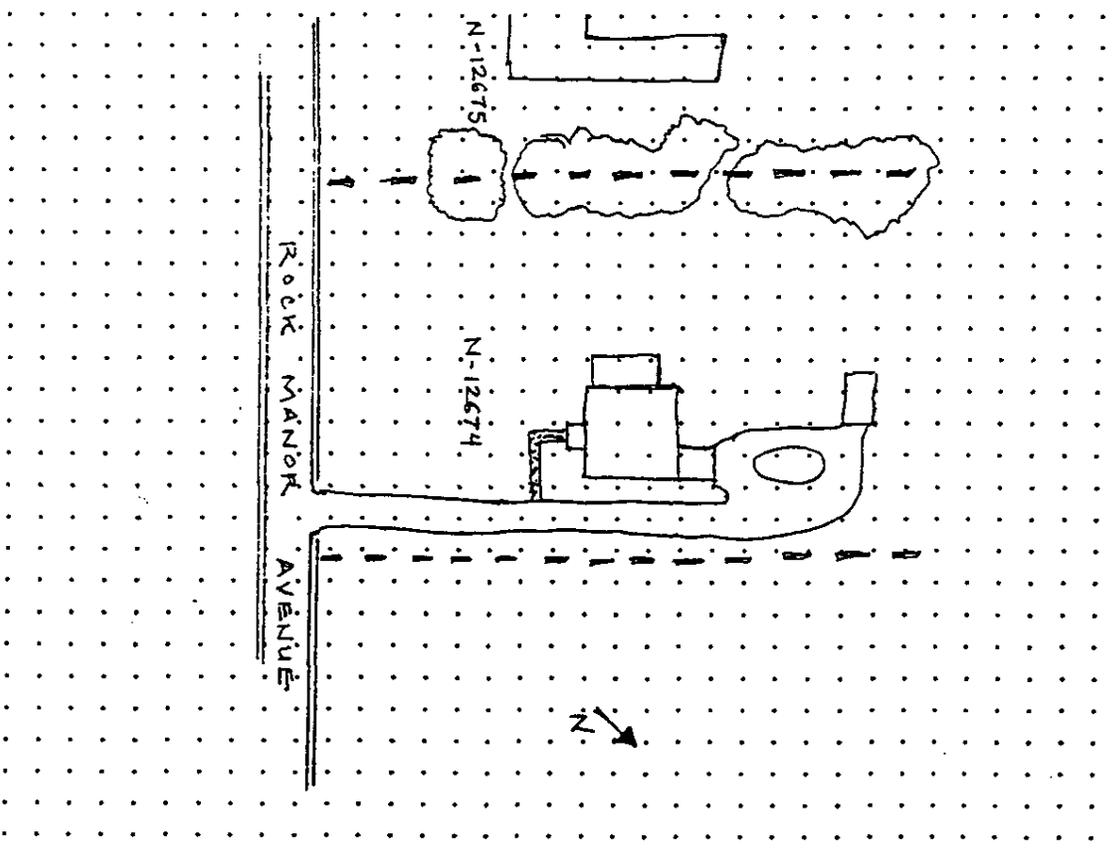
FORM CRS-1

CRS no.	<u>N-12674</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: 9 Rock Manor Avenue, Wilmington, DE 19803
2. DATE OF INITIAL CONSTRUCTION: c. 1912
3. STYLE/FLOOR PLAN: American Foursquare
4. ARCHITECT/BUILDER: _____
5. INTEGRITY: a) original site yes b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____
aluminum replacement sash and porch columns; side porch enclosed in brick
6. CONDITION: good x deteriorated _____
remarks: modern aluminum siding addition placed on garage
7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:
 - a) Overall shape
stories two and a half
bays three (on south/entrance facade)
wings one story wing to the west of the main block
 - b) Structural system masonry
 - c) Foundation
materials random ashlar
basement yes
 - d) Exterior walls (modern over original)
materials brick; common bond
color(s)
 - e) Roof
shape; materials hip-on-gable; terra cotta tiles
cornice overhanging eave with brackets
dormers hip dormers with paired 8-pane windows
chimney location(s) two brick chimneys with corbelled cornices, 1 on end, 1 on roof

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

9. CONTEXT

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area
- e) threats

This two-and-a-half story brick American Foursquare, built circa 1910, retains much of its original setting, including a period garage. Past residents included a dentist and hardware store owner. The structure has been slightly altered- its side porch was enclosed, and its porch columns and sash are replacement. Built as part of Eliza Harvey's subdivision, the structure retains modest architectural integrity. As a common house type with no historical associations, 9 Rock Manor Avenue does not appear eligible for the National Register.

10. Comprehensive Planning:

- a. Time Period(s) 1880-1940
- b. Cultural Concept Landscape

11. Evaluation and Eligibility

List area(s) of significance and criteria

12. Certification

Survey: Name/Title Bower/Abbot Date August 1990
 BHP: Name/Title _____ Date _____



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

CRS no.	<u>N-12674</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____

2. STREET LOCATION: 9 Rock Manor Ave.

3. OWNER'S NAME: _____ TEL. #: _____

ADDRESS: _____

4. TYPE OF LOCUS: a) building x b) structure _____ c) site _____

d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)

a) fallow field _____ b) cultivated field _____ c) woodland _____

d) scattered buildings _____ e) densely built up x f) other _____

6. FUNCTION: original residential present residential

7. LIST ADDITIONAL SHEETS USED

8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA, 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

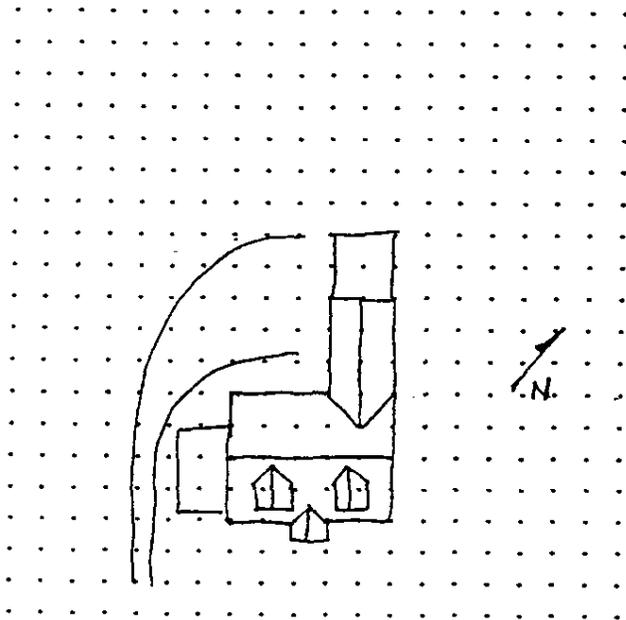
f) Windows
spacing regular
type 6-over-1 double hung windows; basement- 3 lite metal sash with tempered glass
trim cast stone sills
shutters none

g) Door
spacing single leaf
type 8 panel wooden door
trim

h) Porches
location(s) South / entrance facade
materials Projecting doorway bay with stone walls; with hip-on-gable roof
supports
trim

i) Interiors details (if accessible)

SKETCH MAP (provide north arrow)



8. Surveyor: Bower/ Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	<u>N-12675</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: 11 Rock Manor Avenue, Wilmington, DE 19803

2. DATE OF INITIAL CONSTRUCTION: c. 1912

3. STYLE/FLOOR PLAN: Cottage

4. ARCHITECT/BUILDER: _____

5. INTEGRITY: a) original site yes b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____
Two recent roof dormer additions, rear garage addition, and west facade window elev.

