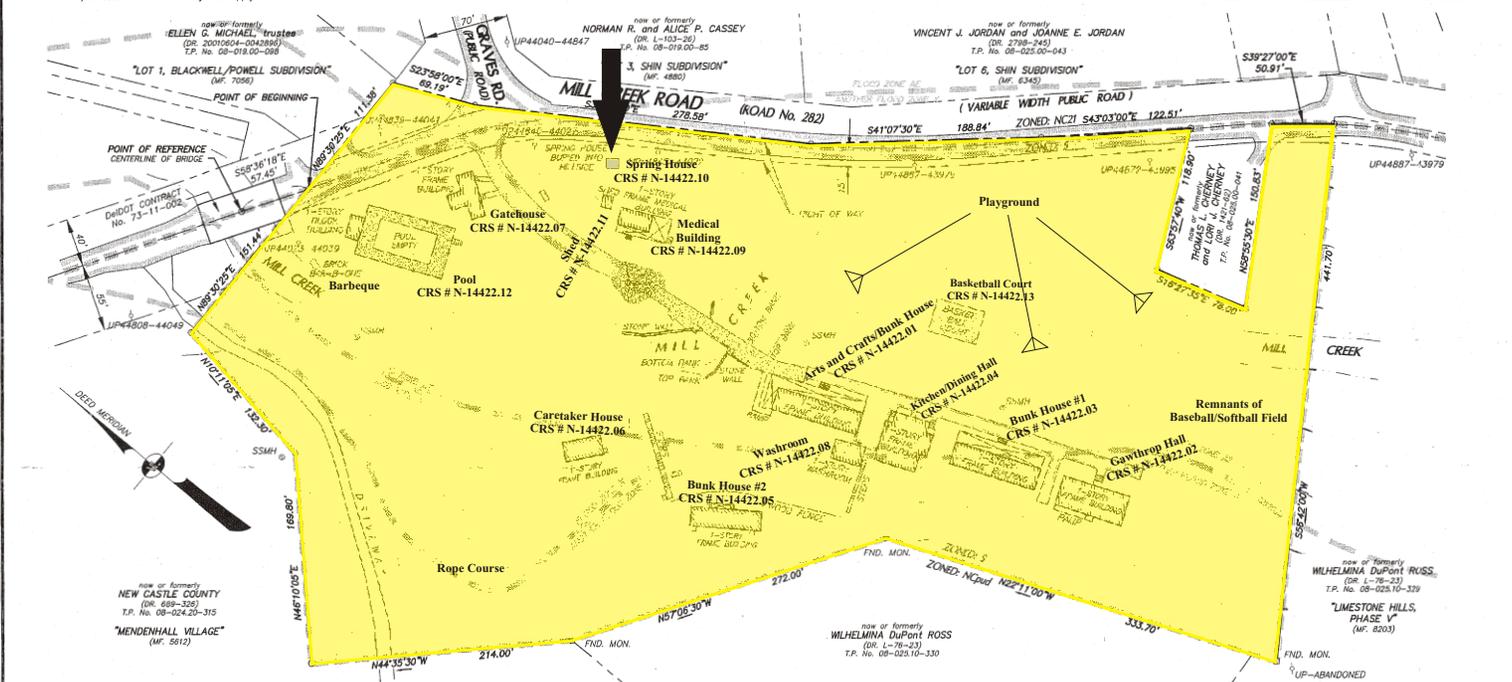
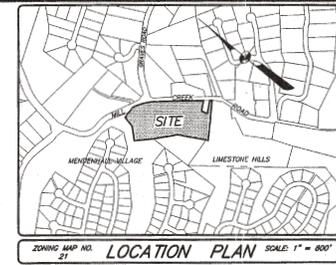


**Spring House**  
**(CRS # N-14422.10)**

C:\dwg\38083M.dwg, 4/10/2008 10:37:13 AM, Jason Rose, VanDemark & Lynch, Inc.