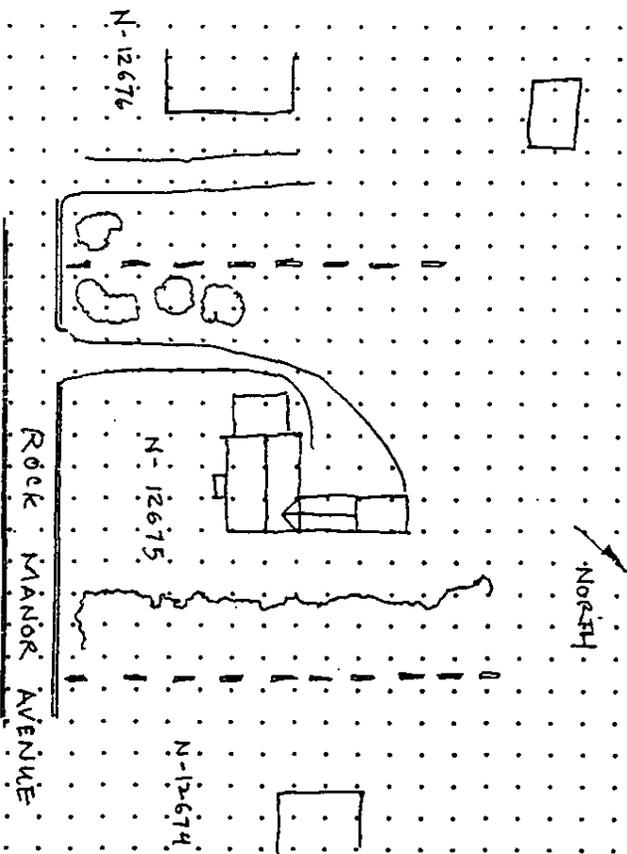
6. CONDITION: good x deteriorated _____
remarks: _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
stories one and a half
bays three (on south/entrance facade)
wings rear garge wing
- b) Structural system masonry
- c) Foundation
materials random ashlar
basement yes
- d) Exterior walls (modern over original)
materials random ashlar
color(s) light brown and yellow
- e) Roof
shape; materials gable; asphalt shingles
cornice simple box cornice
dormers two recent dormer additions with aluminum siding and fanlights
chimney location(s) two chimneys stuccoed-over, 1 on west end, 1 on roof

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

9. CONTEXT

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area
- e) threats

11 Rock Manor Avenue was built circa 1910 and is an example of a cottage-style suburban residence. Developed on the original Harvey subdivision, the residence was initially inhabited by Mr. Harry Mellon, a banker. The structure has had some major alterations performed on it, including a rear garage addition and two large dormers on the front facade. The stonework is distinguished by some sculptural "hearts", executed on the front facade and incorporated into the masonry. As a common residential design, with no historical association, this structure is not eligible for the National Register.

10. Comprehensive Planning:

- a. Time Period(s) 1880-1940
- b. Cultural Concept Landscape

11. Evaluation and Eligibility

List area(s) of significance and criteria

12. Certification

Survey: Name/Title Bower/Abbot Date August 1990
 BAHF: Name/Title _____ Date _____



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

CRS no.	<u>N-12675</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____

2. STREET LOCATION: 11 Rock Manor Ave.

3. OWNER'S NAME: John & Faith Disipio TEL. #: _____

ADDRESS: 11 Rock Manor Avenue, Wilmington, DE 19803

4. TYPE OF LOCUS: a) building b) structure _____ c) site _____
d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field _____ c) woodland _____
d) scattered buildings _____ e) densely built up f) other _____

6. FUNCTION: original residential present residential

7. LIST ADDITIONAL SHEETS USED

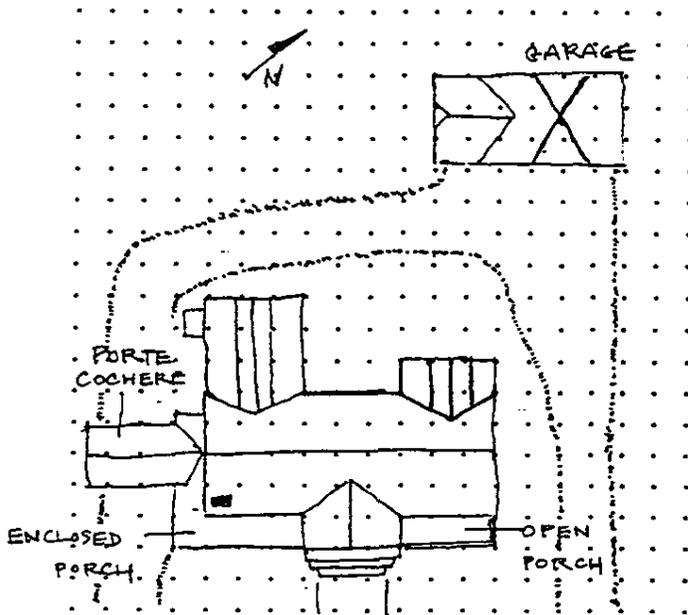
8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

- f) Windows
 spacing
 type 12-over-1 double hung
 trim wooden lintel
 shutters none
- g) Door
 spacing single leaf
 type twelve lite window with grooved panel below
 trim
- h) Porches
 location(s) enclosed porch, west of main entrance
 materials brick wall topped by 12 pane windows
 supports brick piers separate window units
 trim
- i) Interiors details (if accessible)
 original wainscoting and panels, battered posts, built-in cabinets, inglenook, and light fixtures

SKETCH MAP (provide north arrow)



8. Surveyor: Bower / Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	<u>N-12676</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: 13 Rock Manor Avenue, Wilmington, DE 19803
2. DATE OF INITIAL CONSTRUCTION: c. 1912
3. STYLE/FLOOR PLAN: Craftsman
4. ARCHITECT/BUILDER: Addition- Leon Wilde Crawford. Garage- Haugaard & Mills

5. INTEGRITY: a) original site yes b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____
In 1917- two story gambrel addition applied to the rear (north) elevation

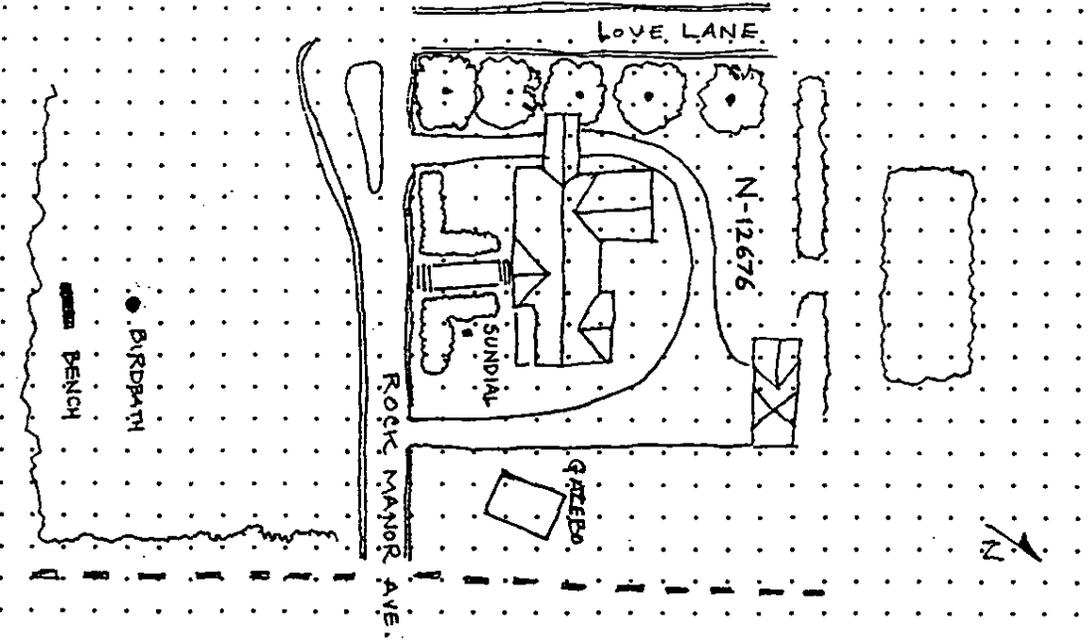
6. CONDITION: good x deteriorated _____
remarks: _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
stories one and a half
bays asymmetrical
wings rear, two story wing
- b) Structural system masonry
- c) Foundation materials brick
basement
- d) Exterior walls (modern over original)
materials stucco over brick
color(s) white with green trim
- e) Roof
shape; materials low-pitched, intersecting gables; asphalt shingles
cornice exposed rafters in eave overhang
dormers shed dormers on east and west elevations of rear wing
chimney location(s) interior (on roof slope), built with brick

8. SKETCH MAP

Please indicate position of locus in relation to geographical landmarks such as streams and roads.



INDICATE NORTH ON SKETCH

9. CONTEXT

Consider the following:

- a) relationship to setting
- b) associated traditions or stories
- c) noteworthy features
- d) comparison with others in area
- e) threats

13 Rock Manor Avenue, built circa 1910, is an excellent example of Craftsman-style architecture. Exterior features include a low-pitched roof with intersecting gables, overhanging eave with exposed rafters, and exposed interlocking wood beam construction. The exterior is complemented by a largely intact Craftsman interior and the residence's setting has been largely unaltered. Initial owners were vegetable merchants. Circa 1916, a lawyer, Townsend Miller, purchased the property. During Miller's proprietorship, in 1917, a two story Dutch gambrel addition was added to the rear, designed by architect Leon Wilde Crawford. In 1921, a Craftsman-style garage was built, designed by the architecture firm of Haugaard & Mills, of Wilmington and New York City.

The interior is a reflection of Craftsman ideals: spaces flow one into another, and the use of wood is very prevalent. The Craftsman style stressed dark natural hues, the hearth as a primary focus, and nooks and corners as part of the design. At 13 Rock Manor Avenue are found exposed ceiling beams, battered wood columns, post and panel construction, built-in fittings, and an inglenook.

The setting retains many of its original elements including: a period gazebo (continued)

10. Comprehensive Planning:

- a. Time Period(s) 1880-1940
- b. Cultural Concept Landscape

11. Evaluation and Eligibility

List area(s) of significance and criteria
National Register criterion C

12. Certification

Survey: Name/Title Bower/Abbot Date August 1990
BAHP: Name/Title _____ Date _____



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM
FORM CRS-3

CRS no. N-12676
SPO Map 10-11-36
Hundred Brandywine
Quad Wilmington N.
Zone 5
Acreage quarter-acre

1. NAME OF PROPERTY: _____

2. STREET LOCATION: 13 Rock Manor Avenue

3. OWNER'S NAME: Remo Santacecilia TEL. #: _____

ADDRESS: 13 Rock Manor Avenue, Wilmington, DE 19803

4. TYPE OF LOCUS: a) building x b) structure _____ c) site _____
d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field _____ c) woodland _____
d) scattered buildings _____ e) densely built up x f) other _____

6. FUNCTION: original residential present residential

7. LIST ADDITIONAL SHEETS USED

8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	<u>N-12678</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. ADDRESS OF PROPERTY: 104 Augustine Cut-off, Wilmington, DE 19803
2. DATE OF INITIAL CONSTRUCTION: c. 1937
3. STYLE/FLOOR PLAN: Colonial Revival
4. ARCHITECT/BUILDER: _____
5. INTEGRITY: a) original site yes b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____
6. CONDITION: good x deteriorated _____
remarks: _____
7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:
 - a) Overall shape
stories two
bays four
wings one and a half story, two bay, wing east of main block
 - b) Structural system masonry
 - c) Foundation
materials concrete
basement yes
 - d) Exterior walls (modern over original)
materials random ashlar
color(s)
 - e) Roof
shape; materials gable with central cross gable ; wood shingles
cornice simple box
dormers two wall dormers on front facade; two roof dormers on side wing
chimney location(s) exterior, stone, west elevation



CULTURAL RESOURCE SURVEY
CONSTRUCTION DATA FORM

FORM CRS-1

CRS no.	N-12677
SPO Map	10-11-36
Hundred	Brandywine
Quad	Wilmington N.
Zone	5
Acreage	quarter-acre

1. ADDRESS OF PROPERTY: 100 Augustine Cut-off, Wilmington, DE 19803

2. DATE OF INITIAL CONSTRUCTION: c. 1935

3. STYLE/FLOOR PLAN: Colonial Revival

4. ARCHITECT/BUILDER: builder- Bob Engler

5. INTEGRITY: a) original site yes b) moved _____
c) if moved, when and from where _____
d) list major alterations and dates (if known) _____
1 story rear addition; existing garage enclosed; detached garage built; aluminum siding

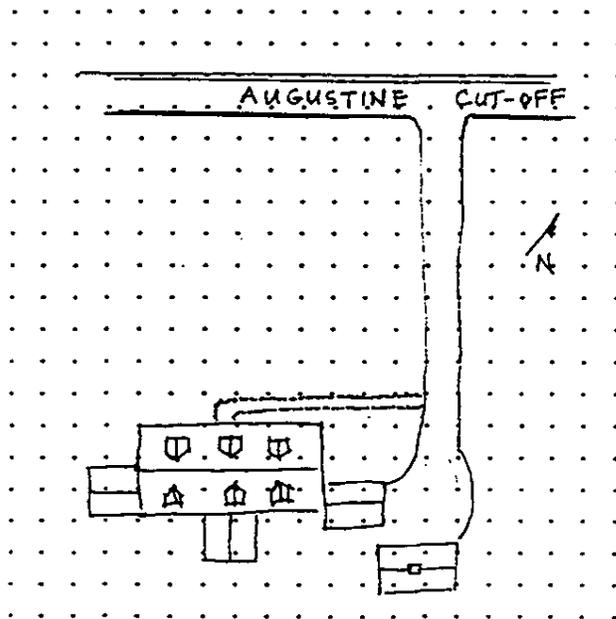
6. CONDITION: good x deteriorated _____
remarks: _____

7. DESCRIBE THE RESOURCE AS COMPLETELY AS POSSIBLE:

- a) Overall shape
stories two and a half
bays five
wings rear and side wings off of the main block
- b) Structural system masonry
- c) Foundation
materials concrete
basement yes
- d) Exterior walls (modern over original)
materials random ashlar; aluminum siding on gable ends
color(s) off-yellow
- e) Roof
shape; materials gable; wood shingles
cornice simple box
dormers Three pedimented roof dormers on both front and rear elevations
chimney location(s) Two exterior stone chimneys, located on west facade and rear addition