**NOTES:**

- Owner: West End Neighborhood House, Inc.  
3850 Mill Creek Road  
Hockessin, DE 19707
- Tax Parcel No.: 08-025.00-011
- Source of Title: Deed Record C, Volume 86, Page 114
- Area: 7.483± Acres
- Zoning: New Castle County Unified Development Code  
Zoning: S, Suburban (other permitted uses)  
Lot Area: 2 acre  
Lot Width: 200'  
Building Height: 40' MAX.  
Building Setbacks: Street - 50'  
Rear - 50'  
Side - 40'
- Setback lines indicated above per New Castle County Unified Development Code interpretation and must be verified by New Castle County prior to Land Development. Buffer and Green Area and/or other restrictions may also apply.
- This plan was prepared without the benefit of a title commitment, title search or bring down and is subject to easements, validity of chain of title, etc., that a subsequent search may disclose.
- Date of Field Survey: December 12, 2005  
Revision 1 - April 5, 2006 - Located Buildings
- A portion of the Property described on this survey DOES lie within a Special Flood Hazard Area ("SFHA") as defined by the Federal Emergency Management Agency; the Property lies within Zone "AE", Base Flood Elevation = 10.0', of the Flood Insurance Rate Map identified as Community Panel No. 10003C0045 G, bearing an effective date of October 6, 2000. A portion of this property also lies within Zone X, area of 500-year floodplain and a portion lies within another Zone X, area determined to be outside the 500-year floodplain.
- Existing utilities are shown in accordance with what was observed about the boundary line only. Completeness or correctness thereof is not guaranteed. It shall be each contractor's responsibility to contact the utility companies involved in order to secure the most accurate information available as to utility location and elevation. No construction around or adjacent to utilities shall begin without notifying their owners at least 48 hours in advance. Each contractor shall take the necessary precautions to protect the existing utilities. To locate existing utilities in the field prior to construction, the contractor shall contact Miss Utility of Delaware (telephone 800-282-8555).



**LEGEND:**

FND. MON.	Found Concrete Monument
T.P. No.	Tax Parcel Number
D.R.	Deed Record
MF.	Microfilm
○	Sanitary Sewer Manhole
○	Utility Pole
---	Property Line
---	Adjoining Property Line
---	Edge of Pavement
---	Zoning Line
---	Fence Line
---	Flood Zone Limit
---	Concrete

**PROPERTY PLAN**  
**3850 MILL CREEK ROAD**  
 MILL CREEK HUNDRED - NEW CASTLE COUNTY  
 DELAWARE  
 SCALE: 1"=60'      DECEMBER 13, 2005  
 GRAPHIC SCALE (IN FEET)

NO.	DATE	REVISION	BY	APPROVED
1	4-5-08	Alter Utility Locations	JLR	

VANDEMARK & LYNCH, INC. IS NOT RESPONSIBLE FOR ANY MODIFICATION MADE TO THIS PLAN AND/OR CAD FILE WITHOUT ITS WRITTEN AUTHORIZATION.

**VANDEMARK & LYNCH, INC.**  
 ENGINEERS - PLANNERS - SURVEYORS  
 4305 MILLER RD. BOX 2847  
 WILMINGTON, DE 19899-7052 764-7630

PERMANENT FILE 072/360	QA REVIEW
SURVEYED BY J. Rose	PROJECT MANAGER J. Rose
COURTSHIP BY S. Rose	DRAWN BY J. Rose
PROJECT NO. 21097.07	FILE NO. 38083-M
	1 of 1
	REVISION 1

Camp Wright (TP 08-025.00-011)  
 3850 Mill Creek Road  
 Mill Creek Hundred  
 New Castle County, DE  
 Map of Camp Wright

Boundary of Camp Wright

# **SPRING HOUSE**

## **CRS # N-14422.10**

### **Detailed Building Description**

#### **Description**

The springhouse is a low rectangular, stone, one story, front gable building built into the hillside. The roof is constructed with three courses of brick that are then covered with a thin layer of concrete. The exterior walls of the springhouse have been painted numerous times. The most recent paint is grey. Waste asphalt has been piled on the rear section of the roof.

#### **Structural History**

The springhouse was constructed c. 1830. Some time after the 1880s, a thin layer of concrete was applied to the roof.

#### North Elevation (Side)

- There is a metal louvered vent in the north elevation.
- The east end of the north elevation is completely buried.

#### East Elevation (Rear)

- The east elevation is completely buried.

#### South Elevation (Side)

- There is a metal louvered vent in south elevation.
- The east end of the south elevation is completely buried.

#### West Elevation (Façade)

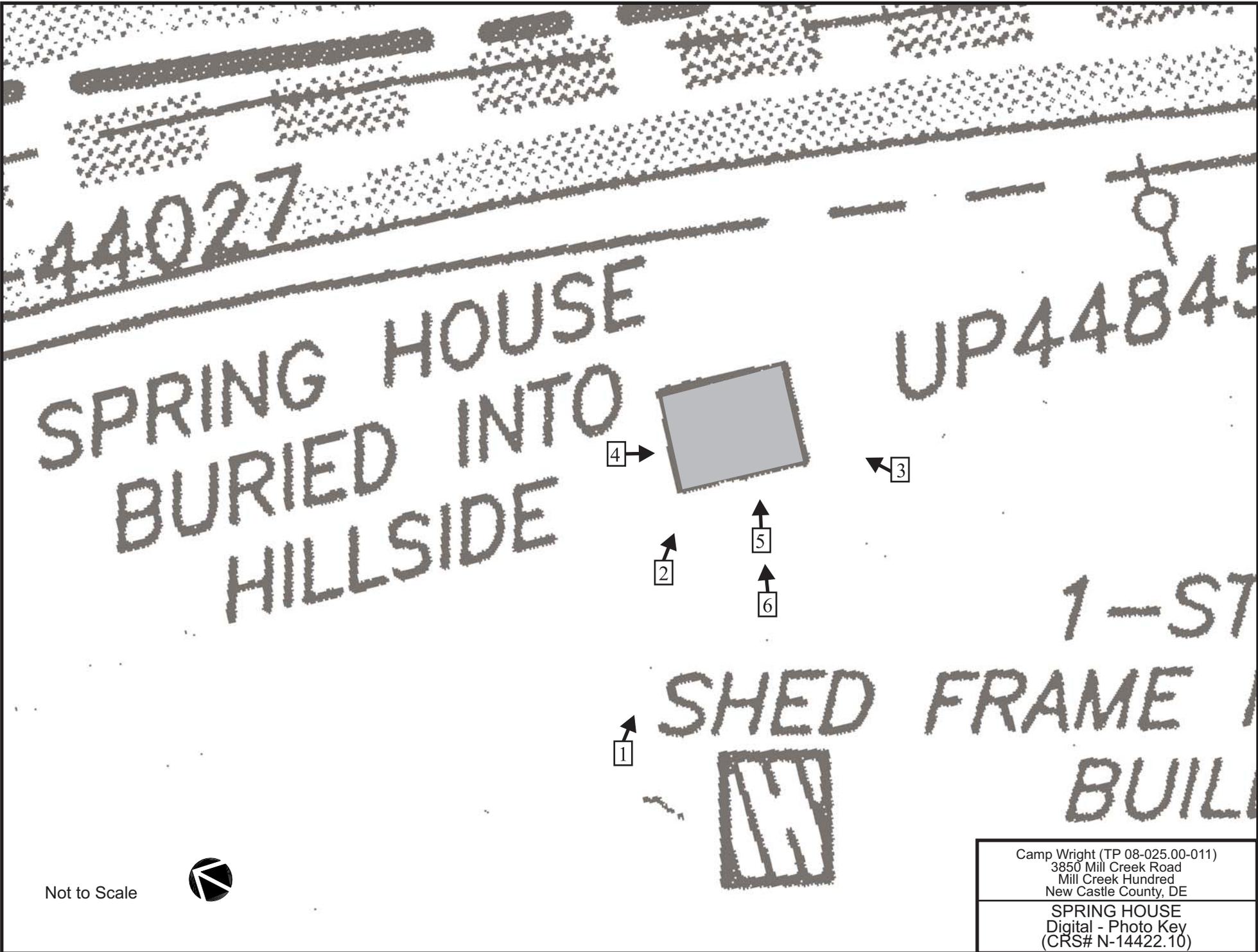
- The west elevation is 9.8 feet long and 7.25 feet high.
- There is a flat or Jack stone arch over the central doorway.
- The doorway has a wooden frame.
- The doorway is covered with plywood.
- There is a three course corbelled brick cornice return at the north and south base of the gable.

# **SPRING HOUSE**

**CRS # N-14422.10**

## **Digital Photo Log**

- Plate 01 View looking southeast at the west elevation.  
Plate 02 View looking southeast at the north elevation. Note the cornice return.  
Plate 03 View looking northeast at the south elevation. Note the asphalt from Mill  
Creek Road on the roof.  
Plate 04 Detail of the vent.  
Plate 05 Detail of the flat arch over the door.  
Plate 06 Detail of the cornice.