- f) Windows
 spacing regular
 type 6-over-6 double hung
 trim simple wooden trim
 shutters First floor- two-panel shutters; Second floor- louvered shutters
- g) Door
 spacing on-center, front (north) facade
 type six-panel door with fanlight
 trim 2 engaged Doric columns, architrave and frieze, supporting a projecting pediment
- h) Porches
 location(s)
 materials
 supports
 trim
- i) Interiors details (if accessible)

SKETCH MAP (provide north arrow)



8. Surveyor: Bower / Abbot Date of Form August 1990



CULTURAL RESOURCE SURVEY
PROPERTY IDENTIFICATION FORM

FORM CRS-3

CRS no.	<u>N-12677</u>
SPO Map	<u>10-11-36</u>
Hundred	<u>Brandywine</u>
Quad	<u>Wilmington N.</u>
Zone	<u>5</u>
Acreage	<u>quarter-acre</u>

1. NAME OF PROPERTY: _____

2. STREET LOCATION: 100 Augustine Cut-Off

3. OWNER'S NAME: Thomas and Joan Fiss TEL. #: _____

ADDRESS: 100 Augustine Cut-Off, Wilmington, DE 19803

4. TYPE OF LOCUS: a) building x b) structure _____ c) site _____
d) object _____ e) district _____ f) other _____

5. SURROUNDINGS OF LOCUS: (check more than one if necessary)
a) fallow field _____ b) cultivated field _____ c) woodland _____
d) scattered buildings _____ e) densely built up x f) other _____

6. FUNCTION: original residential present residential

7. LIST ADDITIONAL SHEETS USED

8. YOUR NAME: Mark A. Bower / Martin B. Abbot # _____

YOUR ADDRESS: 219 N. Broad Street, Philadelphia, PA 19107 # (215) 561-1050

ORGANIZATION (if any) Kise Franks & Straw DATE August, 1990

43247

84.11.20.01
Route 141
Rock Manor--N-12672

Vol 2

FHWA KFS
NR ELIGIBILITY STUDY
ROCKLAND MANOR PHOTOS

DELAWARE STATE HISTORIC PRESERVATION OFFICE



84.11.20.01
Route 141
Rock Manor--N-12672



100-100000-100000
100-100000-100000

100-100000-100000
100-100000-100000

Rock Manor **Photo 2**
Augustine Cut-off
View: Looking toward Concord Pike (Rt.
202) from Love Lane
July 1990

Prepared By:
KISE FRANKS & STRAW
Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor **Photo 4**
Rock Manor Avenue
View: Looking northeast toward dead-end
July 1990

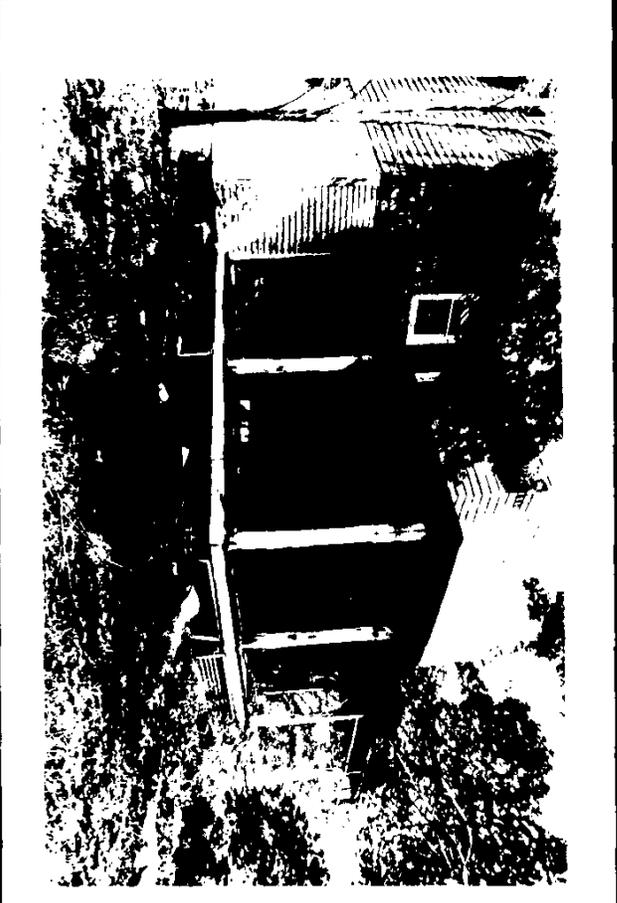
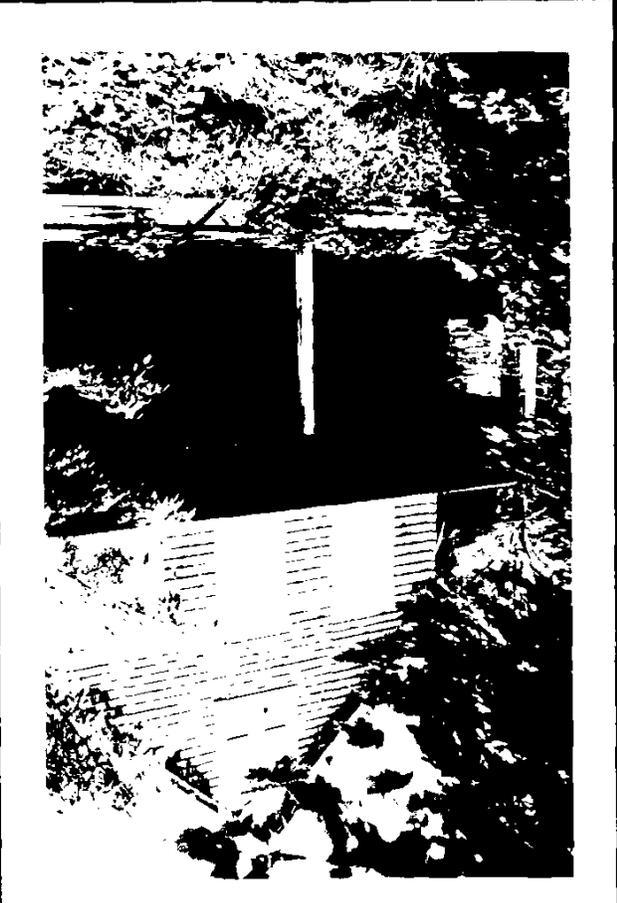
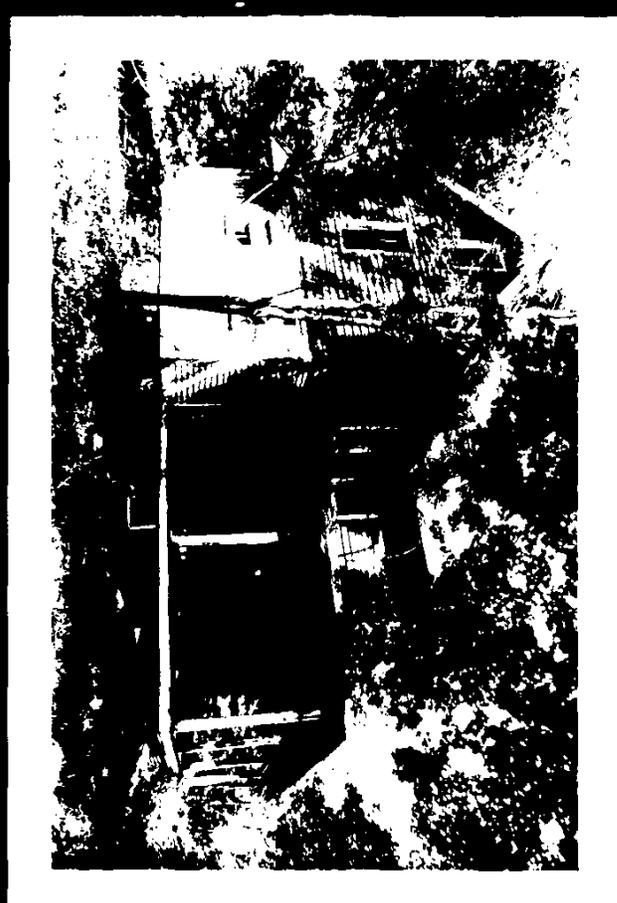
Prepared By:
KISE FRANKS & STRAW
Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor **Photo 1**
Entrance Gates
View: Looking southeast from Augustine
Cut-off
July 1990

Prepared By:
KISE FRANKS & STRAW
Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor **Photo 3**
Love Lane
View: Looking toward Augustine Cut-off
from Rock Manor Avenue
July 1990

Prepared By:
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Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107



100-100000-000000

100-100000-000000

Rock Manor Photo 6

Vacant Structure, West Side of
Concord Pike

N-12672

View: Main entrance, looking northeast
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor Photo 5

Vacant Structure, West Side of
Concord Pike

N-12672

View: Looking northeast
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor Photo 7

Vacant Structure, West Side of
Concord Pike

N-12672

View: Main entrance, porch
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Photo 8

Rock Manor
Vacant Structure, West Side of
Concord Pike

N-12672

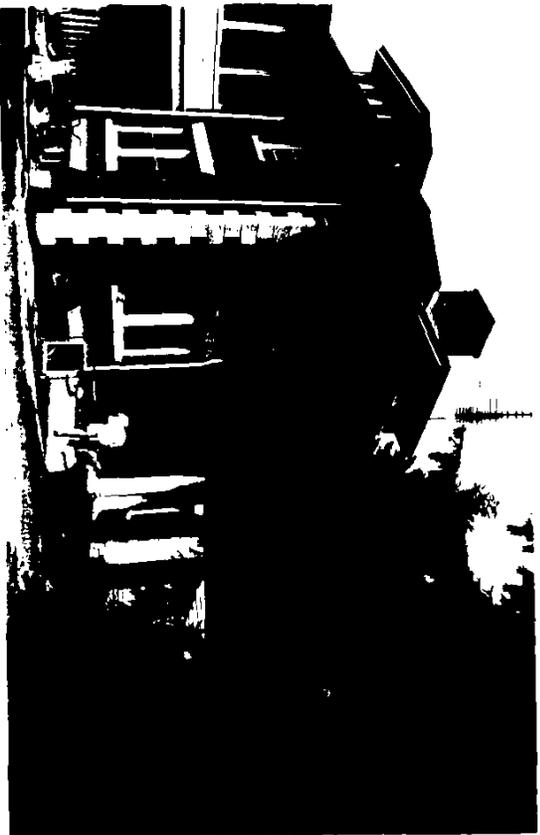
View: South facade
July 1990

Prepared By:

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Historic Preservation Group

219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107



Rock Manor
Vacant Structure, West Side of
Concord Pike
N-12672
View: West facade
July 1990

Prepared By:
KISE FRANKS & STRAW
Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Looking northeast at south facade
July 1990

Prepared By:
KISE FRANKS & STRAW
Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor
Vacant Structure, West Side of
Concord Pike
N-12672
View: North facade
July 1990

Prepared By:
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Historic Preservation Group
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Philadelphia, Pennsylvania 19107

Rock Manor
Vacant Structure, West Side of
Concord Pike
N-12672
View: East facade
July 1990

Prepared By:
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Historic Preservation Group
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Philadelphia, Pennsylvania 19107

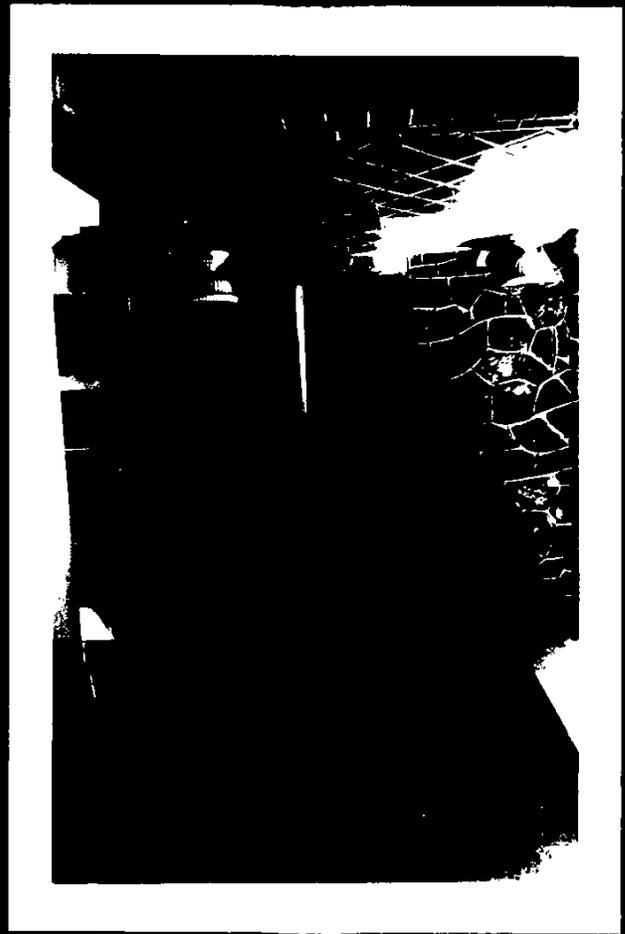
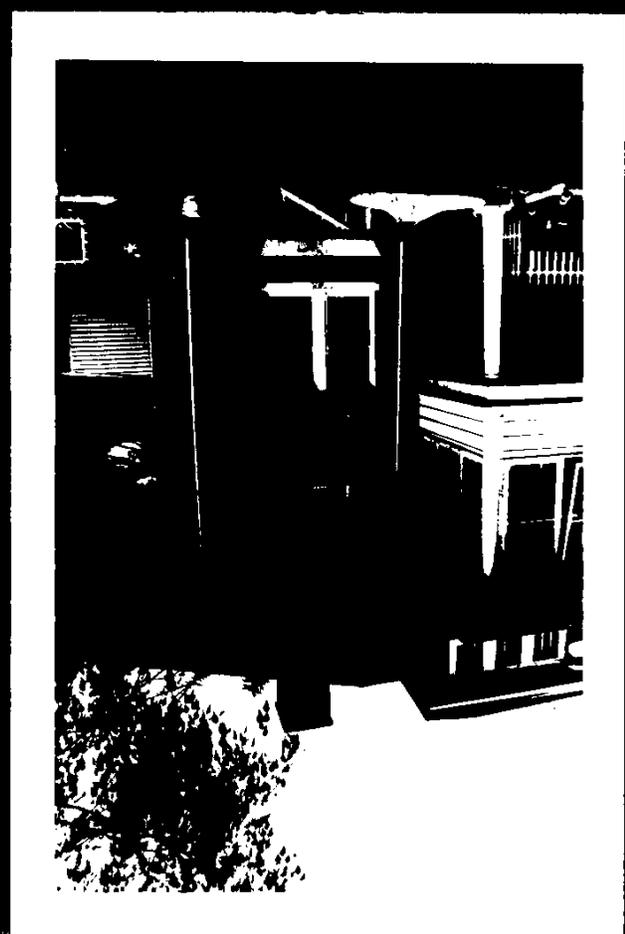