Not to Scale



Camp Wright (TP 08-025.00-011) 3850 Mill Creek Road Mill Creek Hundred New Castle County, DE
SPRING HOUSE Digital - Photo Key (CRS# N-14422.10)



**Plate 01** View looking southeast at the west elevation.



**Plate 02** View looking southeast at the north elevation. Note the cornice return.



**Plate 03** View looking northeast at the south elevation. Note the asphalt from Mill Creek Road on the roof.



**Plate 04** Detail of the vent.



**Plate 05**      **Detail of the flat arch over the door.**

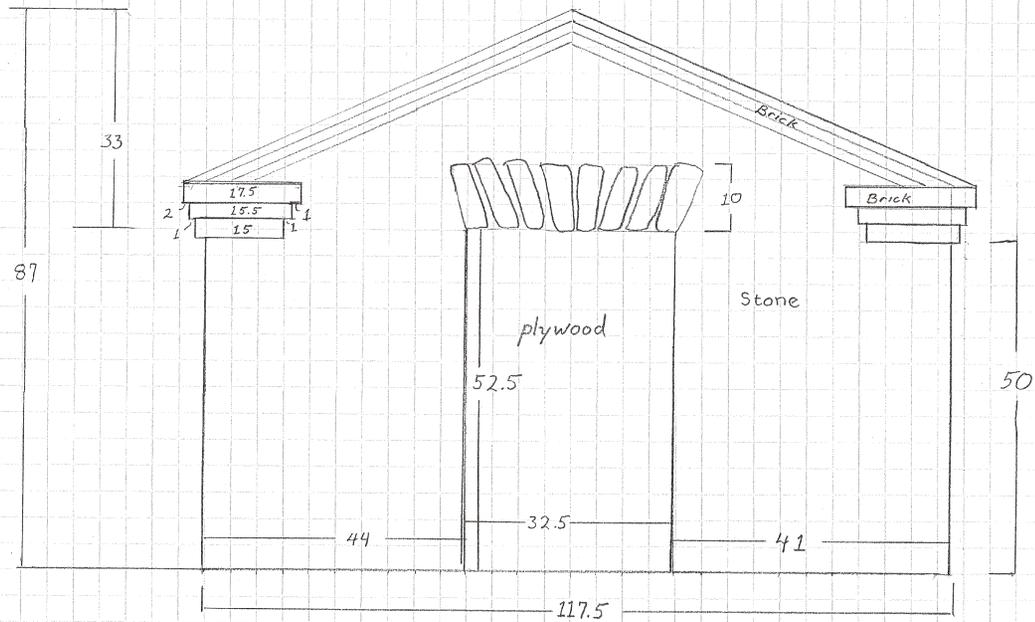


**Plate 06**      **Detail of the cornice.**

West Façade

Camp Wright : Spring House

All measurements in inches  
Not to scale



Not to Scale

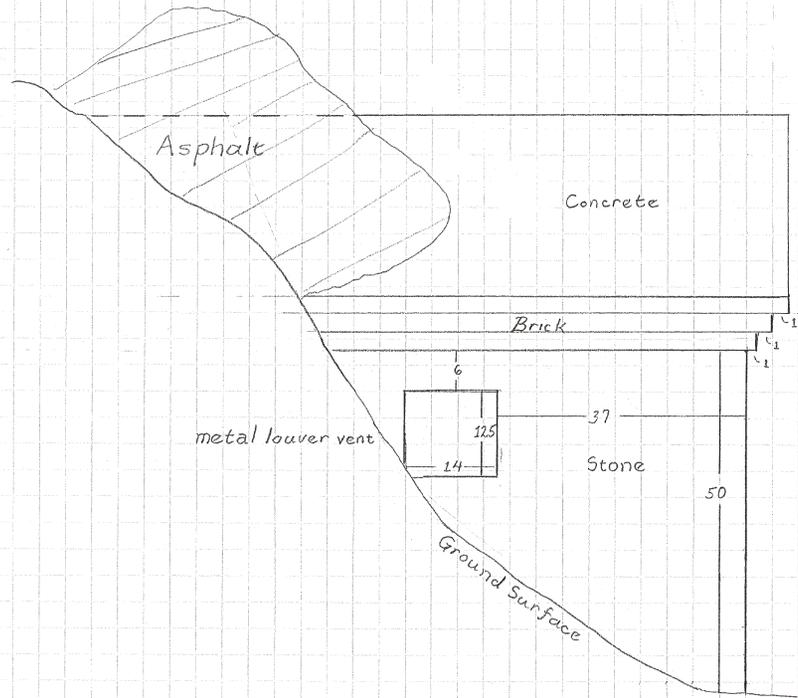
Camp Wright (TP 08-025.00-011)  
3850 Mill Creek Road  
Mill Creek Hundred  
New Castle County, DE

Spring House  
Façade (west) - Elevation  
(CRS# N-14422.10)