Photo 14

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Porch/entrance, south facade
July 1990

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Philadelphia, Pennsylvania 19107

Photo 13

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Port-cochere, south facade
July 1990

Prepared By:
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Philadelphia, Pennsylvania 19107

Photo 16

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: West facade
July 1990

Prepared By:
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Historic Preservation Group

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Philadelphia, Pennsylvania 19107

Photo 15

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: West facade
July 1990

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Philadelphia, Pennsylvania 19107

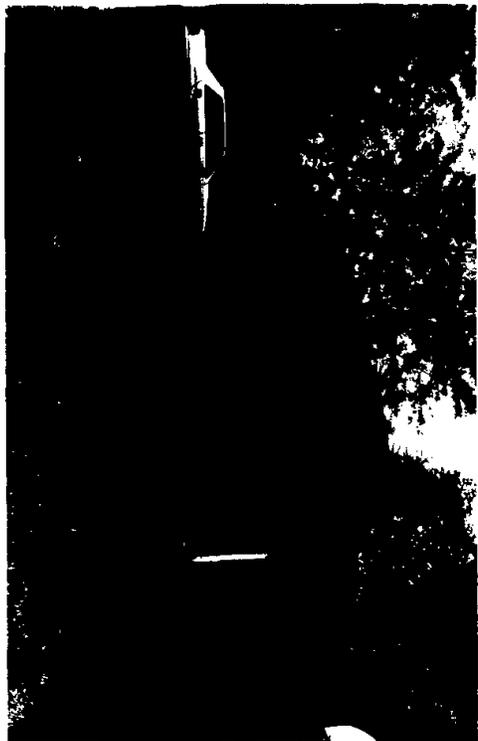


Photo 18

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: North facade
July 1990

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Philadelphia, Pennsylvania 19107

Photo 17

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: West facade
July 1990

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Philadelphia, Pennsylvania 19107

Photo 20

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Garage, looking northwest
July 1990

Prepared By:
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Historic Preservation Group
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Philadelphia, Pennsylvania 19107

Photo 19

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Enclosed porch, east facade
July 1990

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Philadelphia, Pennsylvania 19107



Photo 22

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Interior, foyer mural
July 1990

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Philadelphia, Pennsylvania 19107

Photo 21

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Quoins on southeast corner of
garage
July 1990

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Philadelphia, Pennsylvania 19107

Photo 24

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Interior, foyer ceiling
July 1990

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Historic Preservation Group

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Philadelphia, Pennsylvania 19107

Photo 23

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Interior, foyer mural
July 1990

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Philadelphia, Pennsylvania 19107



Photo 26

Rock Manor
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Entrance gates
July 1990

Prepared By:
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Historic Preservation Group

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Philadelphia, Pennsylvania 19107

Photo 25

Rock Manor
1 Rock Manor Avenue
Wilmington, DE 19803
N-12673
View: Interior, second floor landing
July 1990

Prepared By:
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Philadelphia, Pennsylvania 19107

Photo 28

Rock Manor
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Looking east at rear facade
July 1990

Prepared By:
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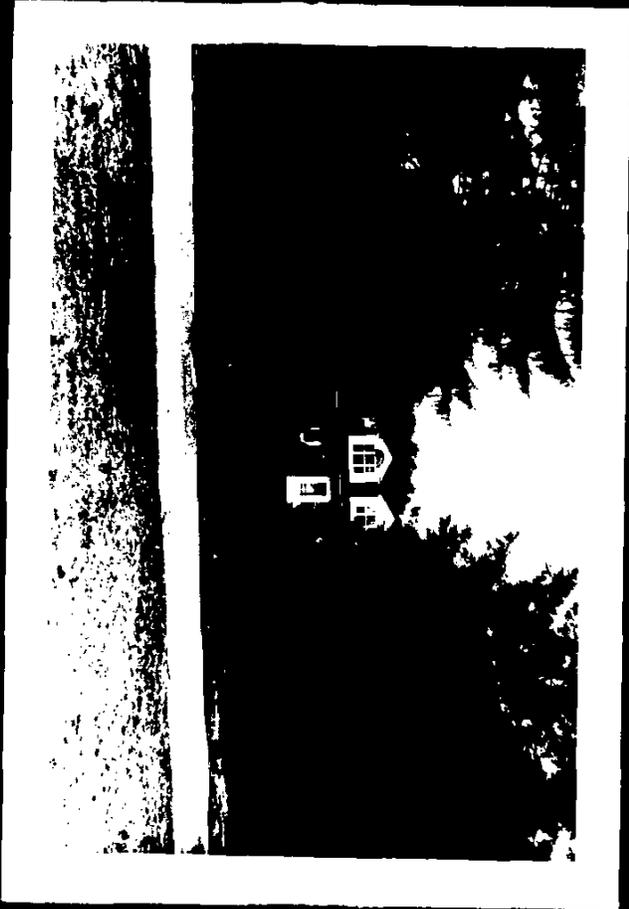
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Philadelphia, Pennsylvania 19107

Photo 27

Rock Manor
9 Rock Manor Avenue
Wilmington, DE 19803
N-12674
View: Looking northwest at entrance
(south) facade
July 1990

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Philadelphia, Pennsylvania 19107



Rock Manor

Photo 30

9 Rock Manor Avenue
Wilmington, DE 19803

N-12674

View: Looking northwest at garage
July 1990

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Rock Manor

Photo 32

11 Rock Manor Avenue
Wilmington, DE 19803

N-12675

View: Looking northwest from Rock Manor
Avenue
July 1990

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Rock Manor

Photo 29

9 Rock Manor Avenue
Wilmington, DE 19803

N-12674

View: Looking south at rear facade
July 1990

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Rock Manor

Photo 31

9 Rock Manor Avenue
Wilmington, DE 19803

N-12674

View: Garage
July 1990

Prepared By:

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Rock Manor
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking north
July 1990

Photo 34

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Philadelphia, Pennsylvania 19107

Rock Manor
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking south at side facade
July 1990

Photo 36

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Historic Preservation Group

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Philadelphia, Pennsylvania 19107

Rock Manor
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking northwest at entrance
facade
July 1990

Photo 33

Prepared By:
KISE FRANKS & STRAW
Historic Preservation Group

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Philadelphia, Pennsylvania 19107

Rock Manor
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking south at side facade
July 1990

Photo 35

Prepared By:
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Historic Preservation Group

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Philadelphia, Pennsylvania 19107



Rock Manor
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking south at rear facade
July 1990

Photo 38

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Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northwest at entrance
July 1990

Photo 40

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Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor
11 Rock Manor Avenue
Wilmington, DE 19803
N-12675
View: Looking south at rear facade
July 1990

Photo 37

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219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northwest at front facade,
from Rock Manor Avenue
July 1990

Photo 39

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Historic Preservation Group
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Philadelphia, Pennsylvania 19107

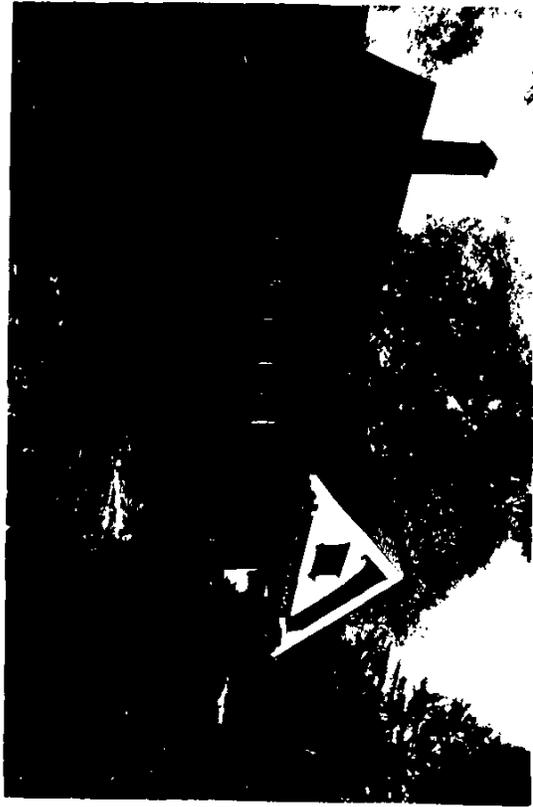


Photo 42

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northwest
July 1990

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Historic Preservation Group

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Philadelphia, Pennsylvania 19107

Photo 41

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking north at entrance
July 1990

Prepared By:

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Philadelphia, Pennsylvania 19107

Photo 44

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking south at rear facade
July 1990

Prepared By:

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Philadelphia, Pennsylvania 19107

Photo 43

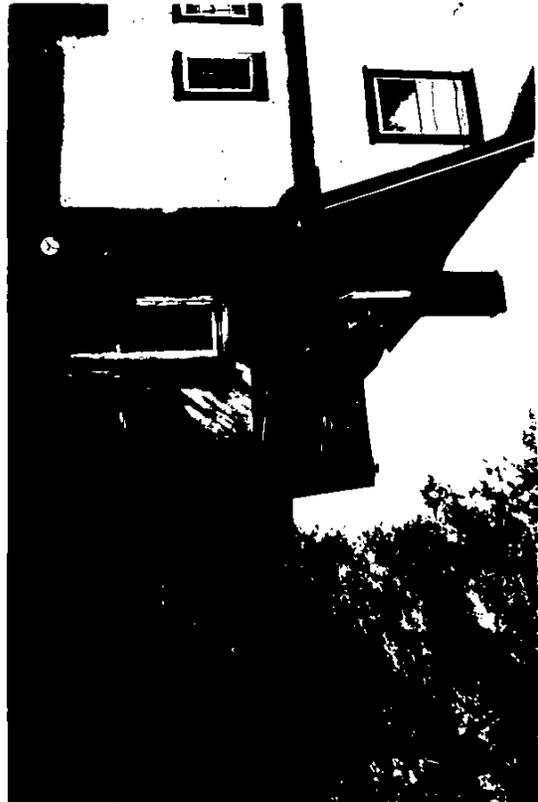
Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking east at porte-cochere
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

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Philadelphia, Pennsylvania 19107



Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking southeast at side facade
July 1990

Photo 46

Prepared By:
KISE FRANKS & STRAW
Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northeast at garage
July 1990

Photo 48

Prepared By:
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Historic Preservation Group
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Philadelphia, Pennsylvania 19107

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking southeast at rear facade
July 1990

Photo 45

Prepared By:
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Historic Preservation Group
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Philadelphia, Pennsylvania 19107

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking northwest at garage
July 1990

Photo 47

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Historic Preservation Group
219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107



Photo 50

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Gazebo
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

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Philadelphia, Pennsylvania 19107

Photo 52

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Front steps, looking southeast
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Photo 49

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Looking southwest at side facade of
garage
July 1990

Prepared By:

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Philadelphia, Pennsylvania 19107

Photo 51

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Gazebo furniture
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

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Philadelphia, Pennsylvania 19107

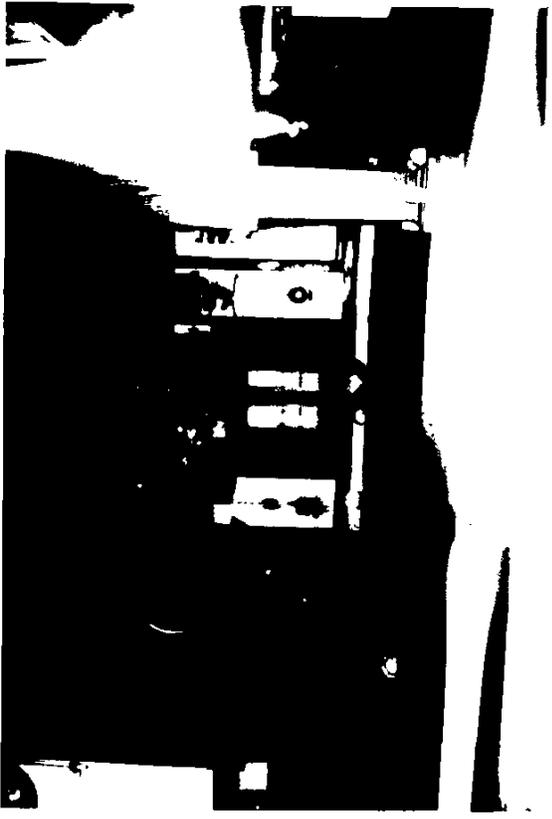


Photo 54

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Sundial
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

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Philadelphia, Pennsylvania 19107

Photo 53

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Garden bench
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107

Photo 56

Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Interior, looking from living room
to dining room
July 1990

Prepared By:

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Philadelphia, Pennsylvania 19107

Photo 55

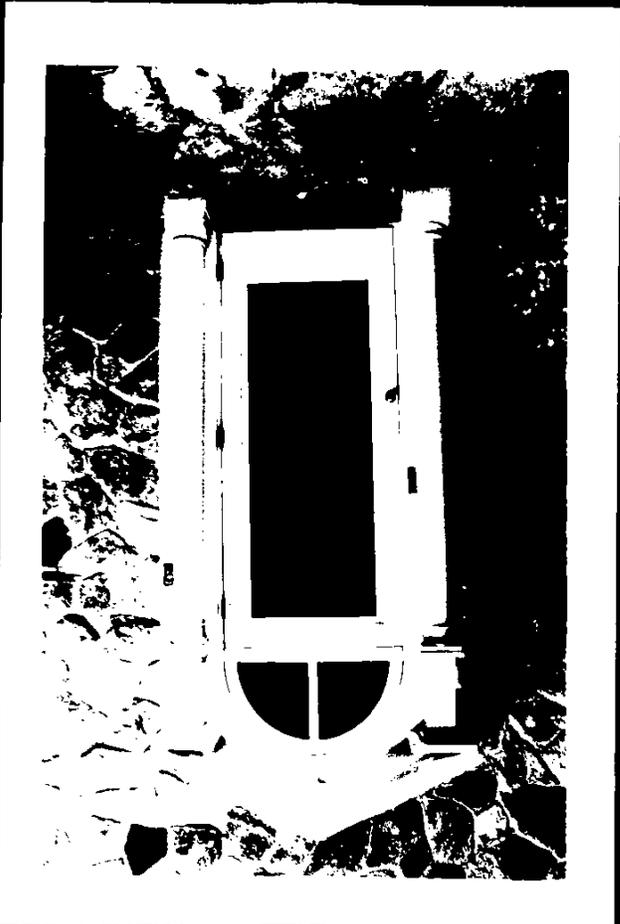
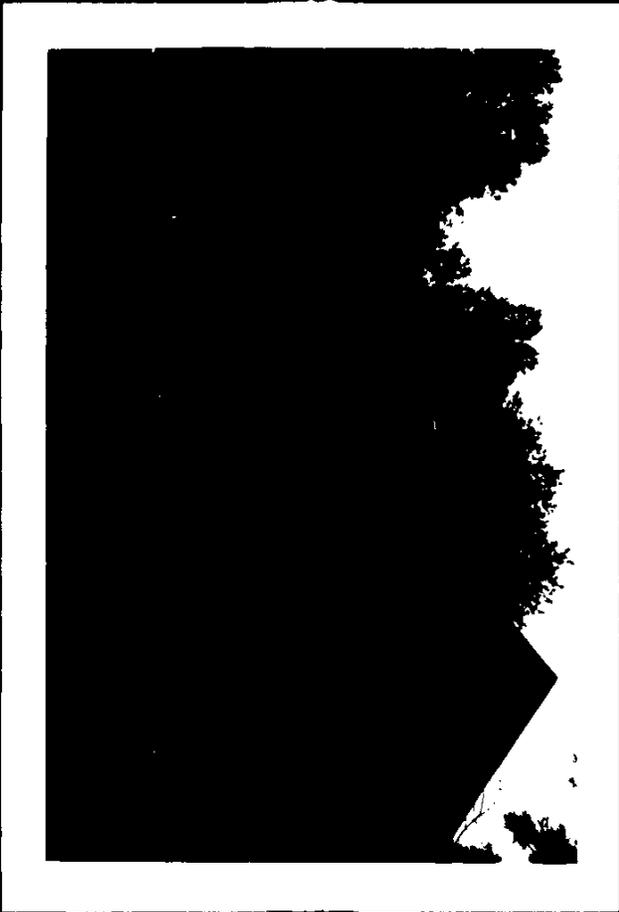
Rock Manor
13 Rock Manor Avenue
Wilmington, DE 19803
N-12676
View: Interior, looking from dining room
to living room
July 1990