North Elevation

Camp Wright: Spring House

Not to scale  
All measurements in inches



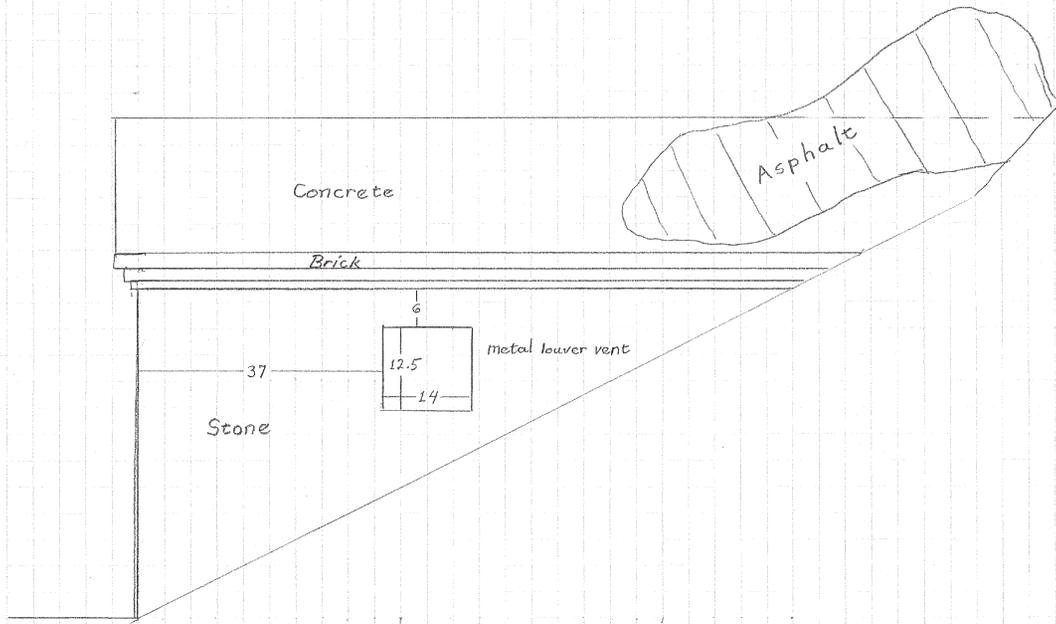
Not to Scale

Camp Wright (TP 08-025.00-011) 3850 Mill Creek Road Mill Creek Hundred New Castle County, DE
Spring House Side (north) - Elevation (CRS# N-14422.10)

South Elevation

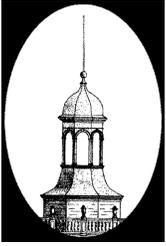
Camp Wright: SpringHouse

Not to scale  
All measurements in inches



Not to Scale

Camp Wright (TP 08-025.00-011) 3850 Mill Creek Road Mill Creek Hundred New Castle County, DE
Spring House Side (south) - Elevation (CRS# N-14422.10)



DELAWARE STATE HISTORIC PRESERVATION OFFICE  
15 THE GREEN, DOVER, DE 19901

CULTURAL RESOURCE SURVEY  
SECONDARY BUILDING FORM

CRS # N-14422.10

1. ADDRESS/LOCATION: 3850 Mill Creek Road/S side of Mill Creek Road at intersection with Graves Road

2. FUNCTION(S): historic spring house current not in use

3. YEAR BUILT: 1830 CIRCA?:  ARCHITECT/BUILDER: unknown

4. STYLE/FLOOR PLAN: one bay, single pile Mid 19<sup>th</sup> century spring house

5. INTEGRITY: original site  moved   
if moved, from where original location's CRS # year

list major alterations and additions with years (if known) year  
a.  
b.

6. CURRENT CONDITION: excellent  good  fair  poor

7. DESCRIPTION:

a. Structural system masonry

b. Number of stories one

c. Wall coverings stucco

d. Foundation stone

e. Roof

structural system masonry

coverings concrete

openings N/A

8. DESCRIPTION OF ELEVATIONS:

a. Facade: direction: west

1) bays: one

2) windows: N/A

3) door(s): central wood door

4) other: brick cornice and arch above door

**b. Side: direction: north**

- 1) **bays:** one
- 2) **windows:** N/A
  
- 3) **door(s):** N/A
  
- 4) **other:** N/A

**c. Side: direction: south**

- 1) **bays:** one
- 2) **windows:** N/A
  
- 3) **door(s):** N/A
  
- 4) **other:** small door located at center of south elevation

**d. Rear: direction: east**

- 1) **bays:** one
- 2) **windows:** N/A
  
- 3) **door(s):** N/A
  
- 4) **other:** N/A

**9. INTERIOR (if accessible):**

**a) Floor plan**            not accessible

**b) Partition/walls**        not accessible

**c) Finishes**            not accessible

**d) Furnishings/machinery**    not accessible