Prepared By:

KISE FRANKS & STRAW

Historic Preservation Group

219 North Broad Street, 9th Floor
Philadelphia, Pennsylvania 19107



Rock Manor
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Front doorway
July 1990

Photo 58

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Rock Manor
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking northwest at rear facade
July 1990

Photo 60

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Rock Manor
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking south at front facade
July 1990

Photo 57

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Rock Manor
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking southwest at side facade
July 1990

Photo 59

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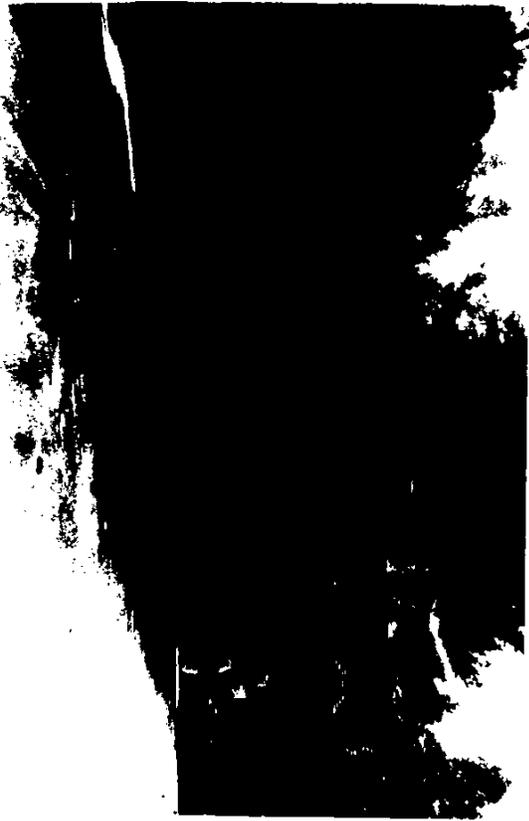


Photo 62

Rock Manor
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking northeast at side facade
July 1990

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Photo 61

Rock Manor
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Looking north at rear facade
July 1990

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Photo 64

Rock Manor
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Side facade of garage
July 1990

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Photo 63

Rock Manor
100 Augustine Cut-off
Wilmington, DE 19803
N-12677
View: Garage
July 1990

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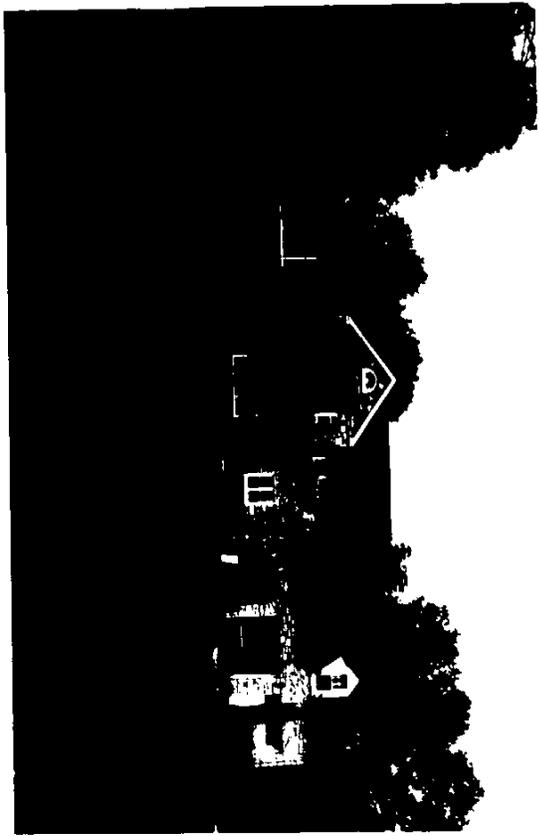


Photo 66

Rock Manor
104 Augustine Cut-off
Wilmington, DE 19803
N-12678
View: Looking southwest at side facade
July 1990

Prepared By:

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Photo 65

Rock Manor
104 Augustine Cut-off
Wilmington, DE 19803
N-12678
View: Looking southeast at front facade
July 1990

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Photo 68

Rock Manor
104 Augustine Cut-off
Wilmington, DE 19803
N-12678
View: Side facade
July 1990

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Photo 67

Rock Manor
104 Augustine Cut-off
Wilmington, DE 19803
N-12678
View: Rear facade
July 1990

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Rock Manor
108 Augustine Cut-off
Wilmington, DE 19803
N-12679
View: Rear facade
July 1990

Photo 70

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Rock Manor
103 Augustine Cut-off
Wilmington, DE 19803
N-12680
View: Looking north at front facade
July 1990

Photo 72

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Rock Manor
108 Augustine Cut-off
Wilmington, DE 19803
N-12679
View: Looking southeast at front facade
July 1990

Photo 69

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Rock Manor
108 Augustine Cut-off
Wilmington, DE 19803
N-12679
View: Side Facade
July 1990

Photo 71

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Photo 74

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Rear facade
July 1990

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Photo 73

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Looking north at front facade
July 1990

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Photo 76

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Rear facade
July 1990

Prepared By:

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Photo 75

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Rear facade
July 1991

Prepared By:

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Photo 78

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Looking northwest at front facade
July 1990

Prepared By:

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Photo 77

Rock Manor
105 Augustine Cut-off
Wilmington, DE 19803
N-12681
View: Side facade
July 1990

Prepared By:

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Photo 80

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Side facade
July 1990

Prepared By:

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Photo 79

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Front facade
July 1990

Prepared By:

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Photo 82

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Looking south at rear facade
July 1990

Prepared By:

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Photo 81

Rock Manor
109 Augustine Cut-off
Wilmington, DE 19803
N-12682
View: Rear facade
July 1990

Prepared By:

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